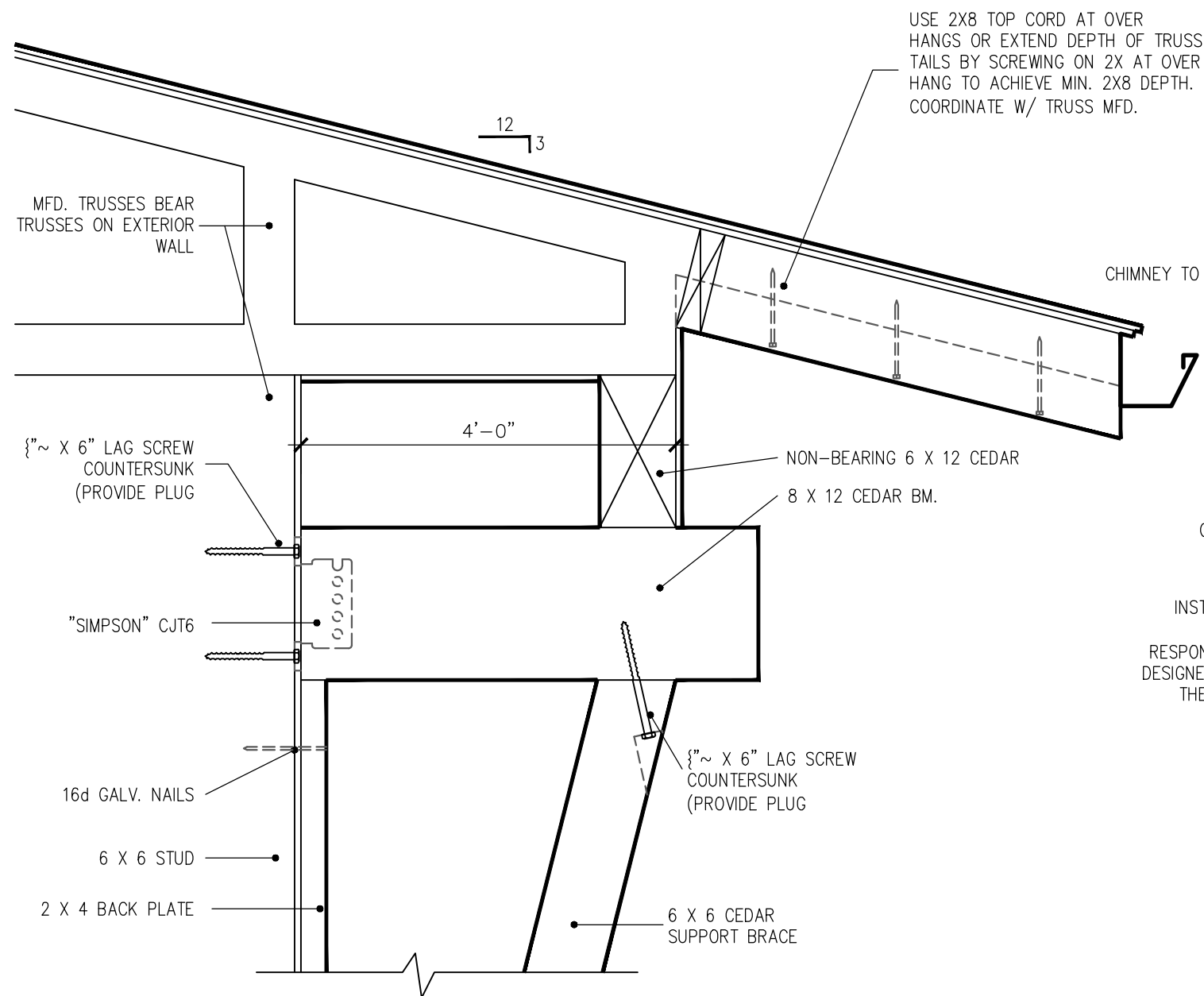




CHIMNEY TO EXTEND MIN. 24" ABOVE ANY ROOF
WITHIN 10' HORIZONTAL

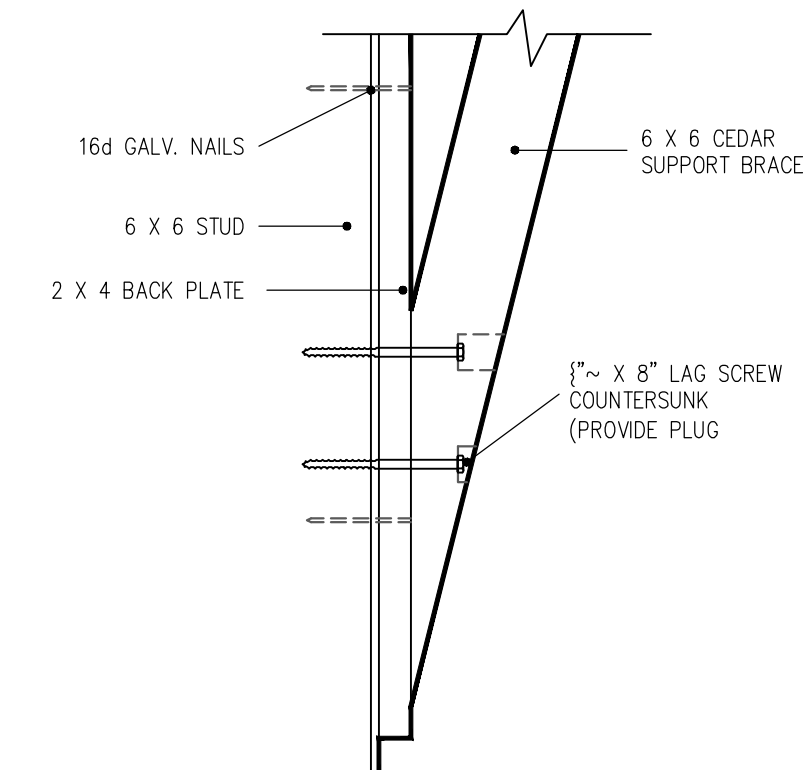
ROOFING MATERIAL (SEE
ROOF PLAN)

CEDAR SHINGLE SIDING INSTALL PER
MANUF. SPECS.

5/4 X CEDAR TRIM BOS.

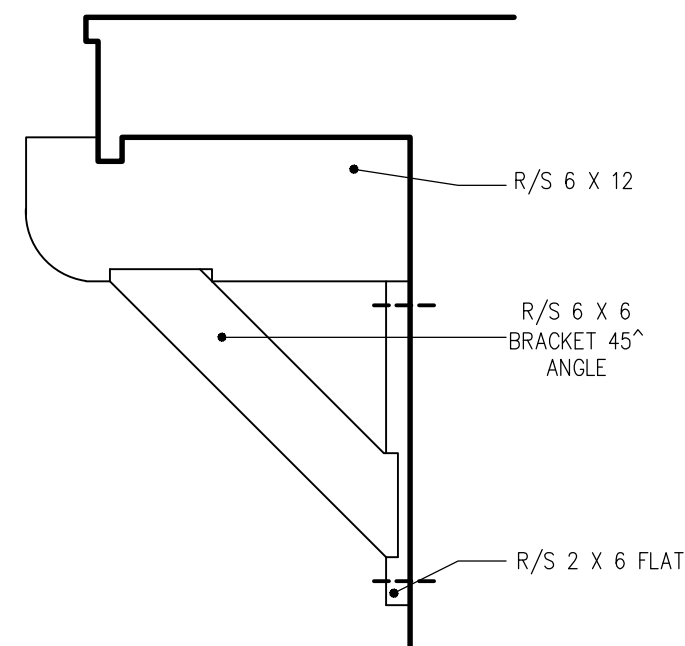
G. I. GUTTER ON 2 X 8 FASCIA
C/W DOWNSPOUTS (SEE ROOF PLAN)

THE TYPE OF EXTERIOR FINISH, THE
INSTALLATION AND THE WATERPROOFING
DETAILS ARE ALL TO BE THE FULL
RESPONSIBILITY OF THE OWNER/BLDR. THIS
DESIGNER ASSUMES NO RESPONSIBILITY FOR
THE INTEGRITY OF THE BLDG ENVELOPE



