

PROJECT DESCRIPTION		LEGAL DESCRIPTION	
<div>- INTERIOR RENOVATION OF 1,615 SQ.FT. OF DINING AREA. RENOVATION INCLUDES, NEW CEILING, FINISHES, TRANSACTION COUNTER, MILLWORK, ELECTRICAL, SPRINKLERS AND LIGHTING.</div> <div>- NEW 200 SQ.FT. PATIO SEATING INCLUDING NEW CONCRETE PAD AND METAL RAILING.</div> <div>- INFILL OF EXISTING DRIVE-THRU WINDOW</div> <div>- EXTERIOR PAINTING</div> <div>- NO WORK DONE AT KITCHEN AND BACK OF HOUSE</div> <div>- NO NEW PLUMBING</div> <div>- EXISTING RESTROOMS TO REMAIN. NEW FINISHES.</div>		<div>PROJECT ADDRESS:1869 E MURRAY HOLLADAY RD HOLLADAY, UT 84117</div> <div>PARCEL RECORD:220922270710000</div> <div>ZONING:C-2</div> <div>OCCUPANCY CLASSIFICATION:ASSEMBLY GROUP A-2 - NO CHANGE</div> <div>SPINKLERED:YES</div> <div>BUILDING SQ.FT.:3,200 SQ.FT.</div> <div>AREA OF WORK:1,815 SQ.FT.</div> <div>EXISTING USE:COMMERCIAL - RESTAURANT</div> <div>PROPOSED USE:COMMERCIAL - RESTAURANT</div> <div>PARKING PROVIDED:EXISTING - NO CHANGE</div> <div>NEW ADDITION AREA:NO ADDITIONAL SQ.FT.</div> <div>STORIES:1</div>	
DEFERRED SUBMITTALS			
GC TO PROVIDE DEFERRED SUBMITTAL FOR MECHANICAL, ELECTRICAL AND FIRE LIFE SAFETY.			
FIRE SPRINKLER WORK BY SEPARATE PERMIT			
SIGNAGE UNDER SEPARATE PERMIT			
PROJECT DIRECTORY		SHEET INDEX	
<div><u>OWNER:</u></div> <div>TONY VALDEZ 8870 SOUTH 540 EAST SANDY, UT 84070</div> <div>PHONE: 801.946.5241</div> <div><u>ARCHITECT:</u></div> <div>OFFICE DFK 333 W. PEIRPONT AVE. #4 SALT LAKE CITY, UT 84101</div> <div>PHONE: 801.447.5101 CELL: 419.575.0411 EMAIL: BRANDON@OFFICE-DFK.COM CONTACT: BRANDON BROADSTONE</div> <div><u>CONTRACTOR:</u></div> <div>COOK BUILDERS PO BOX 684 380 SOUTH MAIN STREET CENTERVILLE, UT 84014 PHONE: 801.295.3060 EMAIL: NATE@COOKBUILDER.COM</div>		<div><u>ARCHITECTURAL</u></div> <div>A0.10 PROJECT DATA A0.20 ABBREV, SYMBOLS & LEGENDS A0.30 TYPICAL NOTES A0.40 PROPOSED SUBDIVISION SHEETS</div> <div>A1.20 SITE & ROOF PLAN A1.30 EXITING PLAN A1.40 DEMOLITION PLAN A1.50 CONSTRUCTION PLAN A1.60 POWER AND COMMUNICATION PLAN A1.70 REFLECTED CEILING PLAN A1.80 FINISH PLAN</div> <div>A4.10 INTERIOR ELEVATIONS A4.11 INTERIOR ELEVATIONS</div> <div>A5.00 CONSTRUCTION DETAILS A5.10 CABINETRY DETAILS</div>	
SCOPE OF WORK		VICINITY MAP	
<div>DINING AREA (INTERIOR RENOVATION): 1,615 SQ.FT.</div> <div>NEW PATIO200 SQ.FT.</div> <div>TOTAL SCOPE OF WORK:1,815 SQ.FT.</div>		<div>1869 E MURRAY HOLLADAY RD HOLLADAY, UT 84117</div> <div></div>	

CLIENT:

Real Taqueria
1869 E Murray Holladay Rd
Holladay, UT 84117



333 W Pierpont Ave #4
Salt Lake City, UT 84101
801.447.5101: CONTACT
@OFFICE-DFK.COM

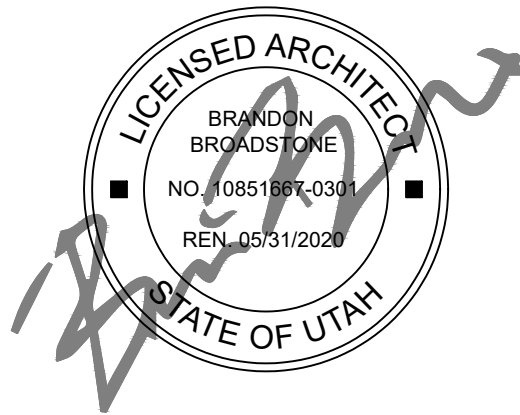
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ABBREVIATIONS,
SYMBOLS &
LEGENDS

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ABBREVIATIONS

L	ANGLE	MAX	MAXIMUM
@	AT	MB	MACHINE BOLT
AB	ANCHOR BOLT	MC	MEDICINE CABINET
ABV	ABOVE	MECH	MECHANICAL
AC	AIR CONDITION	MET	METAL
AD	AREA DRAIN	MICRO	MICROWAVE OVEN
ADDL	ADDITIONAL	MIN	MINIMUM
ADJ	ADJUSTABLE	MISC	MISCELLANEOUS
ALUM	ALUMINUM	MLDG	MOLDING
APPVL	APPROVAL	MO	MASONRY OPENING
ASPH	ASPHALT	MTD	MOUNTED
BD	BOARD	(N)	NEW
BLDG	BUILDING	NIC	NOT IN CONTRACT
BLKG	BLOCKING	NO.	NUMBER
BM	BEAM	NOM	NOMINAL
BN	BOUNDRY NAILING	NTS	NOT TO SCALE
BOT	BOTTOM		
CAB	CABINET	O/	OVER
CB	CATCH BASIN	OBS	OBSCURE
CEM	CEMENT	OC	ON CENTER
CER	CERAMIC	OD	OUTSIDE DIMAMETER
CI	CAST IRON	OPG	OPENING
CJ	CEILING JOIST	OPP	OPPOSITE
CL	CENTER LINE	O/S	OUTSIDE
CLG	CEILING	PAN	PANTRY
CLOS	CLOSET	PL	PLATE
CLR	CLEAR	PLAS	PLASTIC
CNTR	COUNTER	PLAS LAM	PLASTIC LAMINATE
COMB ANC	COMBINATION ANCHOR	PLYWD	PLYWOOD
COMP	COMPRESSOR	PR	PAIR
CONC	CONCRETE	PT	POINT
CONN	CONNECTION		
CONT	CONTINUOUS	R	RISER
CRN	CROWN	RAD	RADIUS
CTSK	COUNTER SUNK	RD	ROOF DRAIN
D	DRYER	REF	REFRIGERATOR
DBL	DOUBLE	REG	REGISTER
DEMO	DEMOLISH/DEMOLITION	REINF	REINFORCED
DET	DETAIL	REQD	REQUIRED
DIA	DIAMETER	RESIL	RESILIENT
DIM	DIMENSION	RJ	ROOF JOIST
DN	DOWN	RM	ROOM
DP	DEEP	RO	ROUGH OPENING
DR	DOOR	RR	ROOF RAFTER
DS	DOWNSPOUT	SB	SHEAR BOLT
DW	DISHWASHER	SC	SOLID CORE
DWG	DRAWING	SD	SMOKE DETECTOR
DWR	DRAWER	SEC OPG	SECURITY OPENING
(E)	EXISTING	SECT	SECTION
EA	EACH	SH	SHELF
ELEC	ELECTRIC	SH & DP	SHELF & DOUBLE POLE
EN	EDGE NAILING	SHT	SHEET
ENCL	ENCLOSURE	SHTG	SHEATHING
EQ	EQUAL	SHWR	SHOWER
EQUIP	EQUIPMENT	SIM	SIMILAR
EW	EACH WAY	SL	SLIDING
EXIST	EXISTING	SPEC	SPECIFICATION
EXT	EXTERIOR	SPL	SPLASH
FAU	FORCED AIR UNIT	SQ	SQURE
FD	FLOOR DRAIN	ST STL	STAINLESS STEEL
FG	FUEL GAS	STD	STANDARD
FGL	FIXED GLASS	STL	STEEL
FIN	FINISH	STOR	STORAGE
FJ	FLOOR JOIST	SUSP	SUSPENDED
FL	FLOOR LINE	SYM	SYMMETRICAL
FLR	FLOOR	T	TREAD
FLUOR	FLUORESCENT	T&G	TONGUE & GROOVE
FND	FOUNDATION	TA	TENSION ANCHOR
FOC	FACE OF CONCRETE	TC	TRASH COMPACTOR
FOF	FACE OF FINISH	TOC	TOP OF CURB
FOS	FACE OF STUD	TEL	TELEPHONE
FP	FIREPLACE	TER	TERRAZZO
FT	FOOT OR FEET	THK	THICK
FTG	FOOTING	TD	TOP OF DRAIN
FURR	FURRING	TP	TOP PLATE
FZR	FREEZER	TPV	TOP OF PAVING
GA	GAUGE	TV	TELEVISION
GALV	GALVANIZED	TW	TOP OF WALL
GD	GARBAGE DISPOSAL	TYP	TYPICAL
GI	GALVANIZED IRON	UNF	UNFINISHED
GL	GLASS	UON	UNLESS OTHERWISE NOTED
GLB	GLUE LAMINATED BEAM	VERT	VERTICAL
GR	GRADE	W	WASHER
GWB	GYPSTUM WALL BOARD	W/	WITH
HB	HOSE BIB	WC	WATER CLOSET
HC	HOLLOW CORE	WD	WOOD
HD	HOLDDOWN	WH	WATER HEATER
HORIZ	HORIZONTAL	W/O	WITHOUT
HRDWD	HARDWARE		

SYMBOLS / LEGEND

	DETAIL NO. SHEET NO.	DETAIL
	SECTION NO. SHEET NO.	BUILDING SECTION
	ELEVATION NO. SHEET NO.	EXTERIOR ELEVATION
		INTERIOR ELEVATION
		TRUE NORTH
		PROJECT NORTH
	NEW DIMENSION	
	EXISTING DIMENSION	
	WINDOW NO.	
	DOOR NO.	
	REVISION NO.	
	FIXTURE NO.	
	PROPERTY LINE	
	PROJECTION OR SOFFIT	
	CUT LINE	
	TO BE REMOVED	
	EXISTING WALL	
	NEW WALL	

MATERIAL LEGEND

	ACOUSTICAL TILE
	AGGREGATED BASE
	ALUMINUM
	BATT INSULATION
	CERAMIC TILE (SECTION)
	CONCRETE
	CONCRETE BLOCK
	GLASS (PLAN/SECTION)
	GLASS (ELEVATION)
	GYPSTUM BOARD
	LIGHTWEIGHT CONCRETE
	MARBLE/GRANITE
	METAL LATH
	MILLWORK
	PLASTER
	PLASTIC LAMINATE
	PLYWOOD
	QUARRY TILE
	RIGID INSULATION
	SHEET METAL (ELEVATION)
	SHEET METAL (SECTION)
	SOIL
	STEEL
	WOOD BLOCKING
	WOOD FRAMING

GENERAL NOTES

1. COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
2. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
3. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
4. SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.
5. COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.
6. OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION
7. COORDINATE TELECOMMUNICATIONS, DATA AND SECURITY SYSTEM INSTALLATIONS.
8. MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
9. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
10. MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.
11. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
12. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
13. COORDINATE AND PROVIDE BACKING FOR ITEMS ATTACHED OR MOUNTED TO WALLS.
14. GENERAL CONTRACTOR SHALL EXERCISE EXTREME CARE DURING ALL PHASES OF CONSTRUCTION SO AS NOT TO DAMAGE OR DISRUPT UTILITIES WHICH MIGHT PASS THROUGH THIS SPACE TO SERVICE OTHER TENANTS. GENERAL CONTRACTOR BEAR SOLE EXPENSE FOR ANY SUCH DAMAGE OR DISRUPTIONS.
15. ACCESS PANELS MUST BE PROVIDED FOR ALL LANDLORD SERVICEABLE EQUIPMENT WHICH IS ABOVE ANY HARD CEILING AREAS. SUPPLY VENTS AND RETURN VENTS ARE ALLOWED AS A MEANS OF ACCESS. UNITS ABOVE HARD CEILINGS MUST HAVE A WORK PLATFORM CONSTRUCTED ABOVE THE CEILING FOR UNIT SERVICING. IF A WORK PLATFORM IS NOT CONSTRUCTED, A LETTER MUST BE SUBMITTED UPON JOB CLOSEOUT STATING THAT THE CEILING IS RATED TO WITHSTAND ALL ASSOCIATED WEIGHT WHILE SERVICING THE EQUIPMENT ABOVE.
16. THIS SET OF PLANS SHOULD BE FORWARDED TO GENERAL CONTRACTOR AND MUST BE ON SITE AT TIME OF PRE-CONSTRUCTION MEETING.

DISABLED ACCESS NOTES

1. THE HEIGHT OF THE WATER CLOSET (TOP OF SEAT) SHALL BE BETWEEN 17" AND 19".
2. MOUNT FLUSH VALVE CONTROL NO MORE THAN 44" ABOVE THE FLOOR, ON THE SIDE OF THE TOILET WITH THE GREATEST SEPARATION FROM ADJACENT WALL OR OTHER SURFACE.
3. PROVIDE GRAB BARS ON EACH SIDE, OR ONE SIDE AND BACK OF WATER CLOSET.
 - 3.1. GRAB BARS TO BE 33" ABOVE AND PARALLEL TO THE FLOOR.
 - 3.2. SIDE BARS TO BE 42" LONG AND PROJECT 24" IN FRONT OF WATER CLOSET STOOL. GRAB BAR AT BACK TO BE 36" LONG.
 - 3.3. DIAMETER OF GRAB BARS TO BE 1-1/4" TO 1-1/2".
 - 3.4. PROVIDE 1-1/2" CLEARANCE BETWEEN GRAB BARS AND WALL.
 - 3.5. GRAB BARS (INCLUDING CONNECTORS, FASTENERS, SUPPORT BACKING, ETC.) SHALL SUPPORT A 250 POUND LOAD.
 - 3.6. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
 - 3.7. GRAB BARS AND ANY ADJACENT SURFACE SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS.
 - 3.8. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8".
4. PROVIDE A CLEAR FLOOR SPACE 30" X 48" IN FRONT OF LAVATORY TO PERMIT A FORWARD APPROACH.
5. MOUNT LAVATORIES WITH A MINIMUM CLEARANCE OF 29" FROM THE FLOOR TO THE BOTTOM OF THE APRON. PROVIDE KNEE CLEARANCE UNDER THE FRONT LIP EXTENDING A MINIMUM OF 30" IN WIDTH WITH 8" MINIMUM WIDTH, AND SHALL BE A MINIMUM OF 9" HIGH FROM THE FLOOR A MINIMUM OF 17" DEEP FROM THE FRONT OF THE LAVATORY.
6. FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. LEVER OPERATED, PUSH TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF CLOSING ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.
7. INSULATE OR OTHERWISE COVER HOT WATER AND DRAIN PIPES UNDER LAVATORIES.
8. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

DISABLED ACCESS NOTES

1. IN BUILDINGS AND FACILITIES, FLOORS OF A GIVEN STORY SHALL BE A COMMON LEVEL THROUGHOUT, OR SHALL BE CONNECTED BY PEDESTRIAN RAMPS, PASSENGER ELEVATORS OR SPECIAL ACCESS LIFTS.
2. FLOOR SURFACES SHALL BE SLIP-RESISTANT.
3. EVERY CORRIDOR AND AISLE SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE NOT LESS THAN 44" IN WIDTH.
4. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2" IN HEIGHT. LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL. BEVEL OTHERS WITH A SLOPE NO GREATER THAN 1:2
5. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. MOUNT DOOR OPENING HARDWARE BETWEEN 30" AND 44" ABOVE FLOOR FINISH.
6. CENTER HAND ACTIVATED DOOR OPENING HARDWARE BETWEEN 30" AND 44" ABOVE THE FLOOR.
7. MAXIMUM PULL OR PUSH EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8.5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS, MEASURED AT RIGHT ANGLES TO HINGED DOORS AND AT CENTER PLANE OF SLIDING OR FOLDING DOORS. CORRESPONDING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. MAXIMUM EFFORT TO OPERATE REQUIRED FIRE DOORS MAY BE INCREASED NOT TO EXCEED 15 POUNDS.
8. THE BOTTOM 10" OF ALL DOORS (EXCEPT SLIDING AND AUTOMATIC) SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. PROVIDE A 10" HIGH SMOOTH PANEL ON THE PUSH SIDE OF NARROW FRAME DOORS.
9. EVERY REQUIRED ENTRANCE OR PASSAGE DOORWAY SHALL BE NOT LESS THAN 3' IN WIDTH AND NOT LESS THAN 6'-8" IN HEIGHT. DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE SO MOUNTED THAT THE CLEAR WIDTH OF THE DOORWAY IS NOT LESS THAN 32".
10. WHERE A PAIR OF DOORS IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
11. IDENTIFY ACCESSIBLE ENTRANCES WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, VISIBLE FROM APPROACHING PEDESTRIAN WAYS.
12. THE FLOOR OR LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR. THE LEVEL AND CLEAR AREA SHALL HAVE A LENGTH IN THE DIRECTION OF DOOR SWING OF AT LEAST 60" AND THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 44" AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION.
13. FLOORS OR LANDINGS SHALL BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
14. TO ALERT THE VISUALLY IMPAIRED, MARK THE UPPER APPROACH AND THE LOWER TREAD OF EACH INTERIOR STAIR WITH A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2" WIDE, PLACED PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF THE STEP OR LANDING. THE STRIP SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.
15. CENTER ELECTRICAL RECEPTACLE OUTLETS NOT LESS THAN 15" ABOVE THE FLOOR OR WORKING PLATFORM.
16. SANITARY FACILITIES LOCATED ON AN ACCESSIBLE FLOOR OF A BUILDING SHALL BE ACCESSIBLE TO THE PHYSICALLY HANDICAPPED.
17. ENTRY TO SANITARY FACILITIES:
 - 17.1. A 44" CLEAR AISLES OR CORRIDORS WHERE OCCUPANT LOAD IS 10 OR MORE.
 - 17.2. DOORWAYS TO HAVE A 32" CLEAR OPENING.
 - 17.3. ON APPROACH SIDE, PROVIDE A 60" CLEAR LEVEL SPACE WHEN DOOR SWINGS TOWARD APPROACH AND 44" SPACE WHEN DOOR SWINGS AWAY FROM APPROACH.
18. TOILET ROOM ACCESSORIES
 - 18.1. MOUNT BOTTOM EDGE OF MIRRORS NO HIGHER THAN 40" FROM THE FLOOR.
 - 18.2. MOUNT TOILET TISSUE DISPENSERS WITHIN 12" FROM THE FRONT EDGE OF THE TOILET SEAT.
 - 18.3. MOUNT DISPENSING AND DISPOSAL FIXTURES (TOWEL, SANITARY NAPKINS, WASTE, COIN SLOTS, ETC.) WITH OPERATING PARTS NO HIGHER THAN 40" FROM THE FLOOR.
19. SINGLE ACCOMMODATION TOILET FACILITY
 - 19.1. WATER CLOSET TO HAVE A 28" CLEARANCE FROM A FIXTURE AND 32" FROM A WALL.
 - 19.2. MINIMUM CLEAR SPACE IN FRONT OF WATER CLOSET TO BE 48".
 - 19.3. A SPACE 36" X 48" IS PERMITTED IN FRONT OF EXISTING WATER CLOSET ACCESSIBLE TO THE HANDICAPPED.