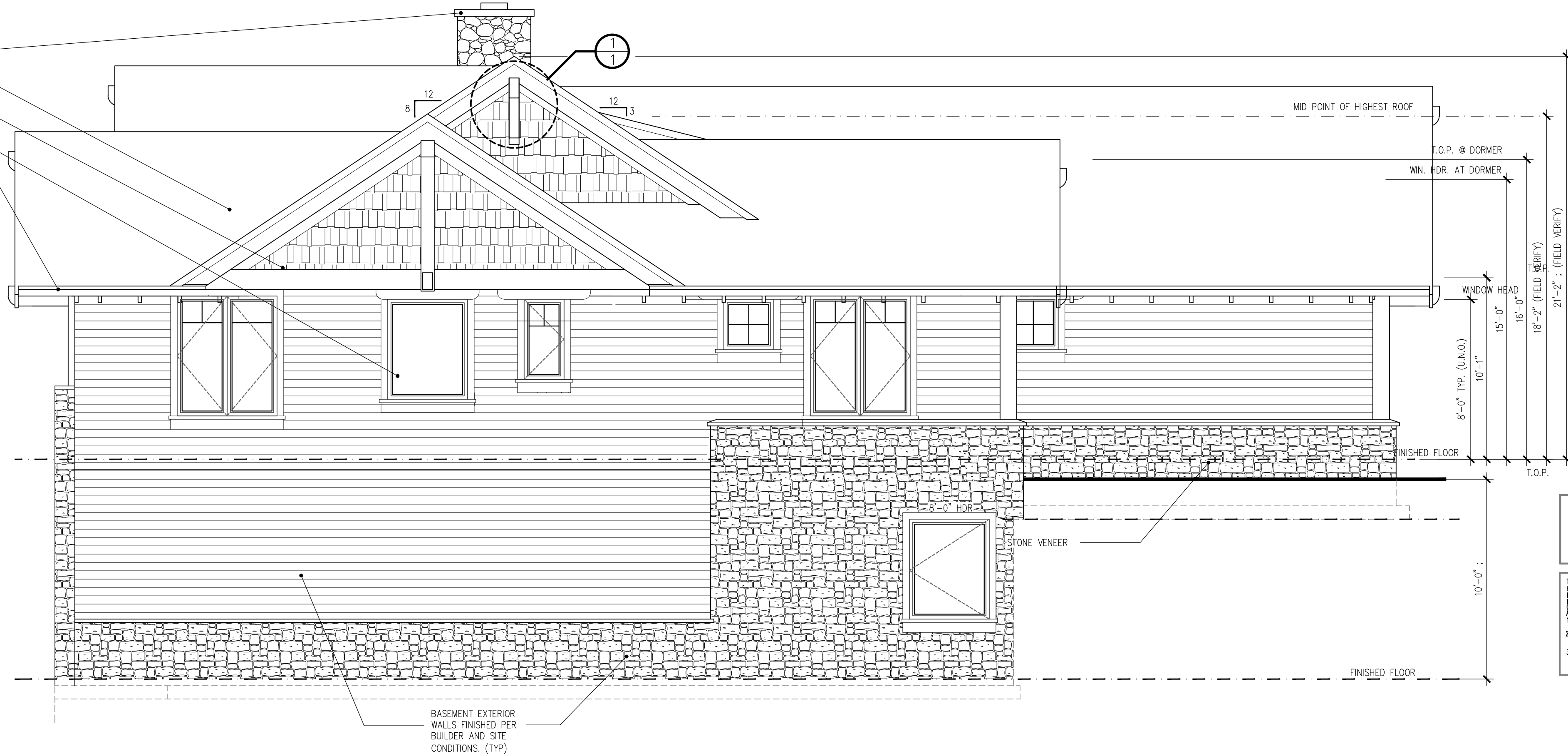
2 PORCH BRACKET

SCALE : NO SCALE



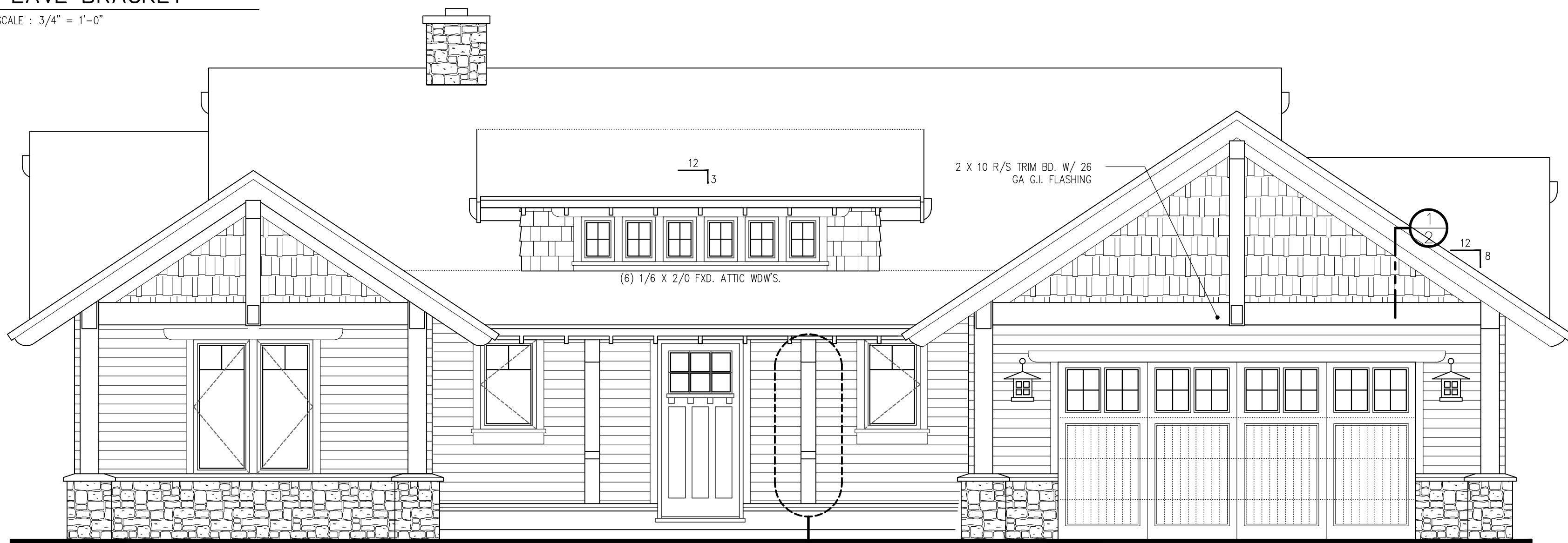
1 EAVE BRACKET

SCALE : 3/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE : 1/4" = 1'-0"



FRONT ELEVATION

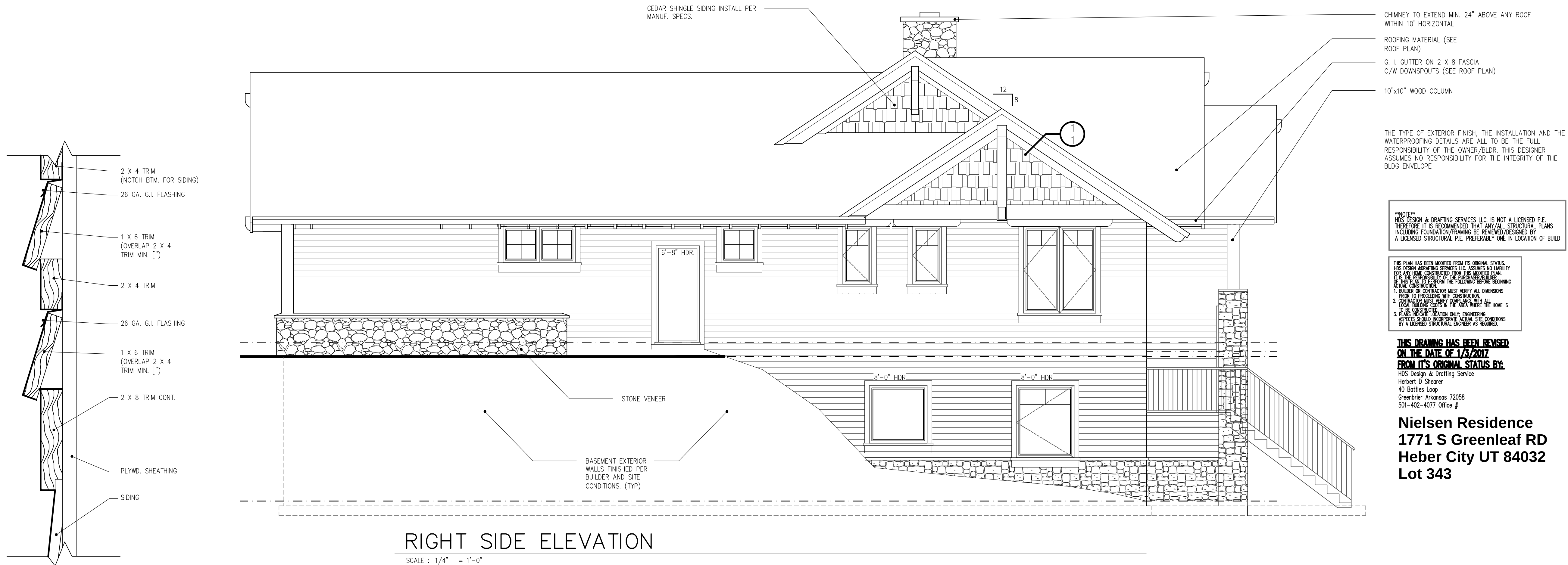
SCALE : 1/4" = 1'-0"

NOTE
HDS DESIGN & DRAFTING SERVICES LLC IS NOT A LICENSED P.E.
THEREFORE IT IS RECOMMENDED THAT ANY/ALL STRUCTURAL PLANS
INCLUDING FOUNDATION DRAWINGS BE REVIEWED/DESIGNED BY
A LICENSED STRUCTURAL P.E. PREFERABLY ONE IN LOCATION OF BUILD

THIS PLAN HAS BEEN MODIFIED FROM ITS ORIGINAL STATUS.
HDS DESIGN & DRAFTING SERVICES LLC ASSUMES NO LIABILITY
FOR ANY WORK CONSTRUCTED FROM THIS MODIFIED PLAN.
IT IS THE USER'S RESPONSIBILITY TO VERIFY THE FOLLOWING BEFORE BEGINNING
CONSTRUCTION:
1. BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS
PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL
LOCAL BUILDING CODES IN THE AREA WHERE THE HOME IS
TO BE CONSTRUCTED.
3. PLANS SHOW SITUATION ONLY. ENGINEERING
ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS
BY A LICENSED STRUCTURAL ENGINEER AS REQUIRED.

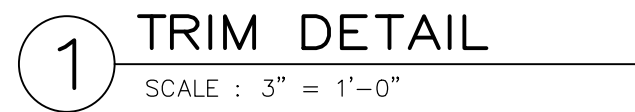
**THIS DRAWING HAS BEEN REVISED
ON THE DATE OF 1/5/2017
FROM ITS ORIGINAL STATUS BY:**
HDS Design & Drafting Service
Herbert D Shearer
40 Bottles Loop
Greenbrier Arkansas 72058
501-402-4077 Office #

**Nielsen Residence
1771 S Greenleaf RD
Heber City UT 84032
Lot 343**



RIGHT SIDE ELEVATION

SCALE : $1/4'' = 1'-0''$



REAR ELEVATION

SCALE : $1/4" = 1'-0"$

THIS PLAN HAS BEEN MODIFIED FROM ITS ORIGINAL STATUS. HIS DESIGN & DRAFTING SERVICES LLC ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS MODIFIED PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER/BUILDER TO OBTAIN ALL NECESSARY PERMITS FROM THE FOLLOWING BEFORE BEGINNING ACTUAL CONSTRUCTION:

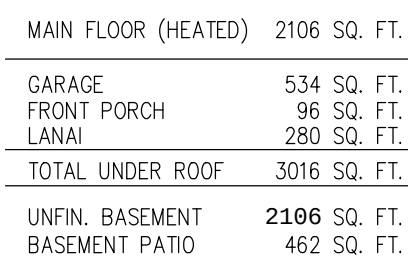
1. BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL ZONING CODES IN THE AREA WHERE THE HOME IS TO BE CONSTRUCTED.
3. PLANS INDICATE LOCATION ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS BY A LICENSED STRUCTURAL ENGINEER AS REQUIRED.