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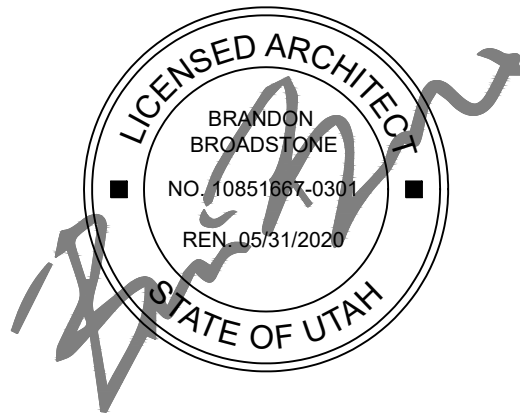
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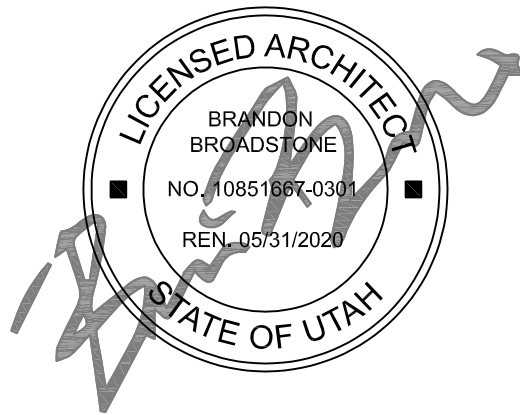
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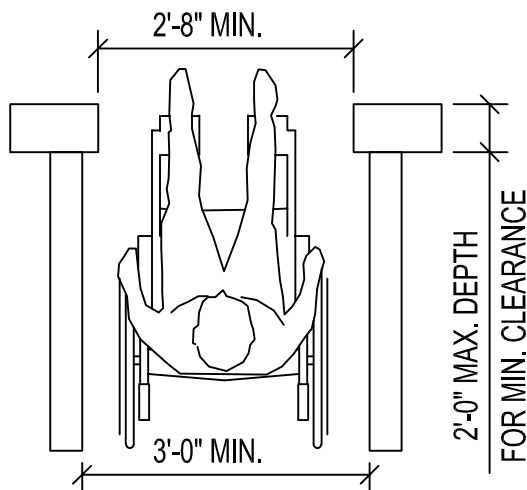
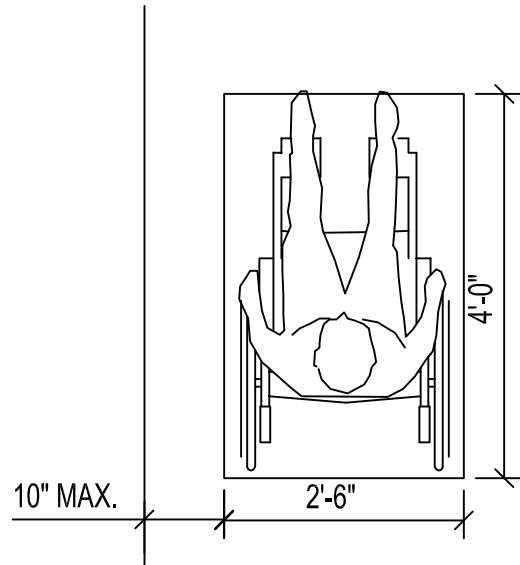
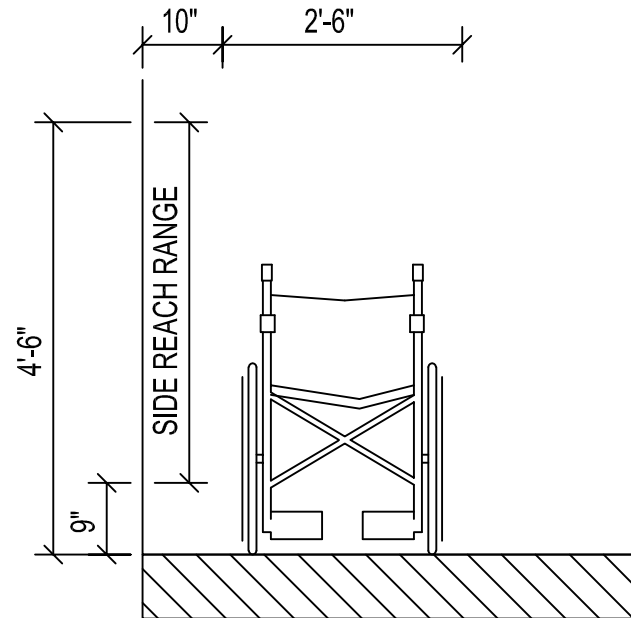
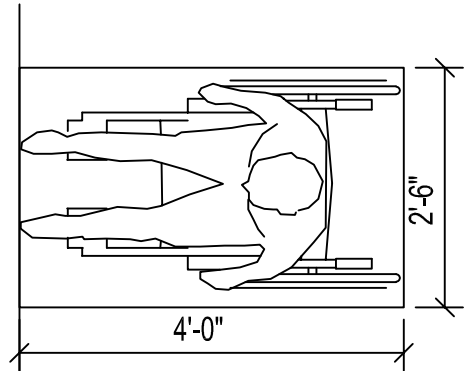
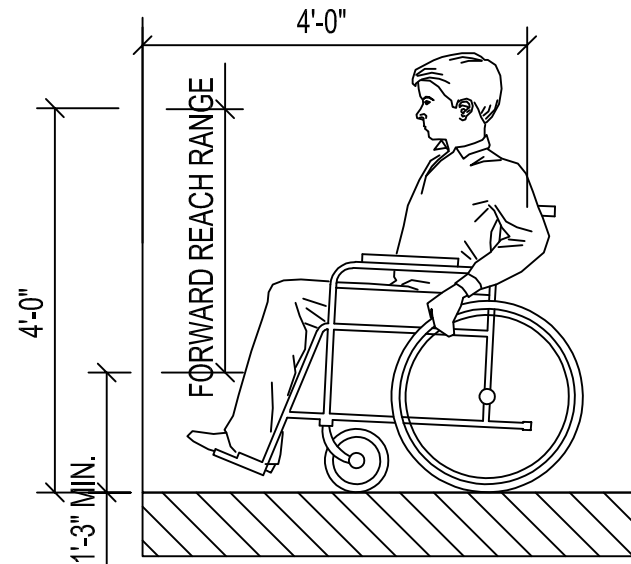
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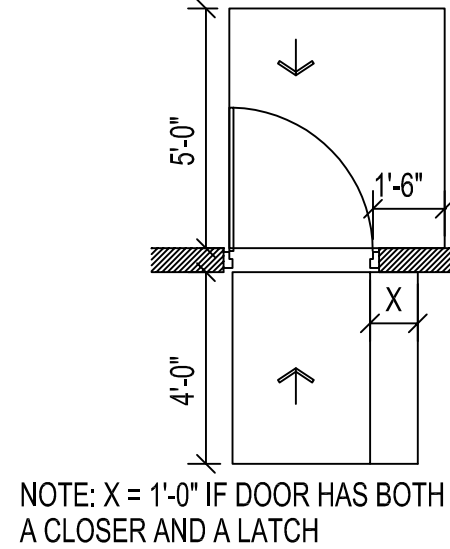
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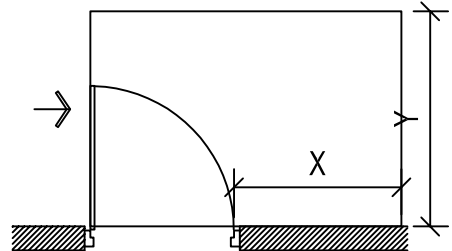
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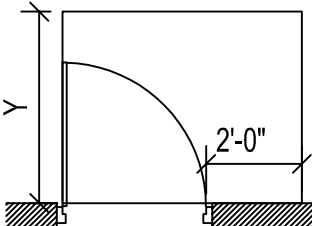
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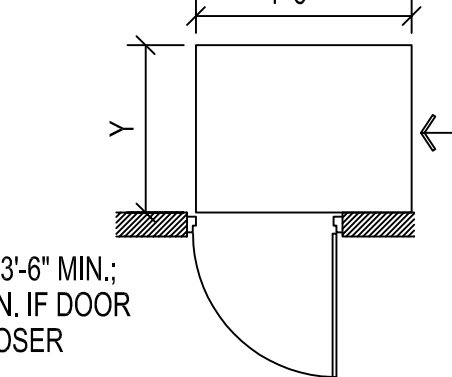
NOTE: X = 1'-0" IF DOOR HAS BOTH
A CLOSER AND A LATCH



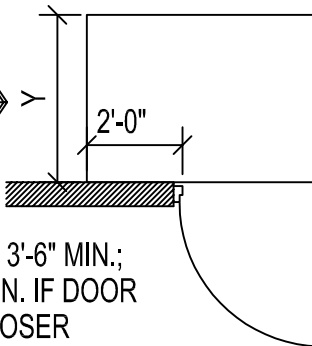
NOTE: X = 3'-0" MIN. IF Y=5'-0";
X= 3'-6" MIN. IF Y=4'-6".



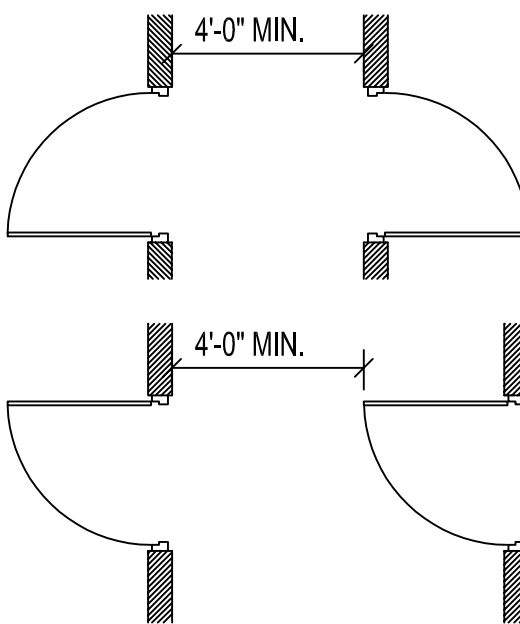
NOTE: Y= 4'-0" MIN.; Y=4'-6" MIN.
IF DOOR HAS A CLOSER



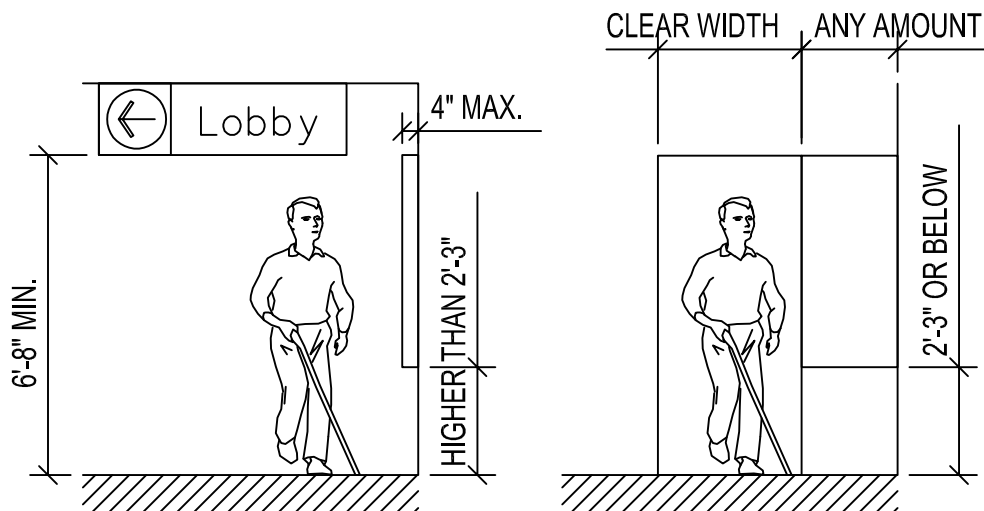
NOTE: Y= 3'-6" MIN.;
Y=4'-0" MIN. IF DOOR
HAS A CLOSER



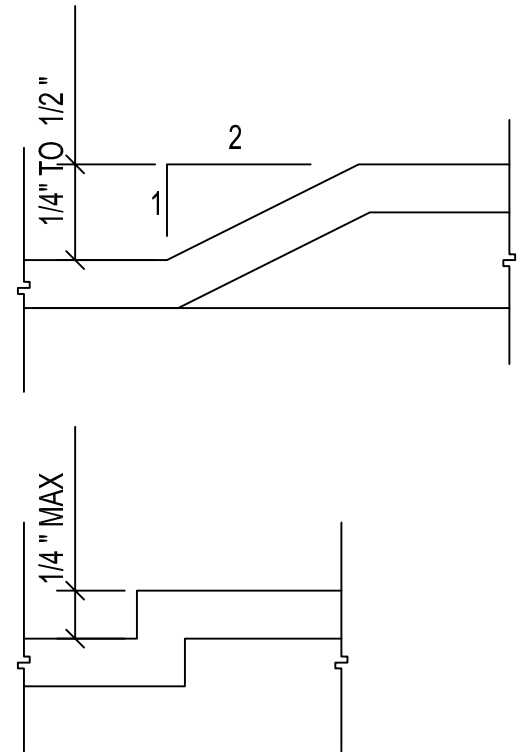
NOTE: Y= 3'-6" MIN.;
Y=4'-0" MIN. IF DOOR
HAS A CLOSER