**Nielsen Residence
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Lot 343**

- RECESSED LIGHT
- RECESSED DIRECTIONAL LIGHT
FIXTURE
- WALL-MOUNT LIGHT
- SURFACE-MOUNT LIGHT
- FLOOD LIGHT
- SURFACE MOUNTED
FLUORESCENT
- RECESSED EXHAUST FAN VENTED
TO THE EXTERIOR
- CEILING FAN
- DUPLEX OUTLET
- CEILING MOUNTED
DUPLEX OUTLET
- 220V OUTLET
- FLUSH FLOOR MOUNTED
OUTLET (VERIFY LOC.)
- TELEPHONE OUTLET
- DATA OUTLET
- TELEVISION OUTLET
- SPEAKER LOCATION
- SMOKE / CO DETECTOR (SEE
"GENERAL NOTES" FOR OTHER
SPECS)
- BEARING POINT LOCATION
(PUSH OR RIGID DOWN TO
BEARING POINT ON WALL BELOW
(MAX. OF 45° FROM VERT.))
- POINT LOAD FROM ABOVE
- 4 x 4 POST FROM ROOF HIP,
BEARING OR RIGID DOWN TO
BEARING POINT ON WALL BELOW
(MAX. OF 45° FROM VERT.)
- BEARING WALL SUPPORTING
STRUCTURE ABOVE
- 4 x 10 HDR. @ BEARING WALL INT.
DOOR & OPENINGS W/ MIN (2) 2 x
SUPPORT EA END (U.N.O.)
- DROPPED STRUCT. MEMBER BEARING
@ WALL

WALL/FLR./CLG. INSUL.
FOUNDATION INSUL.
(SEE SHEET "G" FOR INSULATION VALUES)

CARBON MONOXIDE ALARMS SHALL BE
LOCATED IN EA. BEDROOM OR WITHIN 15
FEET OUTSIDE OF EA. BEDROOM DOOR.,
AT EVERY FLOOR LEVEL W/ BEDROOMS
(SEE SHEET "G" FOR ADD'L INFO)



SCALE : $1/4" = 1'-0"$

**IF LATERAL ENGINEERING IS REQUIRED, REFER TO
ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS**

NOTE
THIS DESIGN & DRAFTING SERVICES LLC IS NOT A LICENSED P.E.
THEREFORE IT IS RECOMMENDED THAT ANY ALL STRUCTURAL PLANS
INCLUDING FOUNDATION/FRAMING BE REVIEWED/DESIGNED BY
A LICENSED STRUCTURAL P.E. PREFERABLY ONE IN LOCATION OF BUILD

THIS PLAN HAS BEEN MOVED FROM ITS ORIGINAL STATUS
HDS DESIGN ARCHITECTURE SERVICES LLC ISSUES NO LIABILITY
FOR ANY HOME CONSTRUCTED FROM THIS MOVED PLAN.
IT IS THE RESPONSIBILITY OF THE HOMEOWNER TO
OBTAIN THE FOLLOWING BEFORE BEGINNING
CONSTRUCTION:
1. BUILDING CONTRACTOR MUST VERIFY ALL DIMENSIONS
PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL
LOCAL BUILDING CODES IN THE AREA WHERE THE HOME IS
TO BE CONSTRUCTED.
3. PLANS INDICATE LOCATION OF ALL ENGINEERING
OFFICES SHOULD INDICATE LOCATION OF CONDITIONS
BY A LICENSED STRUCTURAL ENGINEER AS REQUIRED.

THIS DRAWING HAS BEEN REVISED
ON THE DATE OF 1/3/2017
FROM ITS ORIGINAL STATUS BY:
HDS Design & Drafting Service
Herbert D Shearer
40 Bottles Loop
Greensbrier Arkansas 72068
501-402-4077 Office #

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Heber City UT 84032
Lot 343

ROOF DESIGN NOTES

THIS ROOF HAS BEEN DESIGNED TO SUPPORT CEDAR SHAKE ROOFING MATERIALS AND
COMPOSITION ROOFING OF VARIOUS TYPES. THE TABLE BELOW DESCRIBES IN DETAIL THE
ASSUMPTIONS MADE IN THE DESIGN OF THE ROOF STRUCTURE OF THIS BUILDING.

ROOF LINE LOAD (SNOW)	25.0 PSF	3.25 PSF	AVE.(WEI)
FRAMING MATERIALS:	2.0 PSF	33.25 PSF	ACTUAL REQ'D
SHEATHING MATERIALS:	1.5 PSF	6.75 PSF	SAFETY FACTOR
MISC. MATERIALS:	1.5 PSF		

ROOFING TYPE	DRY / WET
MED SHAKES	2.0 / 3.25 PSF
HVY SHAKES	3.0 / 4.0 PSF
SHINGLES	2.0 / 3.25 PSF
COMPOSITION	2.5 / 3.0 PSF

GYPSUM MATERIALS: ADD 2.0 PSF FOR
VAULTED AREAS (COVERED IN SAFETY
FACTOR)

40.0 PSF TL

NOTE: HIPS, VALLEYS & RIDGES SHALL NOT BE LESS IN DEPTH THAN
THE END CUT OF THE RAFTERS (FIELD VERIFY ALL CONDITIONS)

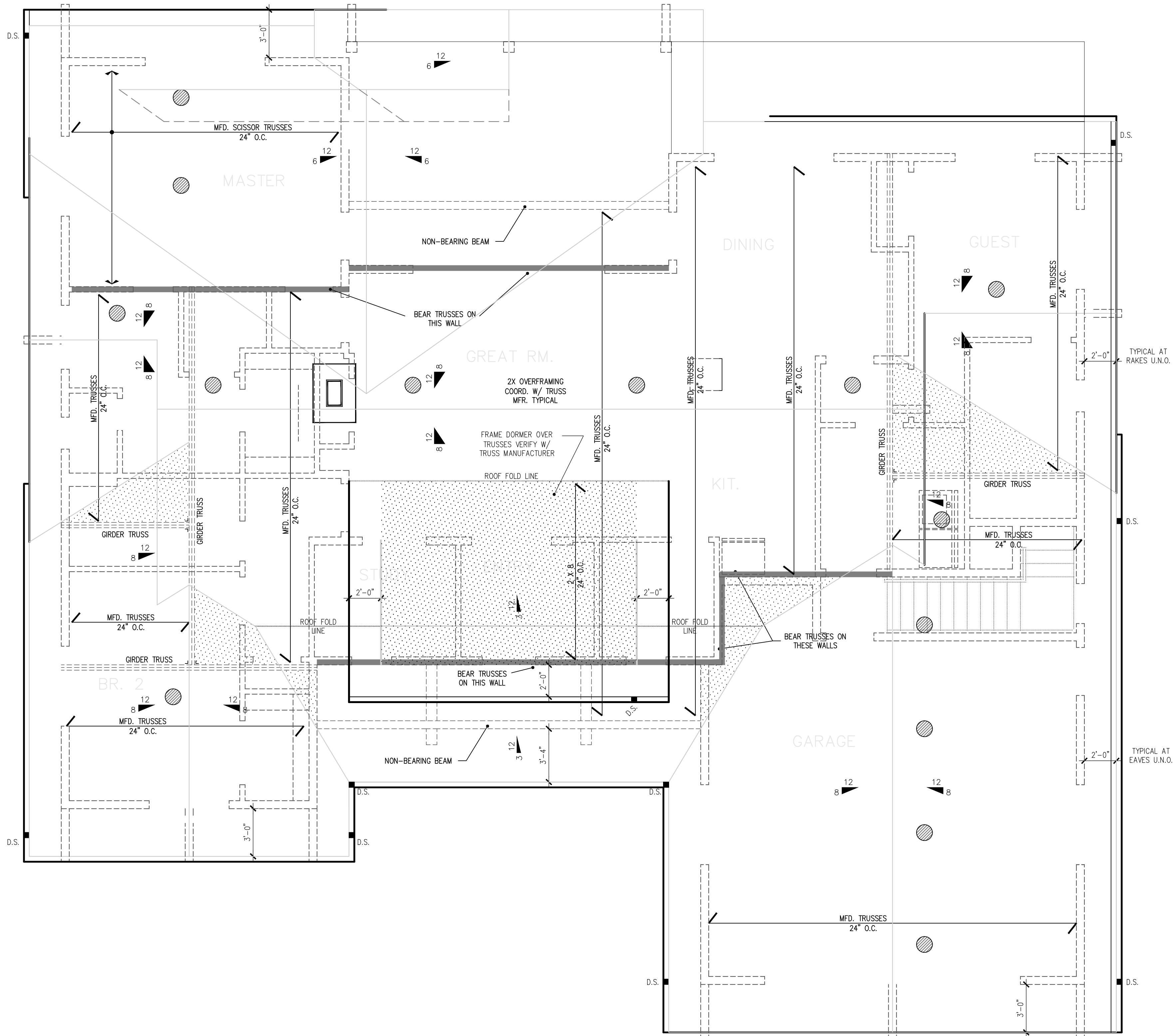
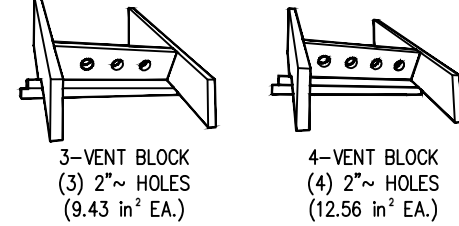
LEGEND