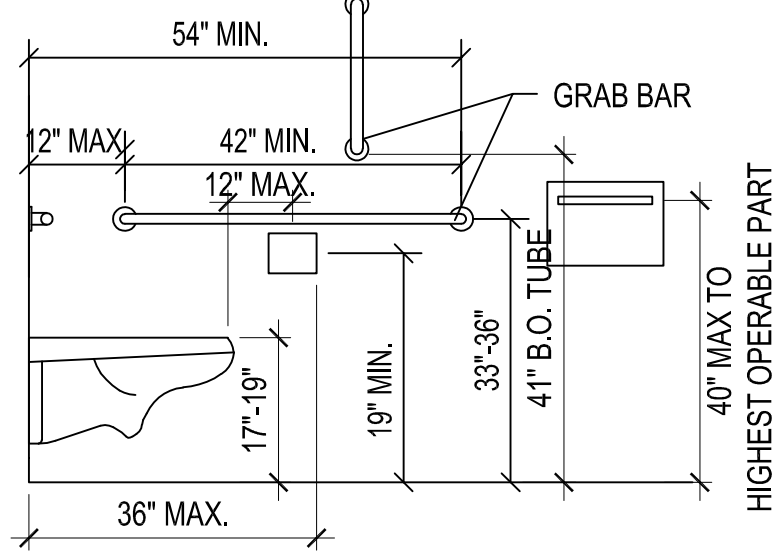
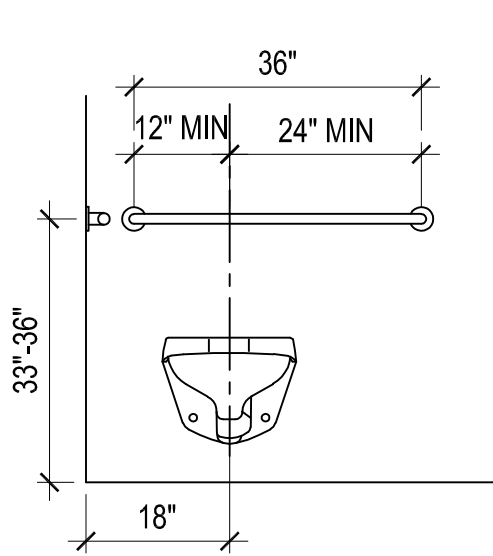
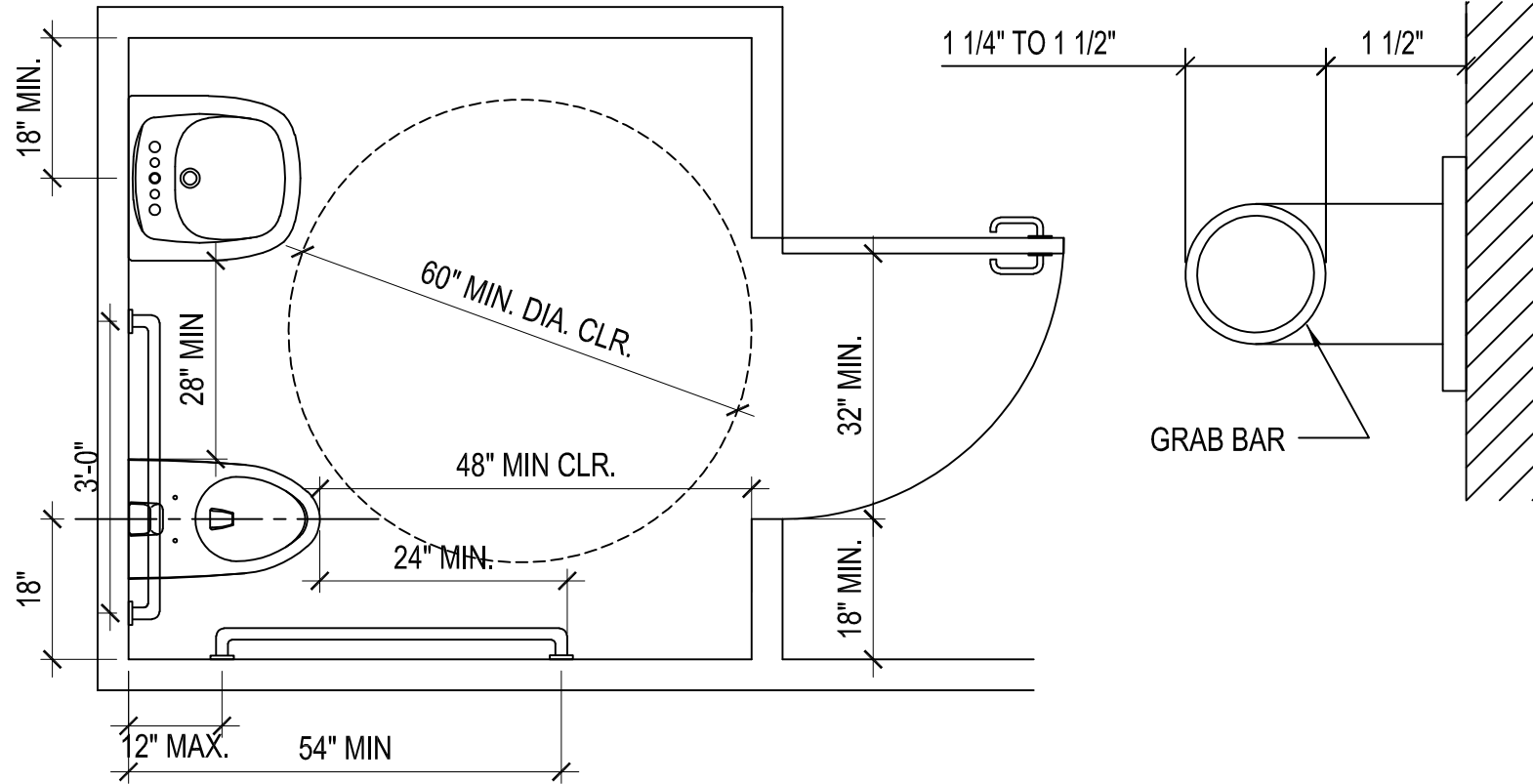
CLEARANCES



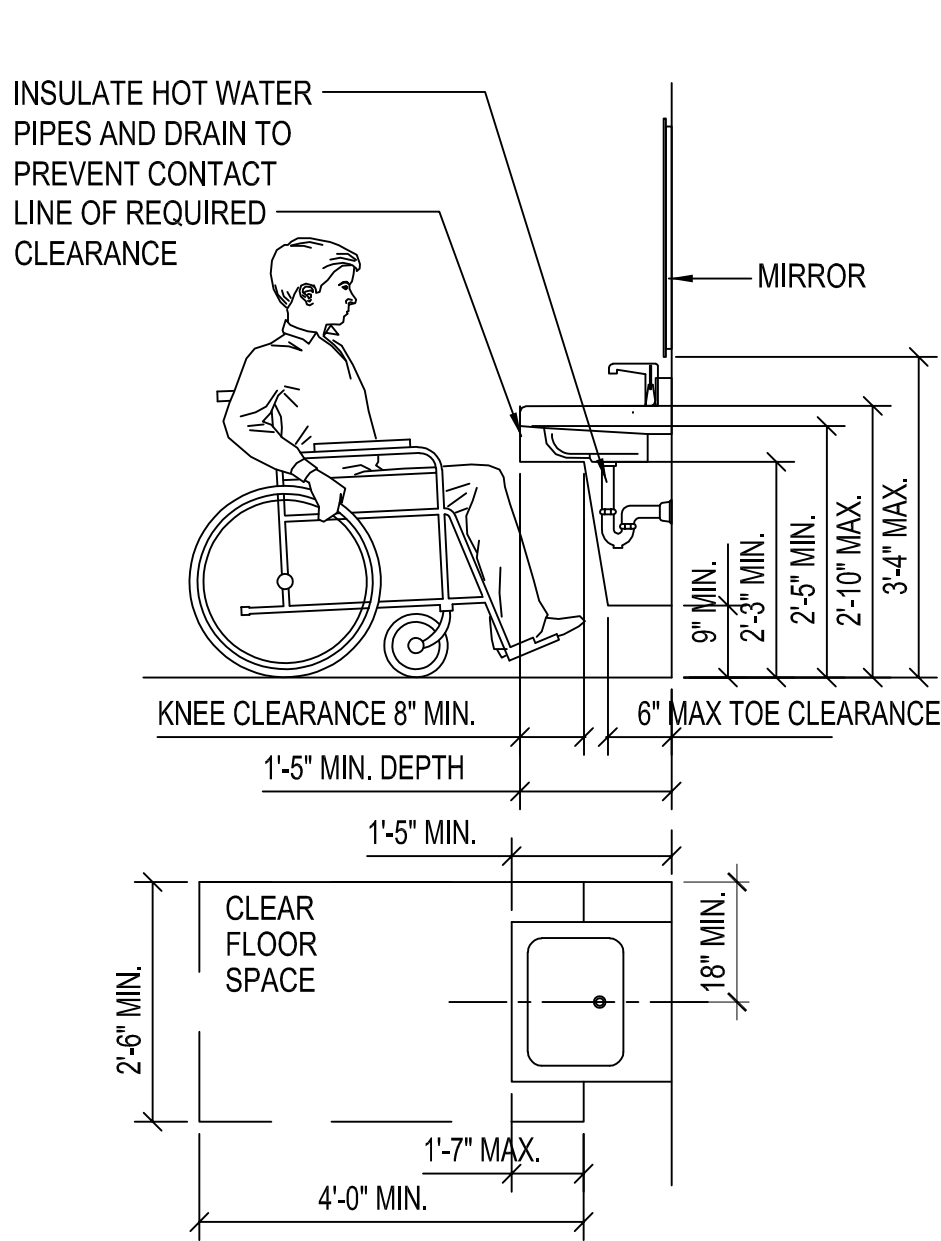
PROTRUDING OBJECTS



THRESHOLDS



SINGLE USER TOILET



SINK OR VANITY

PLUMBING FIXTURE CALCULATIONS

OCCUPANTS PER A1.30 EXITING PLAN = 108 TOTAL

108 / 2 = 54 MALE, 54 FEMALE

(PER TABLE 403.1 ASSEMBLY A-2 RESTAURANT)
REQUIRED MALE WATER CLOSETS = 1 PER 75 = 1 REQUIRED
REQUIRED FEMALE WATER CLOSETS = 1 PER 75 = 1 REQUIRED

REQUIRED MALE LAVATORIES = 1 PER 200 = 1 REQUIRED
REQUIRED FEMALE LAVATORIES = 1 PER 200 = 1 REQUIRED

MALE WATER CLOSETS PROVIDED = 1
FEMALE WATER CLOSET PROVIDED = 1

MALE LAVATORIES PROVIDED = 1
FEMALE LAVATORIES PROVIDED = 1

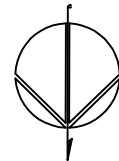
GENERAL NOTES

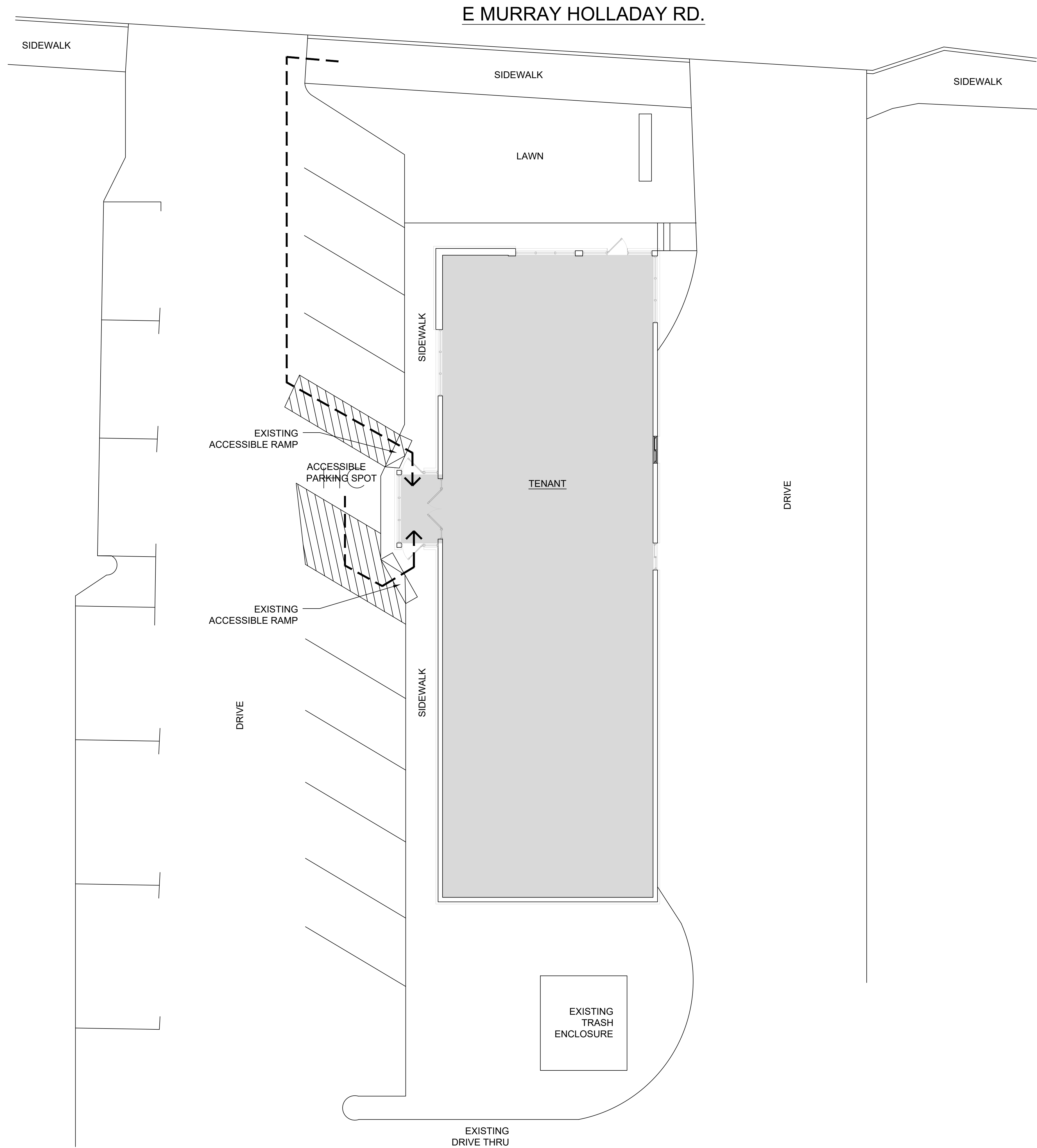
EXISTING RESTROOMS TO REMAIN.

ENLARGED EXISTING RESTROOMS

1/2" = 1'-0"

1





LEGEND:

ACCESSIBLE PATH OF TRAVEL
- - - - -

TENANT AREA
[shaded box]

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office
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Salt Lake City, UT 84101
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@OFFICE-DFK.COM

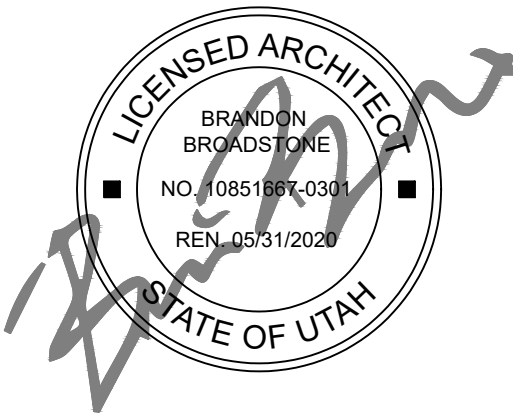
CONSULTANTS:

STRUCTURAL ENGINEERS

CONTRACTOR

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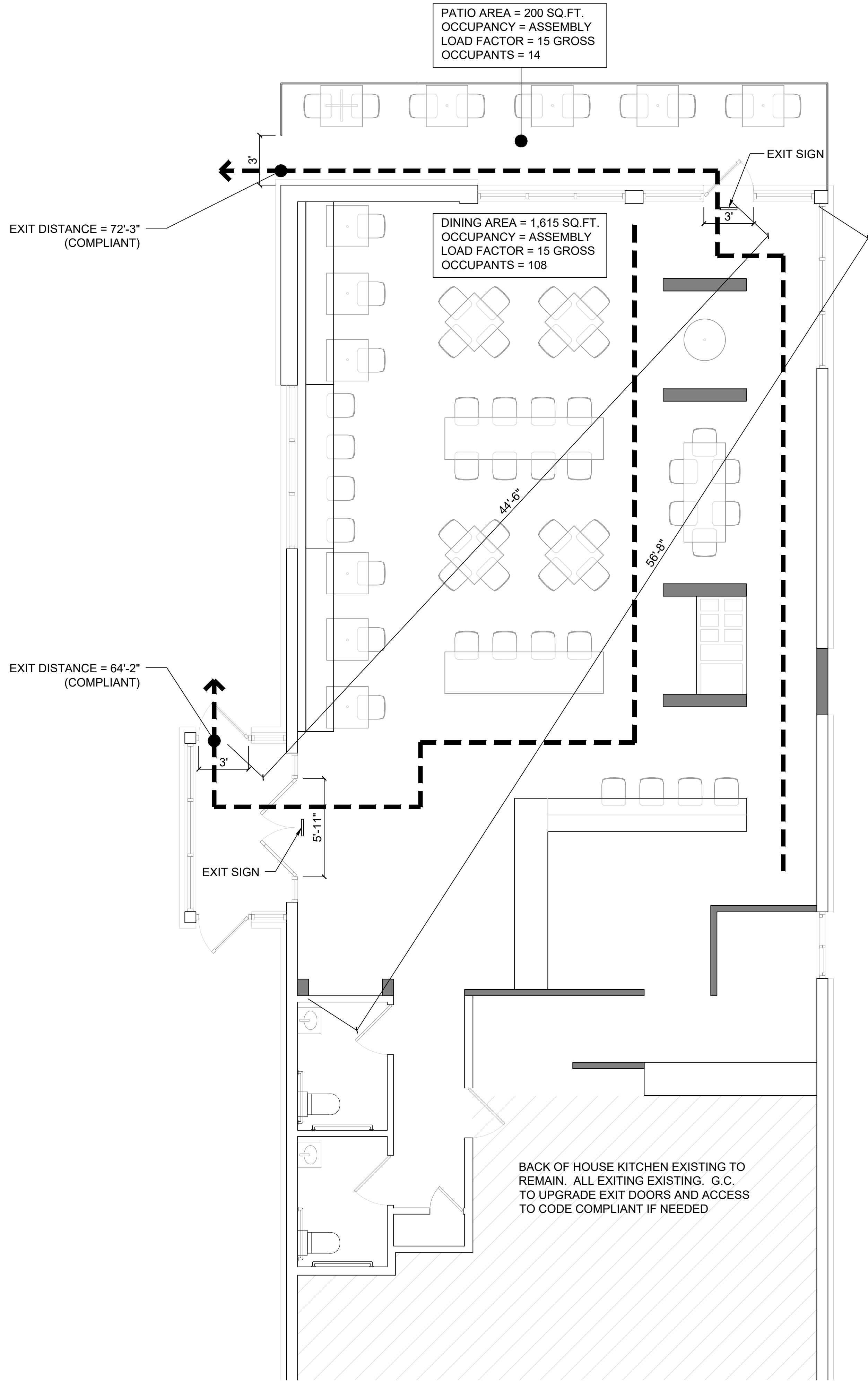
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SITE PLAN

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LEGEND:

EXIT PATH OF TRAVEL — — — — —

EXISTING WALLS —————

NEW WALLS —————

NOT IN SCOPE (BACK OF HOUSE) [Hatched Box]

NEW CONCRETE PATIO [Stippled Box]

OCCUPANT LOAD CALCULATION

DINING AREA = 1,615 SQ.FT.
MINIMUM FLOOR AREA ALLOWANCE PER OCCUPANT = 15 GROSS
(PER ASSEMBLY UNCONCENTRATED (TABLES AND CHAIRS ON TABLE 1004.1.2)

1,615 / 15 = 108 OCCUPANTS

PATIO AREA = 200 SQ.FT.
MINIMUM FLOOR AREA ALLOWANCE PER OCCUPANT = 15 GROSS
(PER ASSEMBLY UNCONCENTRATED (TABLES AND CHAIRS ON TABLE 1004.1.2)

200 / 15 = 14 OCCUPANTS

EXITING CALCULATION

EGRESS WIDTH PER PERSON SERVED = .2" PER OCCUPANT

0.2" X 108 OCCUPANTS = 21.6" EGRESS WIDTH REQUIRED TOTAL

EGRESS WIDTH PROVIDED = 34" CLR. AT EACH DOOR MIN.

NUMBER OF EXITS REQUIRED = 2

MAX DISTANCE BETWEEN EXITS = 56'-8" / 3 = 18'-11"

44'-6" SEPARATION PROVIDED > 18'-11" = COMPLIANT

GENERAL NOTES

DINING AREA EXIT DOORS EXISTING TO REMAIN. ALL
EXITING EXISTING. G.C. TO UPGRADE EXIT DOORS AND
ACCESS TO CODE COMPLIANT IF NEEDED

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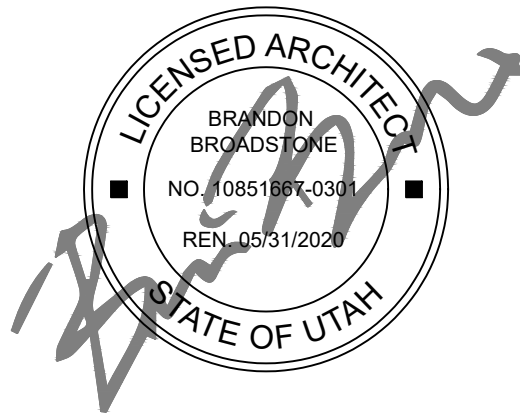
CONSULTANTS:

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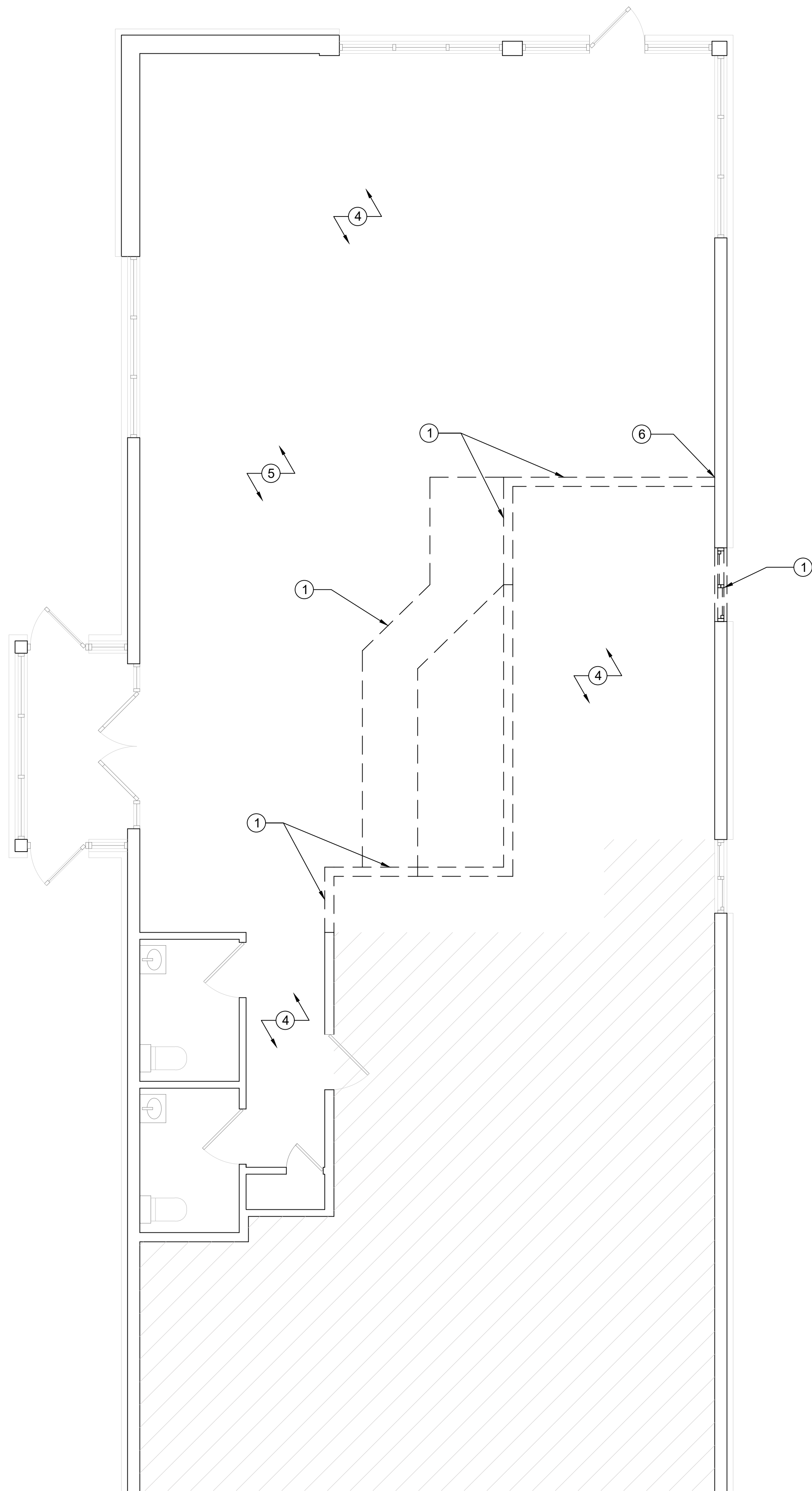
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EXITING PLAN

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LEGEND:

- TO BE DEMOLISHED - - - - -
- EXISTING WALLS —————
- NEW WALLS —————
- NOT IN SCOPE (BACK OF HOUSE) [Hatched Box]

NOTES

- ① REMOVE EXISTING WINDOW AND FRAME
- ② REMOVE EXISTING PARTITION. PATCH FLOOR AS NEEDED.
- ③ REMOVE EXISTING COUNTER. PATCH FLOOR AS NEEDED
- ④ REMOVE EXISTING CEILING THROUGH DINING AREA. CEILING IN BACK OF HOUSE TO REMAIN.
- ⑤ SCRAPE EXISTING CONCRETE FLOOR CLEAN. PREP FOR FINISH.
- ⑥ PATCH WALL AT DEMOLISHED PARTITION. PREP FOR FINISH.

GENERAL NOTES

1. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
2. PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
3. ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
4. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.
5. REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
6. REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT, AND FIXTURES AS REQUIRED FOR NEW WORK.
7. REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR AS REQUIRED FOR NEW FLOOR FINISHES.

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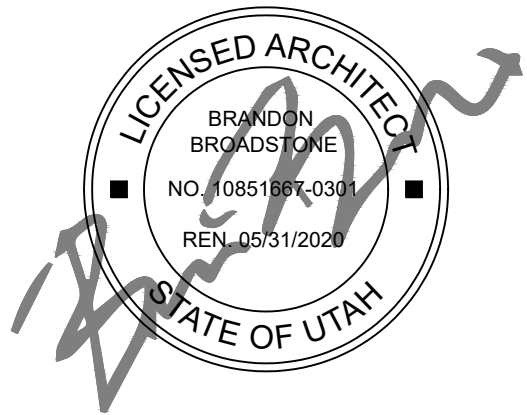
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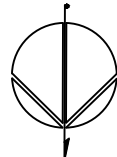
DEMOLITION PLAN

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DEMOLITION PLAN

1/4" = 1'-0"

1



A1.40

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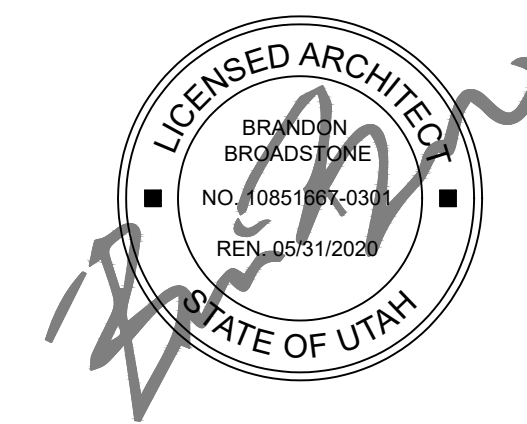


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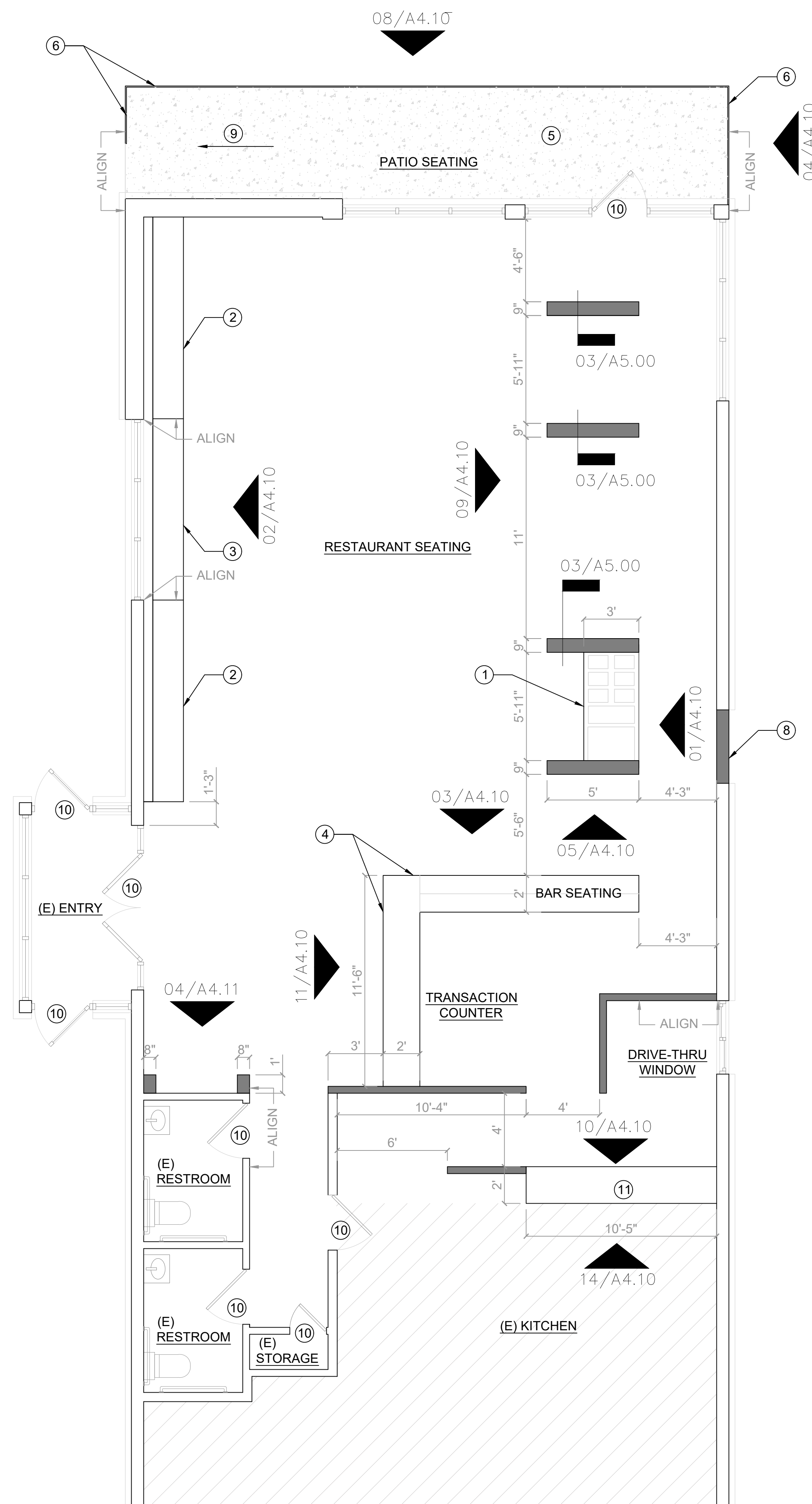
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CONSTRUCTION PLAN

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A1.50



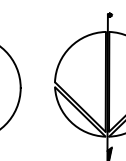
- ① NEW MILLWORK SALSA BAR.
- ② NEW MILLWORK BANQUETTE.
- ③ NEW MILLWORK COUNTER
- ④ NEW MILLWORK COUNTER, BAR AND TRANSACTION COUNTER.
- ⑤ NEW CONCRETE PATIO. G.C. TO PROVIDE NEW SLAB AS REQUIRED. COORDINATE WITH EDGE OF EXISTING SIDEWALK.
- ⑥ NEW METAL GUARDRAIL.
- ⑦ NEW SERVICE COUNTER AND MILLWORK.
- ⑧ NEW INFILL WALL AT DEMOLISHED WINDOW. MATCH EXISTING ADJACENT CONSTRUCTION.
- ⑨ SLOPE NEW CONCRETE PAD TO ADJACENT SIDEWALK. MAX SLOPE 1:20.
- ⑩ EXISTING DOOR TO REMAIN.
- ⑪ NEW SERVICE COUNTER.

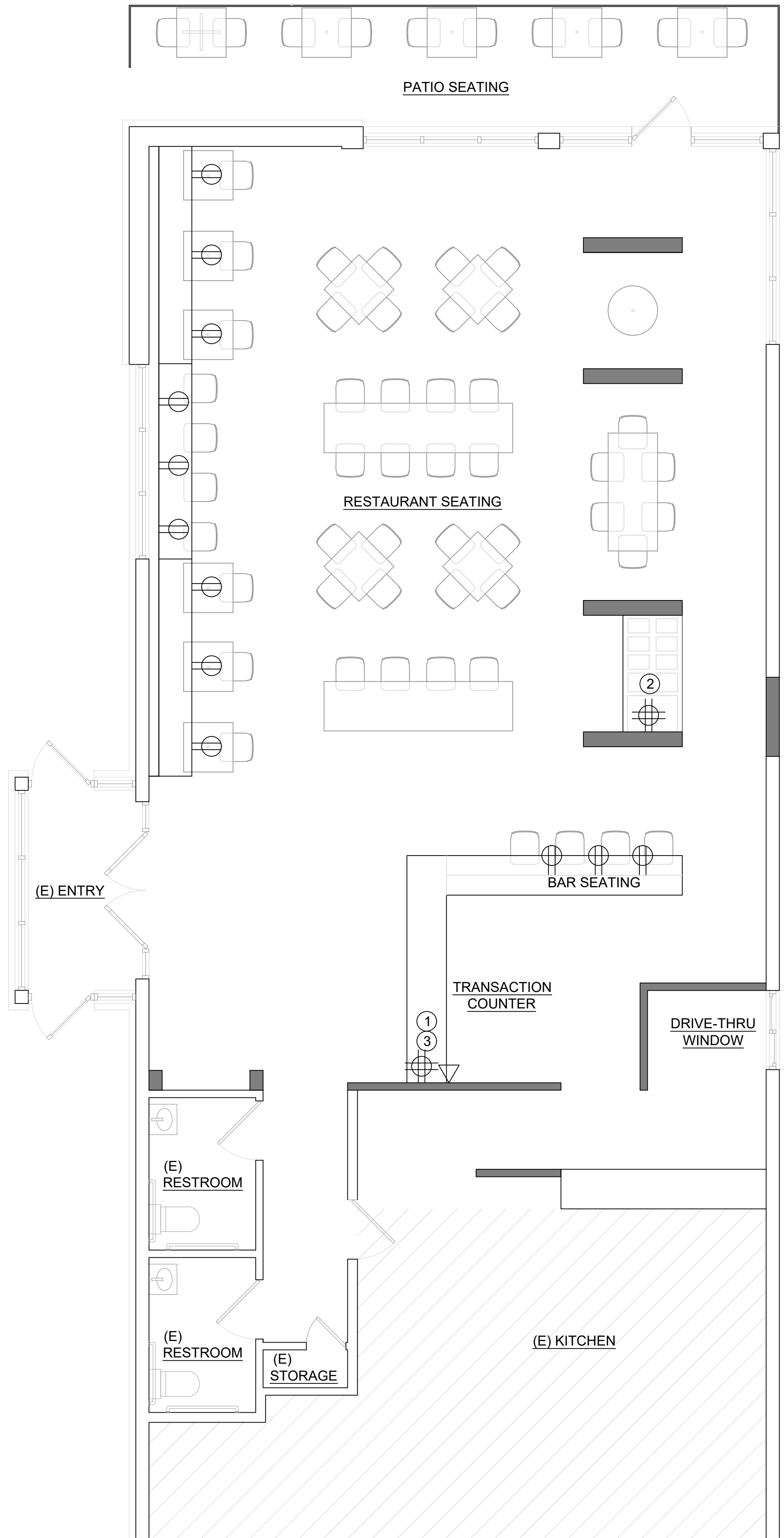
GC TO COORDINATE WITH OWNER FOR CUT OUTS NEEDED FOR SALSA BAR CONTAINERS AND LOCATION. PROVIDE HEATING/COOLING?

GC TO REPAIR EXISTING DOOR/FRAME/HARDWARE AS
NEEDED.

REPAIR DRIVE THRU WINDOW TO LIKE-NEW CONDITION AS REQUIRED.

CONSTRUCTION PLAN
1/4" = 1'-0"





LEGEND:

- EXISTING WALLS
- NEW WALLS
- NOT IN SCOPE
(BACK OF HOUSE)
- DUPLEX OUTLET
- QUAD OUTLET
- DEDICATED CIRCUIT
- GROUND FAULT
INTERRUPTION OUTLET
- DATA PORT

NOTES

1. PROVIDE GROMMET AS NEEDED IN COUNTERTOP FOR POWER/DATA AT POS SYSTEMS. COORDINATE WITH OWNER FOR EXACT LOCATION.
2. GC TO CONFIRM ELECTRICAL REQUIREMENTS FOR SALSA BAR HEATING AND COOLING.
3. GC TO CONFIRM DATA AND POWER NEEDS FOR OWNER POS STATIONS.

GENERAL NOTES

1. FURNITURE SHOWN FOR ILLUSTRATION PURPOSES ONLY. OWNER TO COORDINATE WITH GC FOR FINAL LOCATION

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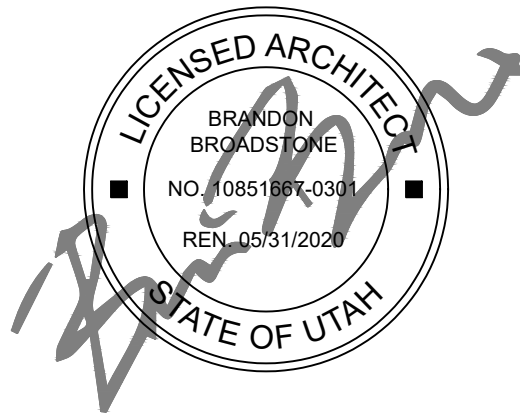
CONSULTANTS:

STRUCTURAL ENGINEERS

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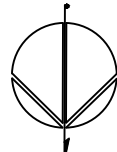
sheet title:
**POWER AND
COMMUNICATION
PLAN**

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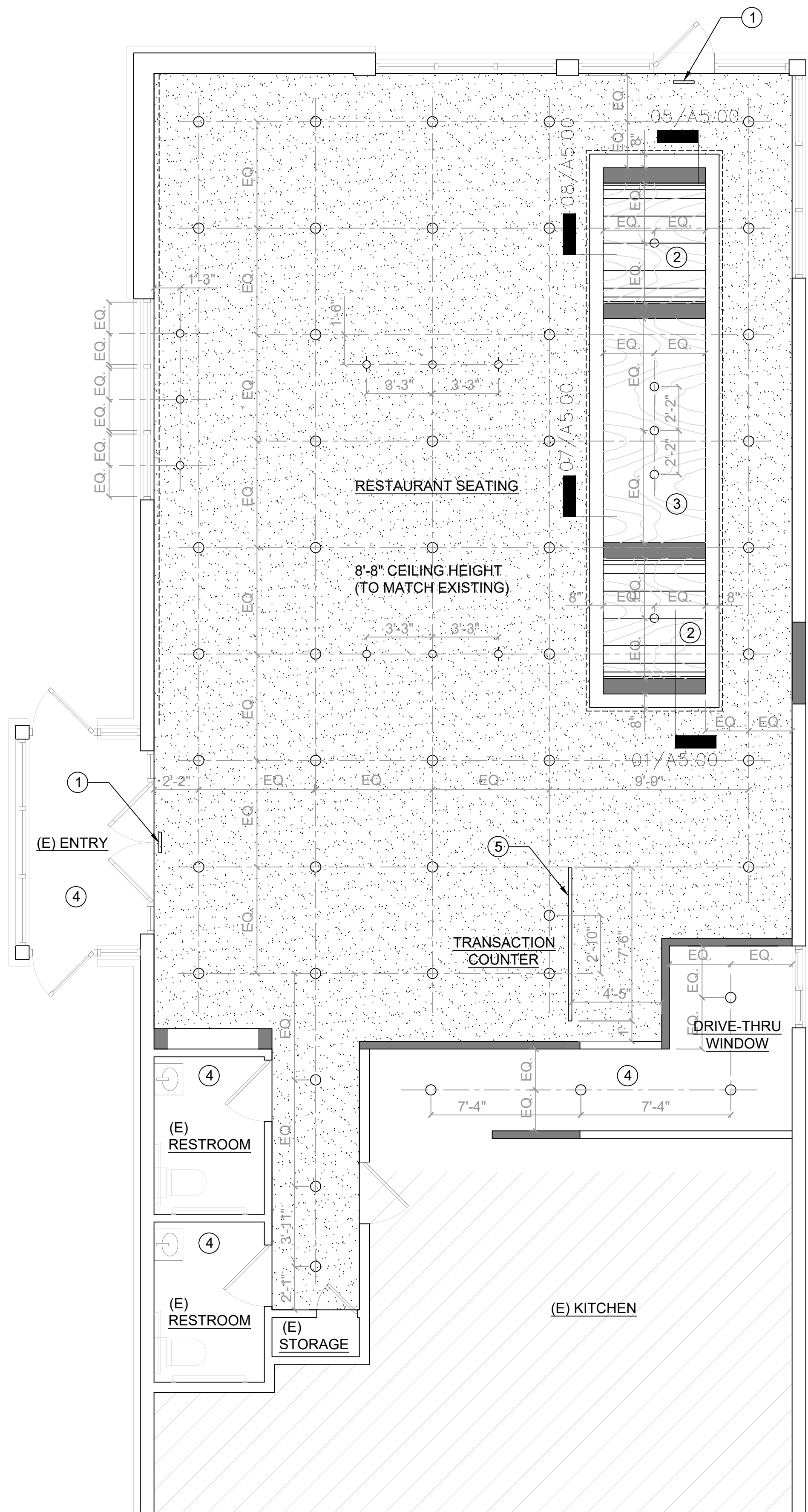
POWER AND COMMUNICATION PLAN

1/4" = 1'-0"

1



A1.60



LEGEND:

- EXISTING WALLS
- NEW WALLS
- NOT IN SCOPE
(BACK OF HOUSE)
- 6" SURFACE MOUNTED
DOWNLIGHT
- PENDANT FIXTURE
- HARDLID CEILING
(PAINTED)
- PLYWOOD CEILING

NOTES

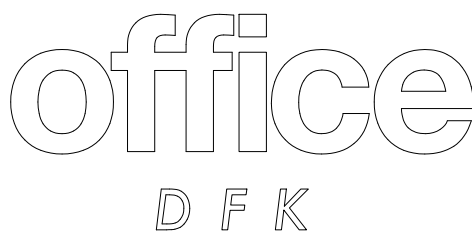
- 1 CEILING MOUNTED EXIT SIGN.
- 2 ARCHED PLYWOOD OPENING. SEE ELEVATION AND DETAILS.
- 3 PLYWOOD OPENING. SEE ELEVATIONS AND DETAILS.
- 4 EXISTING CEILING TO REMAIN. REPAIR AS NEEDED.
- 5 PLYWOOD MENU BOARD ATTACHED TO CEILING.

GENERAL NOTES

1. ALL NEW FIXTURES TO BE LED ON DIMABLE SWITCH.
2. GC TO COORDINATE SWITCH LOCATION WITH OWNER.

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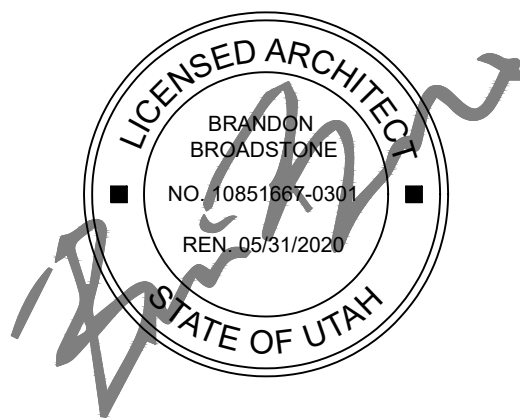
CONSULTANTS:

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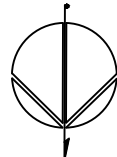
REFLECTED
CEILING PLAN

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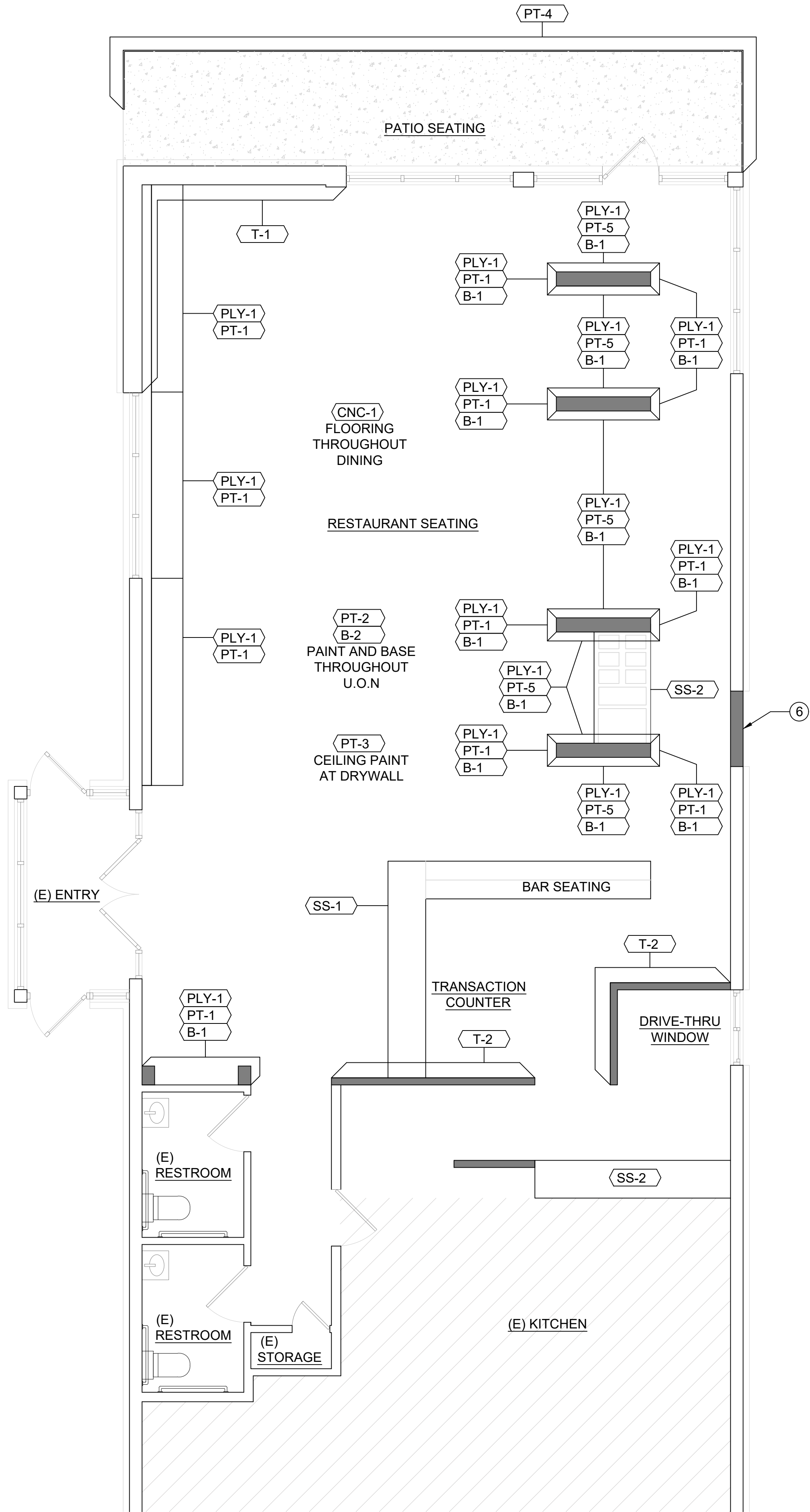
REFLECTED CEILING PLAN

1/4" = 1'-0"

1



A1.70



LEGEND:

- EXISTING WALLS
- NEW WALLS
- NOT IN SCOPE
(BACK OF HOUSE)

NOTES

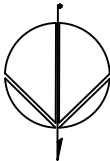
- ① INFILL WINDOW OPENING TO MATCH EXISTING ADJACENT FINISH.

GENERAL NOTES

1. ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
2. REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.
3. EXISTING WINDOW FRAMES TO REMAIN. CLEAN AND REPAIR AS NEEDED.

FINISH SCHEDULE

SYMBOL	DESCRIPTION	MANUF.	SPEC	NOTES
PLY-1	3/4" PLYWOOD	N/A	N/A	
PT-1	PLYWOOD SEALER			
PT-2	WALL PAINT			EGGSHELL FINISH
PT-3	CEILING PAINT	TBD	TBD	MATTE FINISH
PT-4	EXTERIOR PAINT	TBD	TBD	
PT-5	PLYWOOD STAIN	TBD	TBD	
SS-1	SOLID SURFACE	TBD	TBD	
SS-2	STAINLESS COUNTER	TBD	TBD	
B-1	PLYWOOD BASE	TBD	TBD	4' HIGH
B-2	RUBBER BASE	TBD	TBD	4" HIGH
CNC-1	CONCRETE FLOOR	N/A	N/A	MATTE FINISH
T-1	WALL TILE	TBD	TBD	FULL HEIGHT
T-2	WALL TILE	TBD	TBD	FULL HEIGHT



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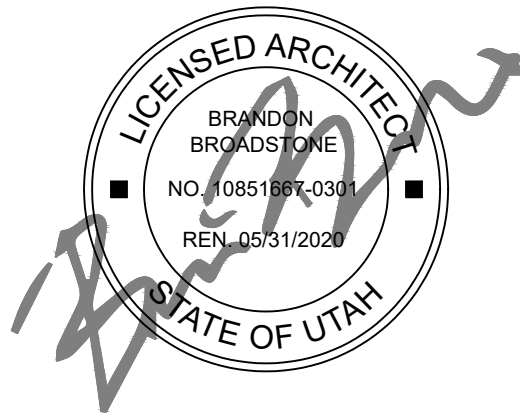
CONSULTANTS:

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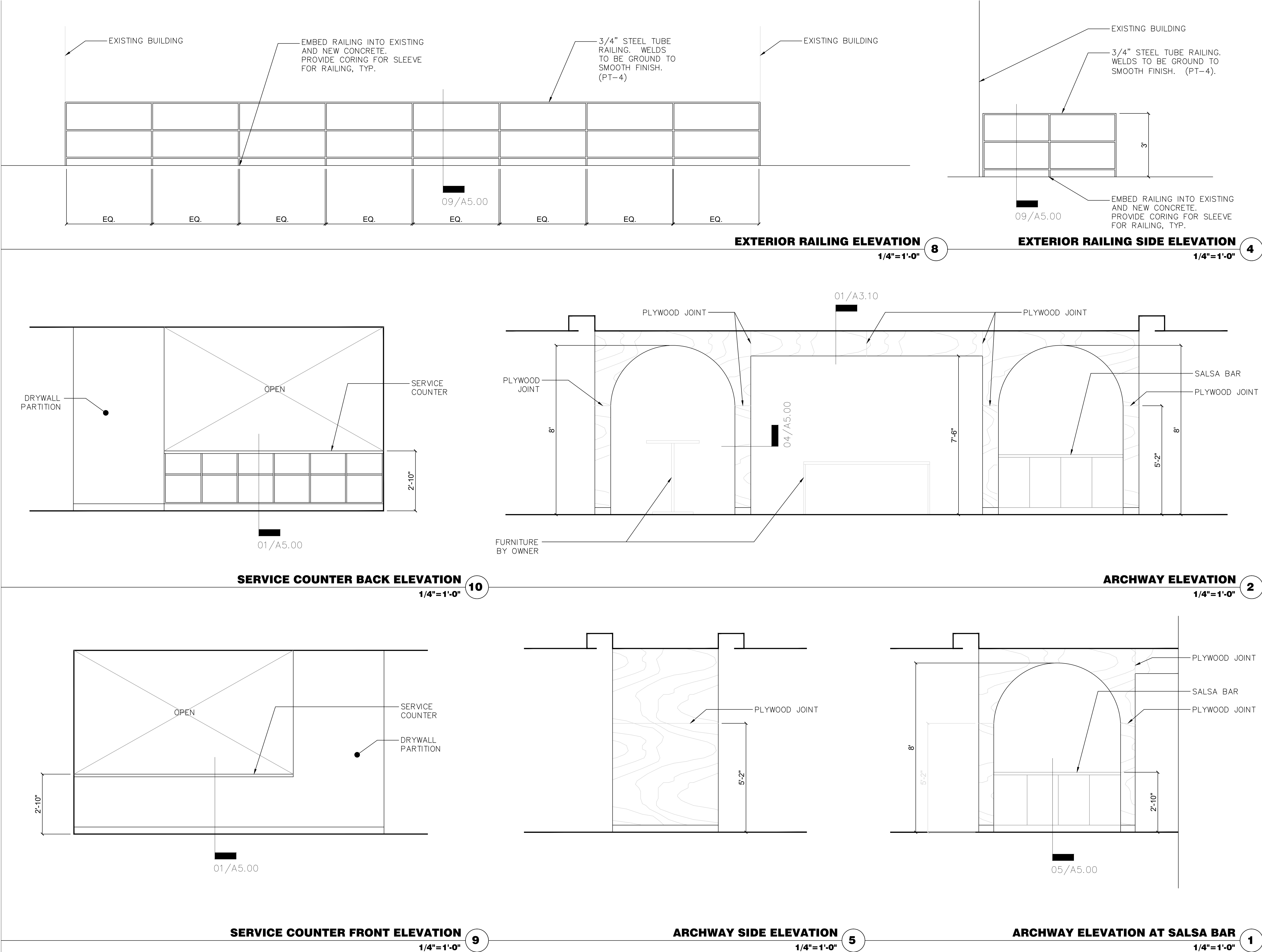
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FINISH PLAN

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office

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Salt Lake City, UT 84101
801.447.5101: CONTACT
@OFFICE-DFK.COM

CONSULTANTS:

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LICENSED ARCHITECT
BRANDON
BROADSTONE
NO. 00851897-0300
REN. 05/31/2020
STATE OF UTAH

Signature

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INTERIOR
ELEVATIONS

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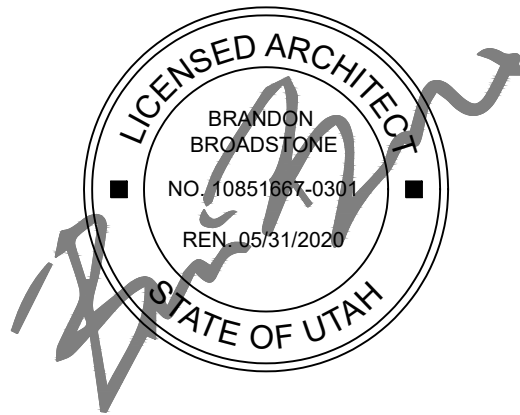
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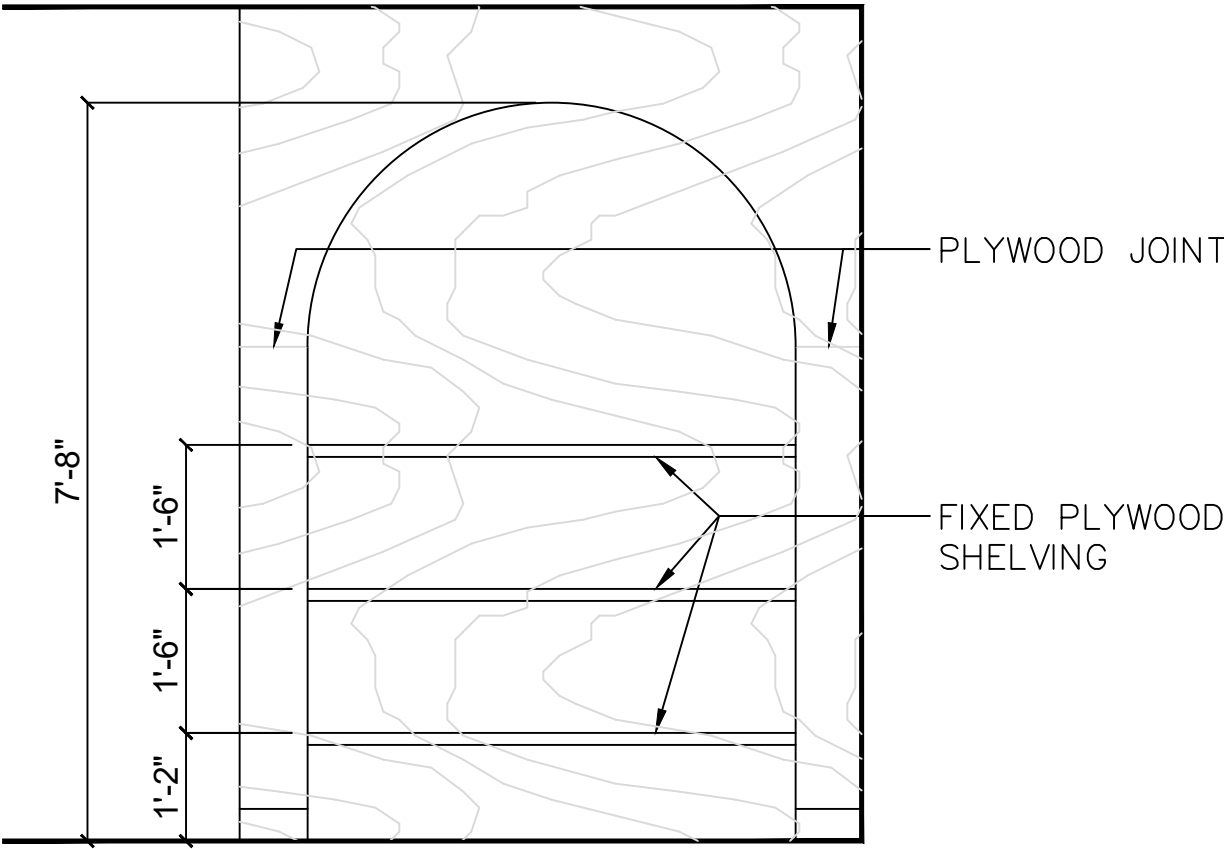
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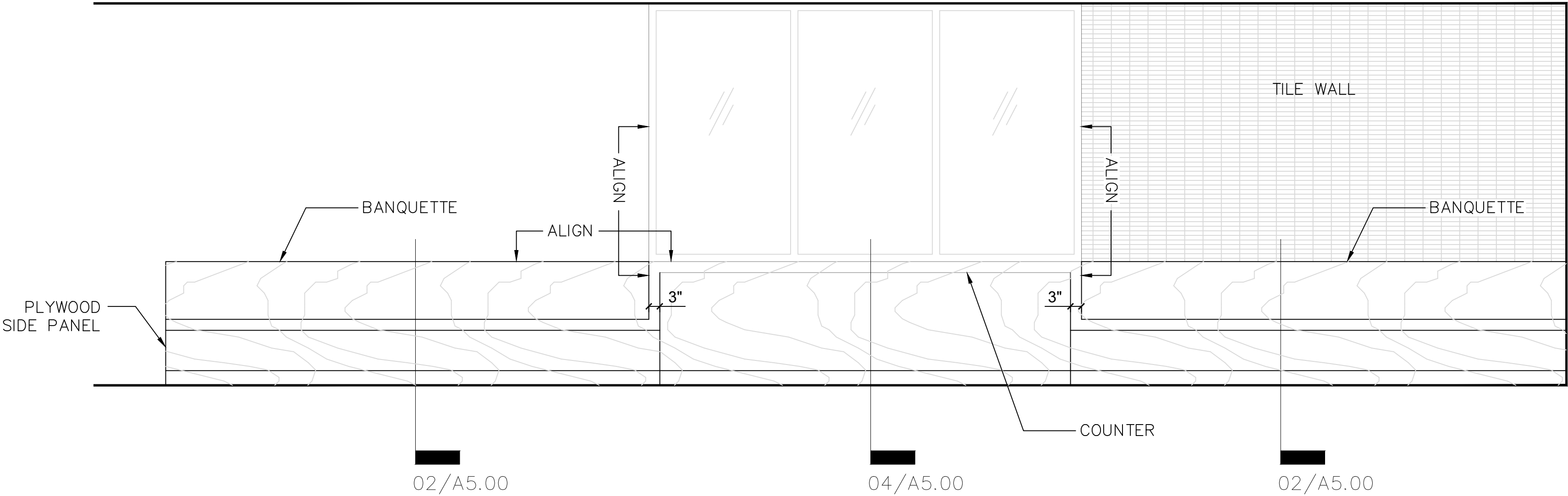
A4.11



SHELVING ELEVATION

1/4"=1'-0"

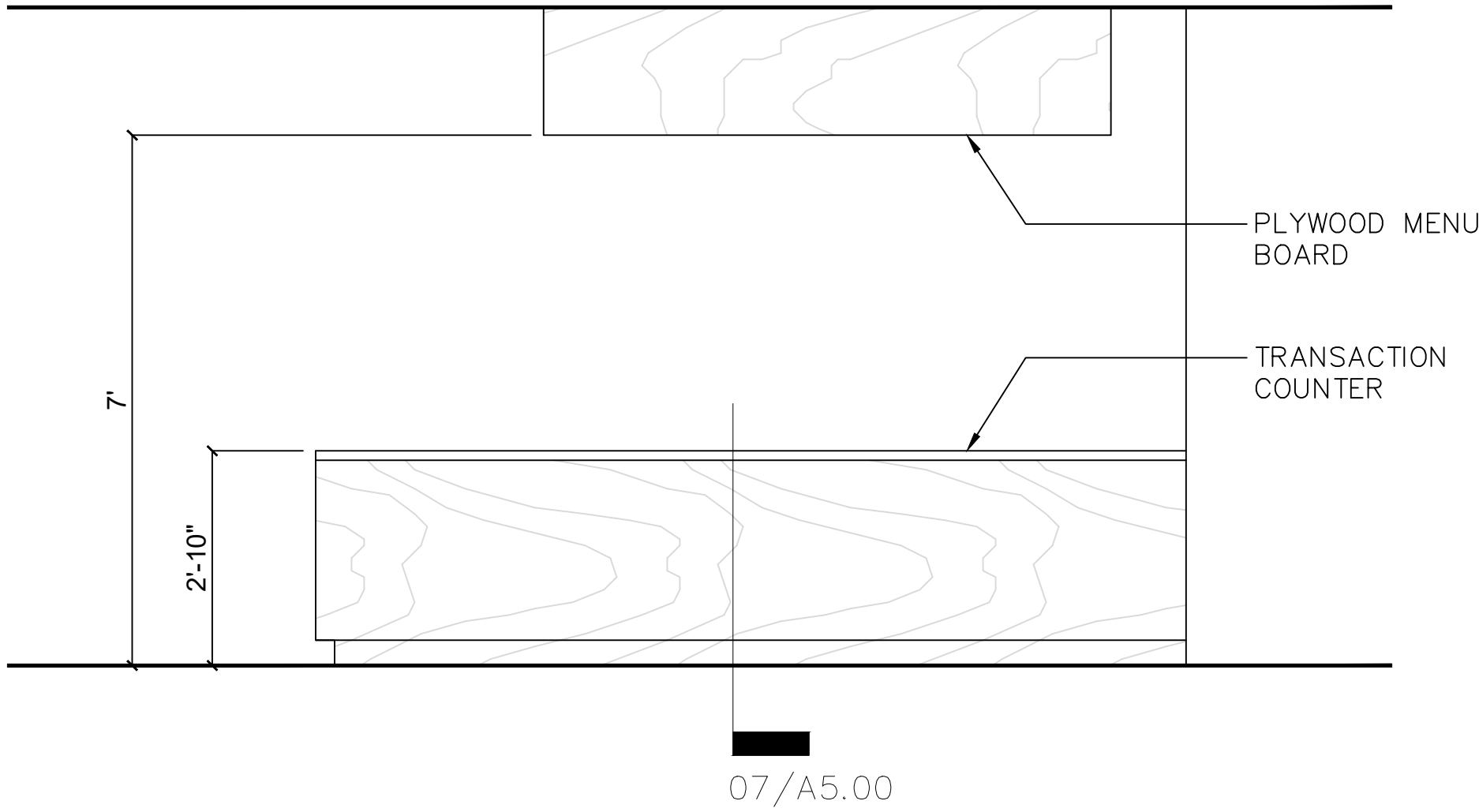
4



BANQUETTE ELEVATION

1/4"=1'-0"

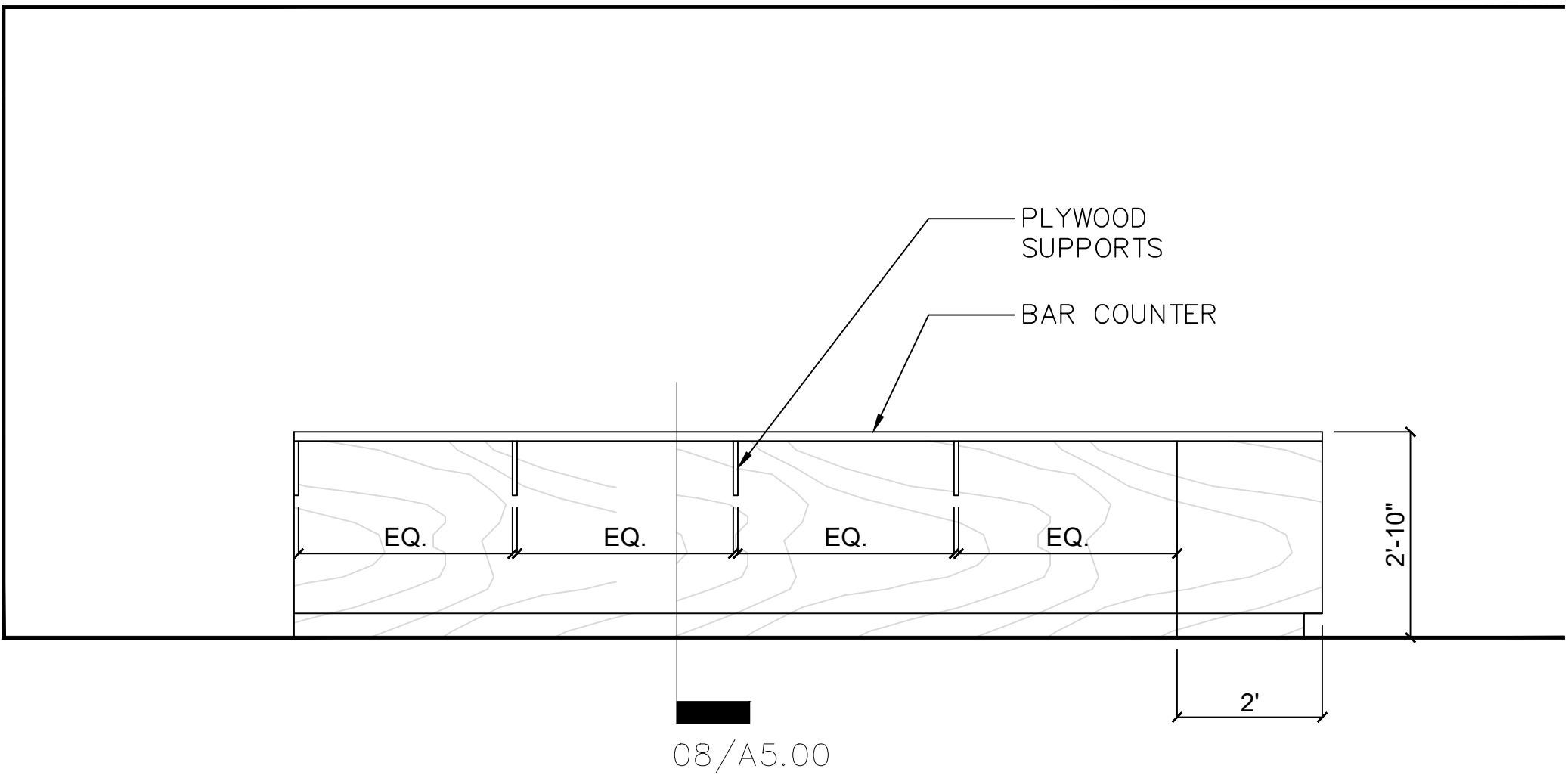
2



TRANSACTION COUNTER ELEVATION

1/4"=1'-0"

9



BAR ELEVATION

1/4"=1'-0"

1

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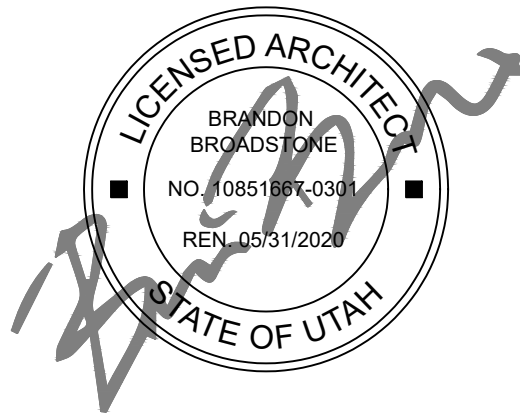
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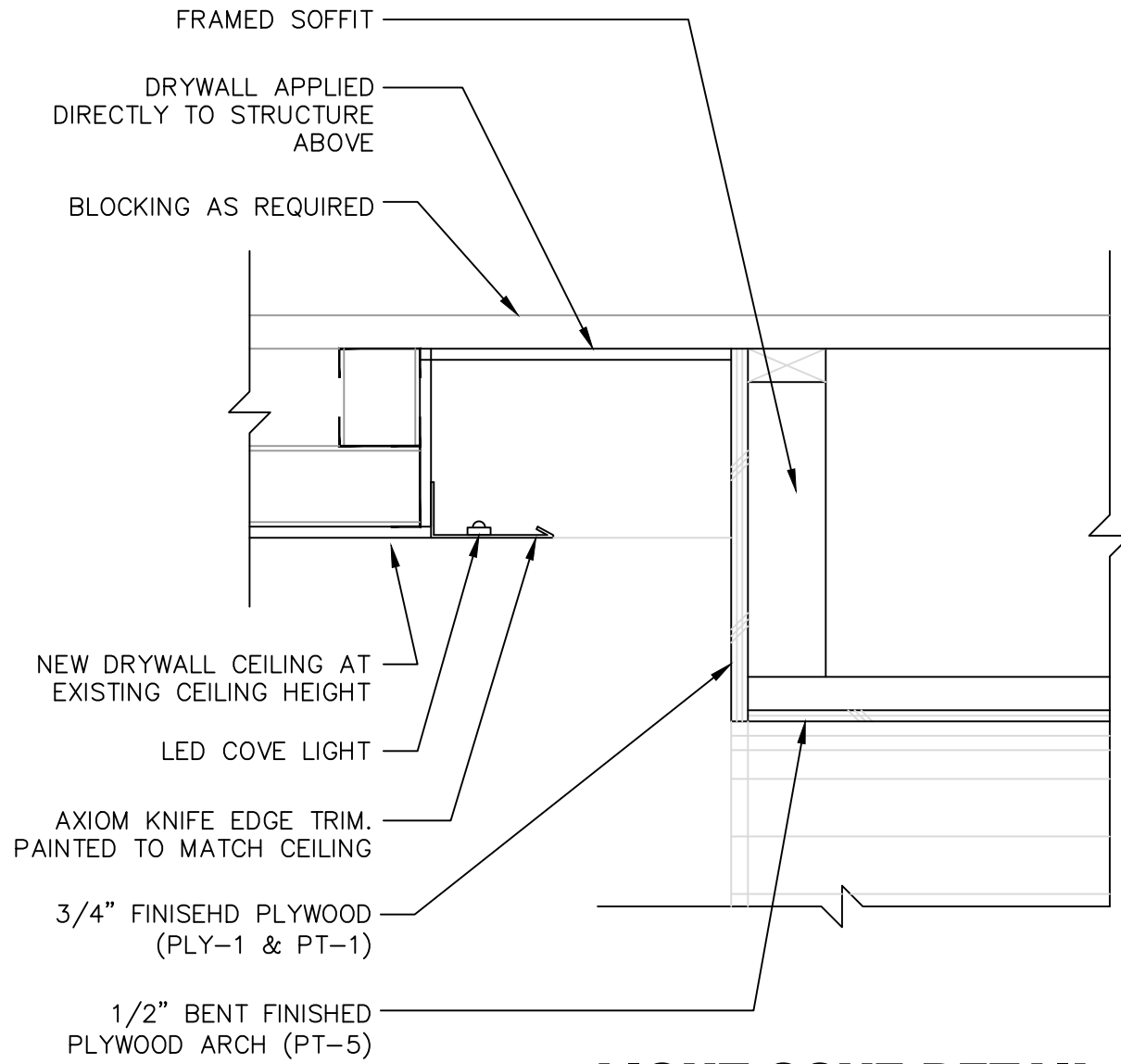
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**PARTITION
SCHEDULE AND
DETAILS**

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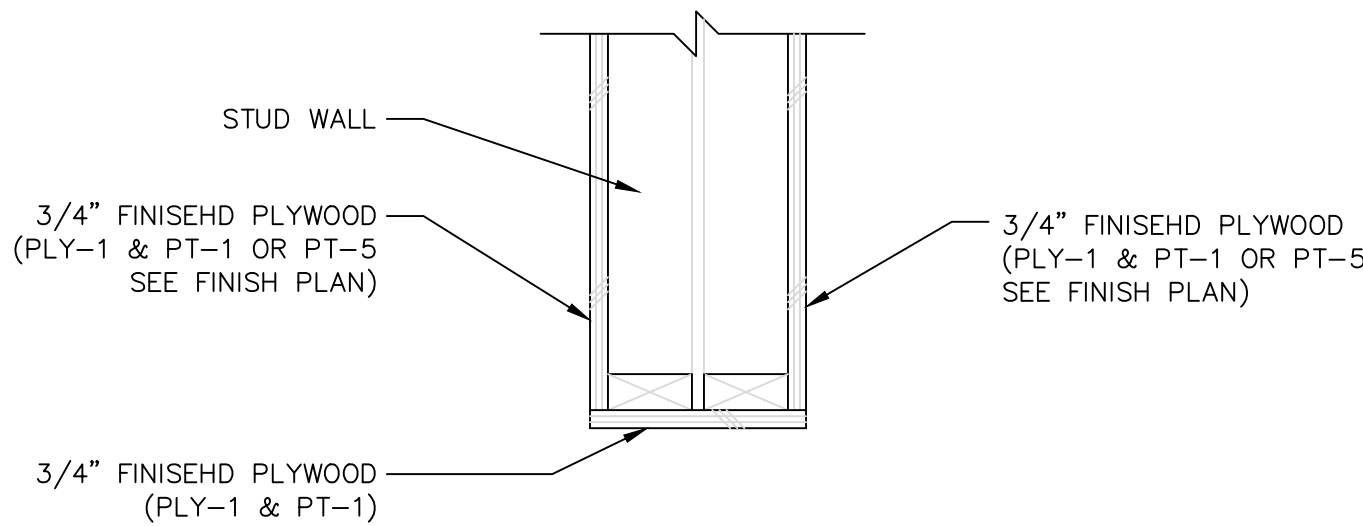
A5.00



LIGHT COVE DETAIL

1-1/2"=1'-0"

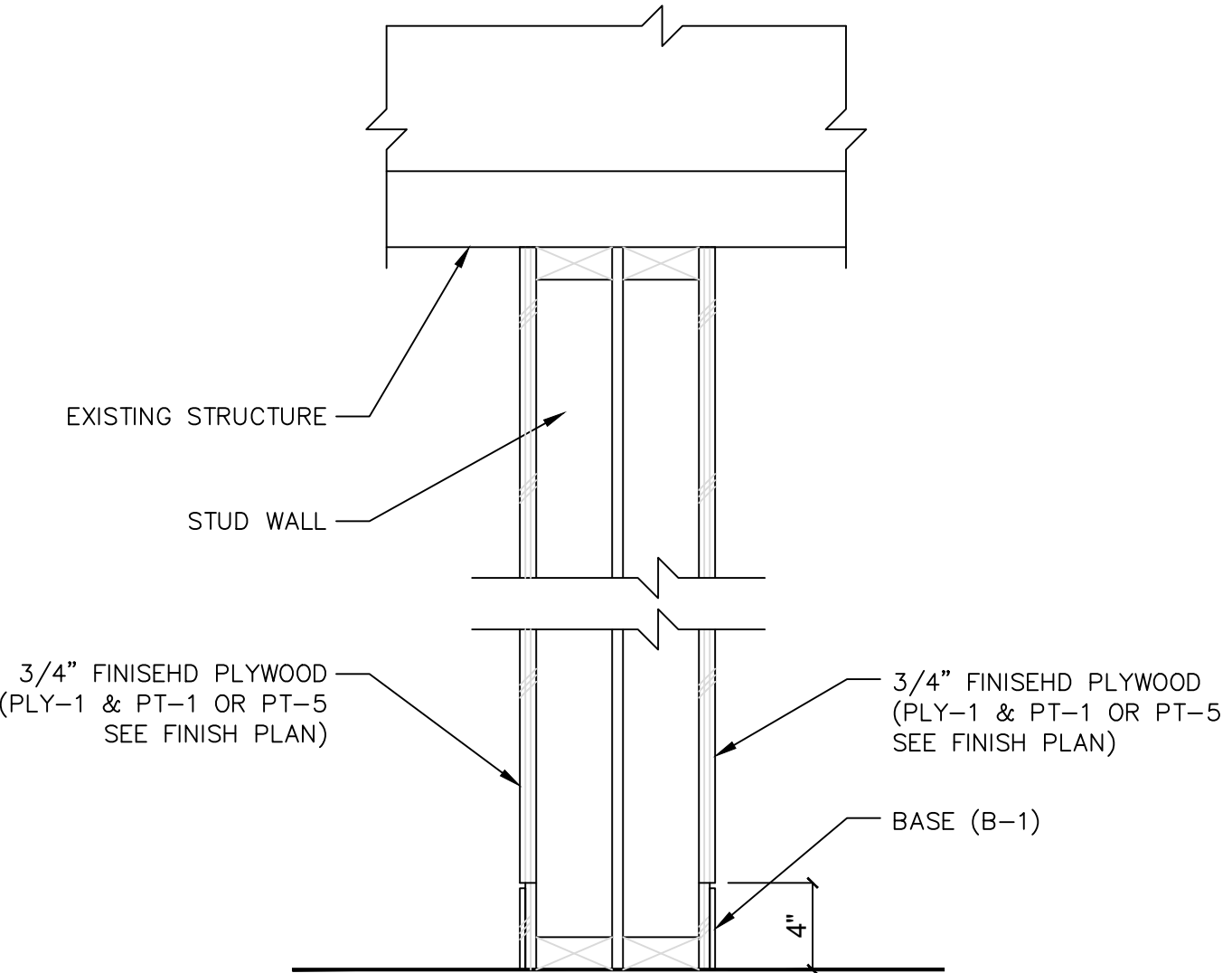
8



WALL PLAN DETAIL

1-1/2"=1'-0"

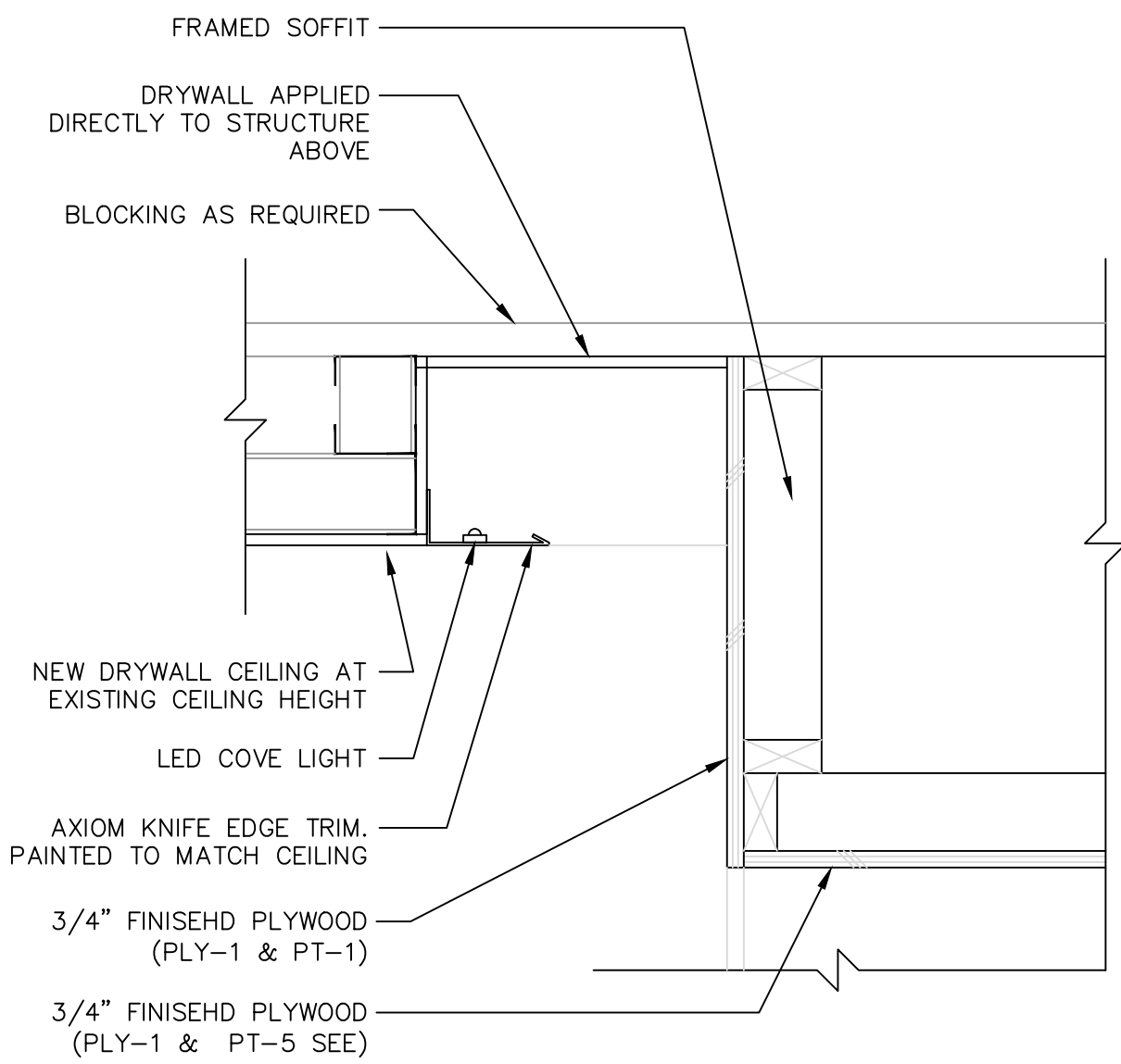
4



ARCHWAY WALL SECTION DETAIL

1-1/2"=1'-0"

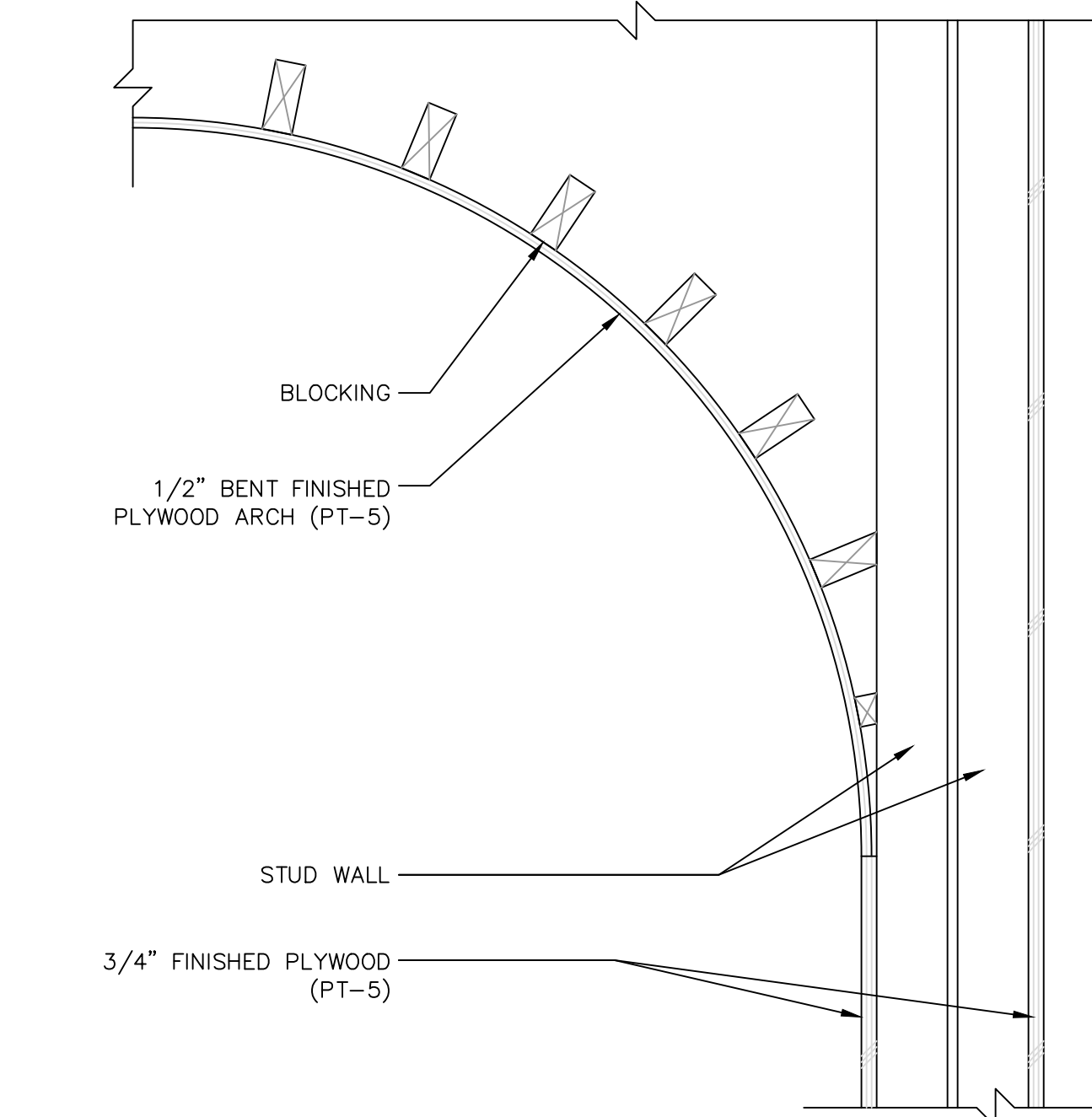
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LIGHT COVE DETAIL

1-1/2"=1'-0"

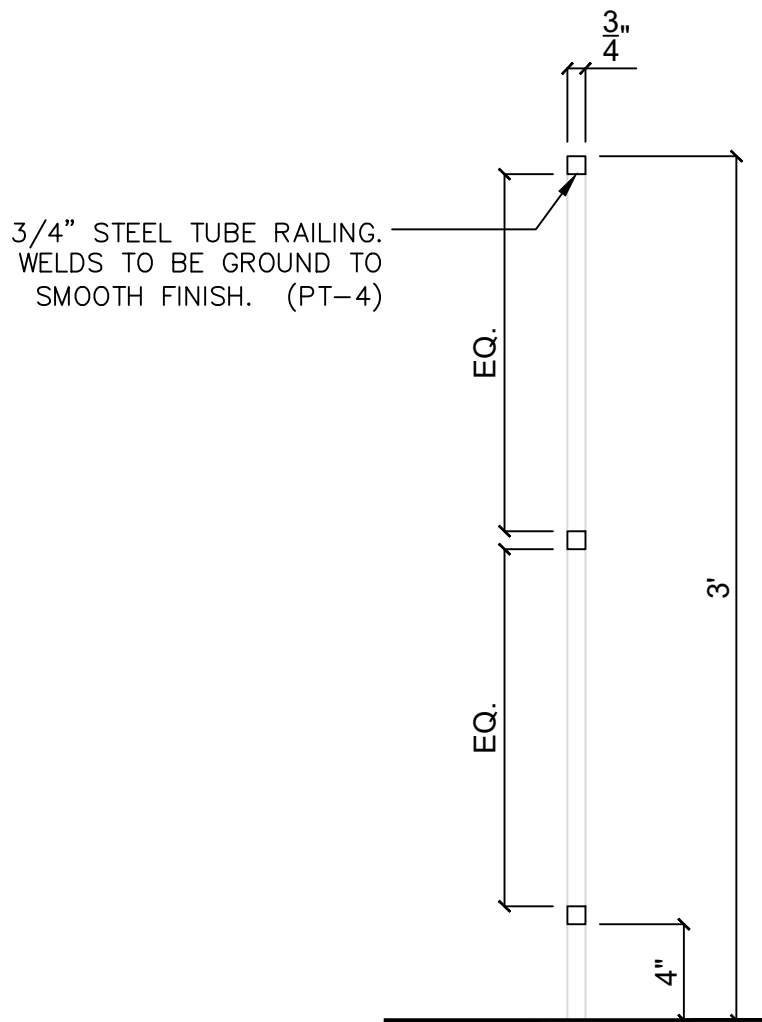
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ARCHWAY DETAIL

1-1/2"=1'-0"

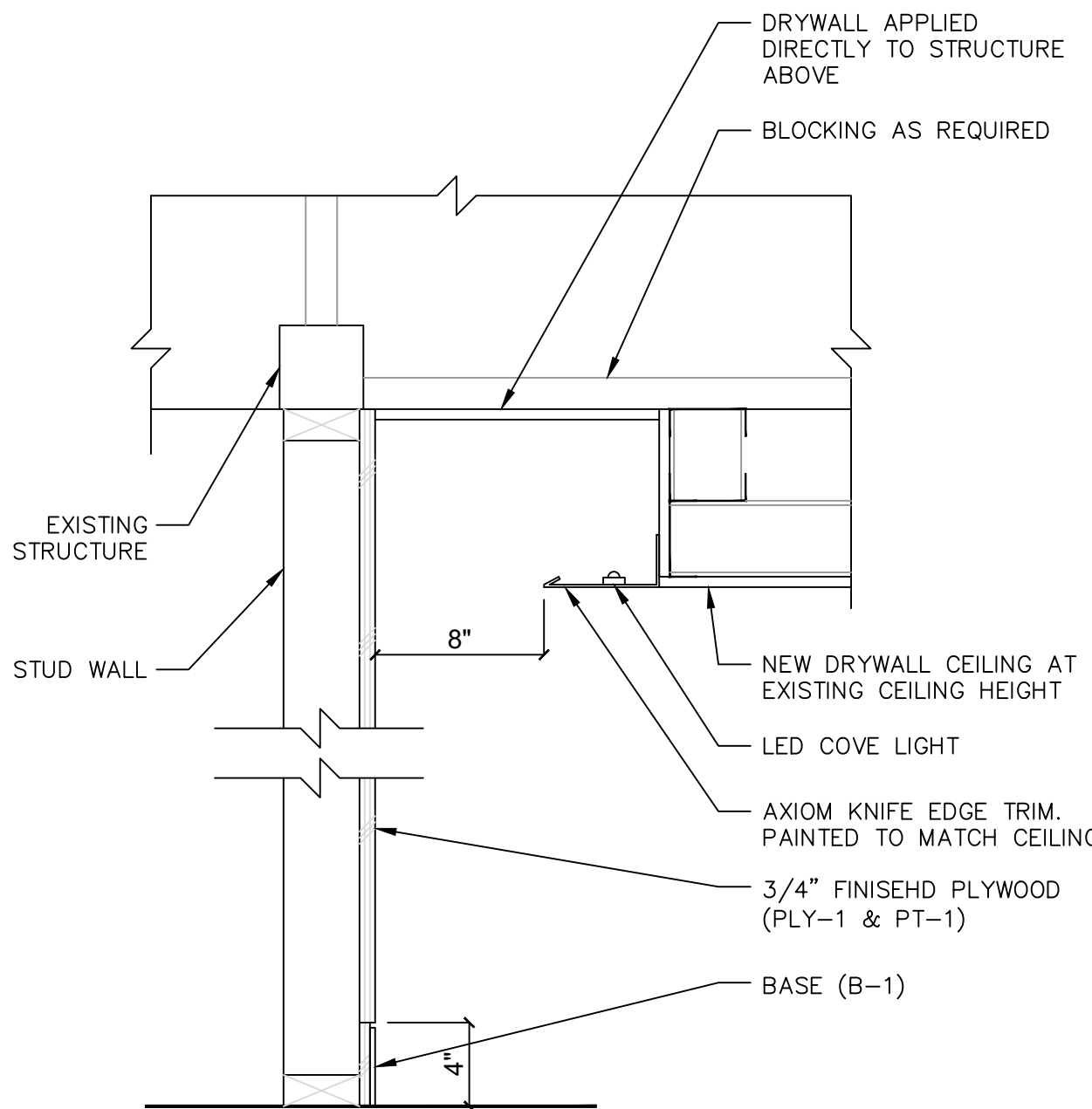
1



PATIO RAILING DETAIL

3"=1'-0"

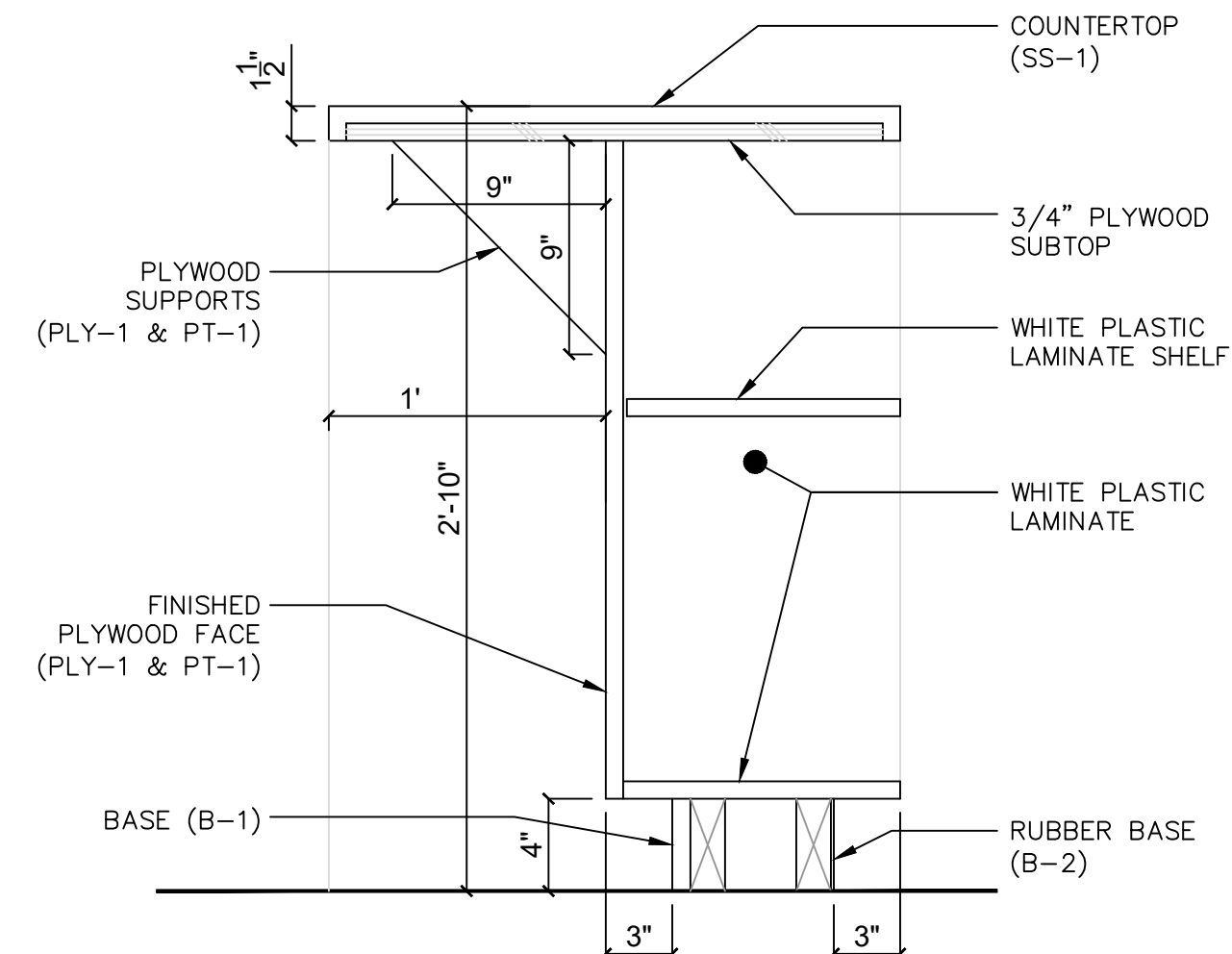
9



LIGHT COVE DETAIL

1-1/2"=1'-0"

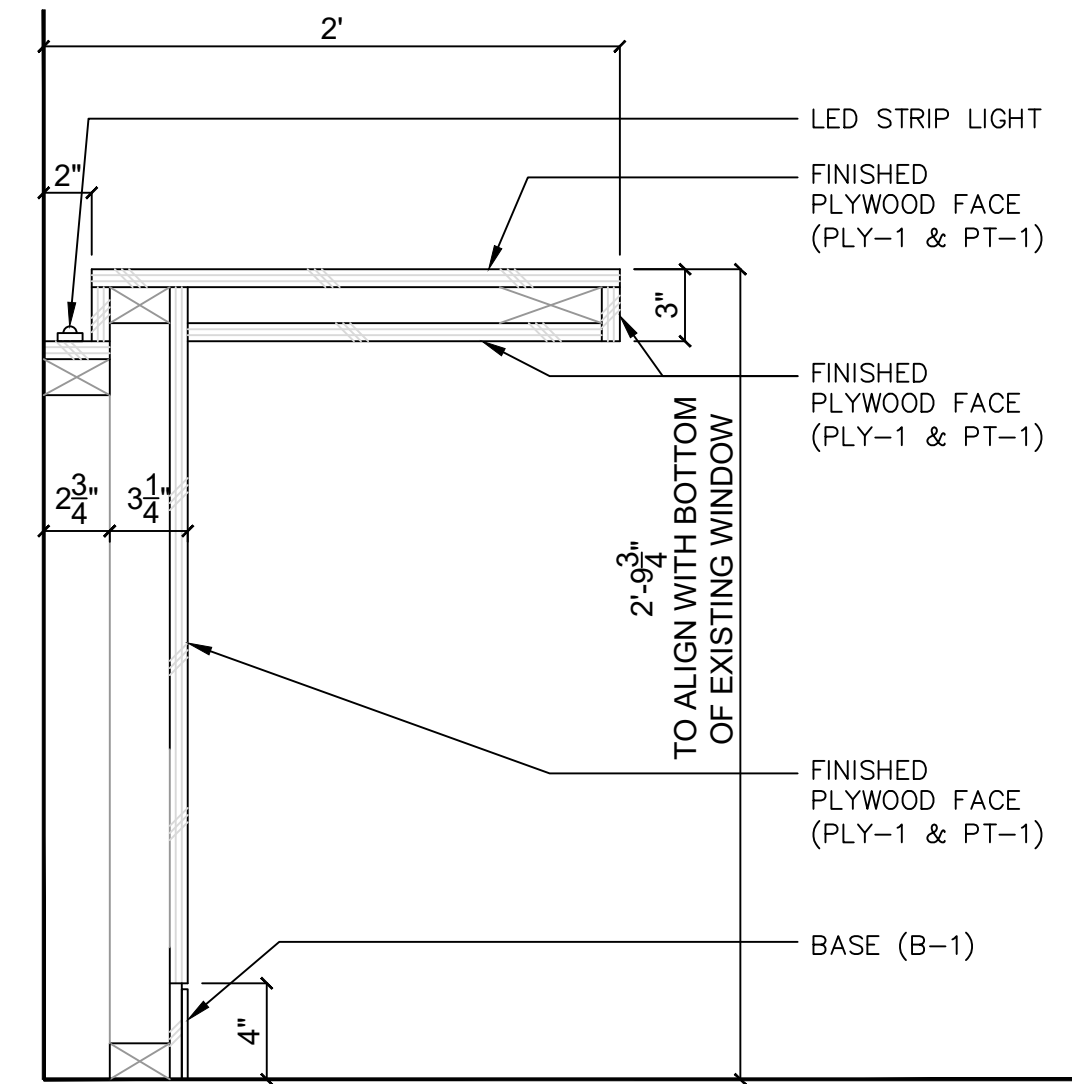
5



BAR SEATING DETAIL

1-1/2"=1'-0"

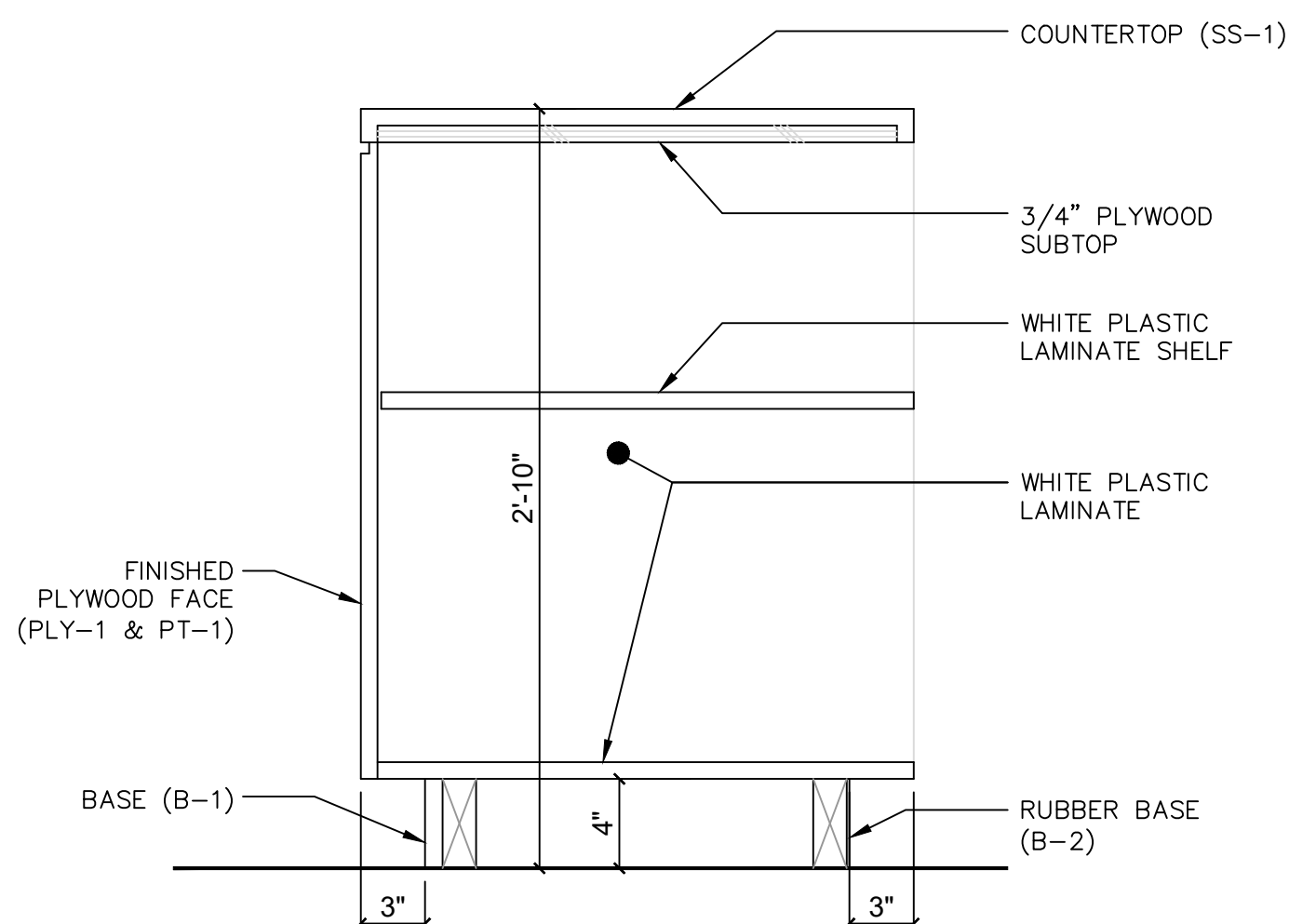
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COUNTER DETAIL

1-1/2"=1'-0"