- 4 X 4 WOOD POST FROM RIDGE (HIP OR VALLEY) TO WALL BELOW (MIN. 2" X 4 REQ'D AT WALL BEARING POINT) NOTE: SPLICES IN HIPS & VALLEYS CAN ONLY OCCUR @ POST DOWN LOCATIONS.
- 49 SQ. IN. ROOF VENTS (SEE VENT TABLE FOR QTY. - 50%/50% SHOWN)
- 2X4 PURLIN WALL TO BM. OR WALL BELOW. (FRAM'G AT 24" O.C.)
- SHADED AREA DENOTES ROOF FRAMED OVER RAFTERS BELOW
- DOWNSPOUTS

ROOF VENTS				EAVE-BLOCK'G		ROOF VENTS
% EAVE	AREA (in ²)	% ROOF	AREA (in ²)	3-VENT	4-VENT	49 in ²
60	797.2	40	531.5	85	63	11
56.7	753.3	43.3	575.3	80	60	12
53.3	708.2	46.7	620.5	75	56	13
50	664.3	50	664.3	70	53	14

PER 2015 I.R.C. - R806.2 MINIMUM AREA: THE TOTAL
NET FREE VENTILATING AREA SHALL NOT BE LESS THAN
1/300 OF THE AREA OF THE SPACE VENTILATED,
PROVIDED AT LEAST 40% AND NOT MORE THAN 50% OF
THE REQUIRED VENTILATING AREA IS PROVIDED WITH
VENT OPENINGS LOCATED IN THE UPPER PORTION OF
THE SPACE TO BE VENTILATED AT LEAST 3 FEET
ABOVE THE EAVE OR CORNICE VENTS WITH THE
BALANCE OF THE REQUIRED VENTILATION PROVIDED BY
EAVE OR CORNICE VENTS. IN CLIMATE ZONE 6, 7, &
8, A CLASS 1 OR 2 VAPOR RETARDER SHALL BE
INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CLG.

EAVE BLOCKING



ROOF PLAN

SCALE : 1/4" = 1'-0"

IF LATERAL ENGINEERING IS REQUIRED, REFER TO
ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS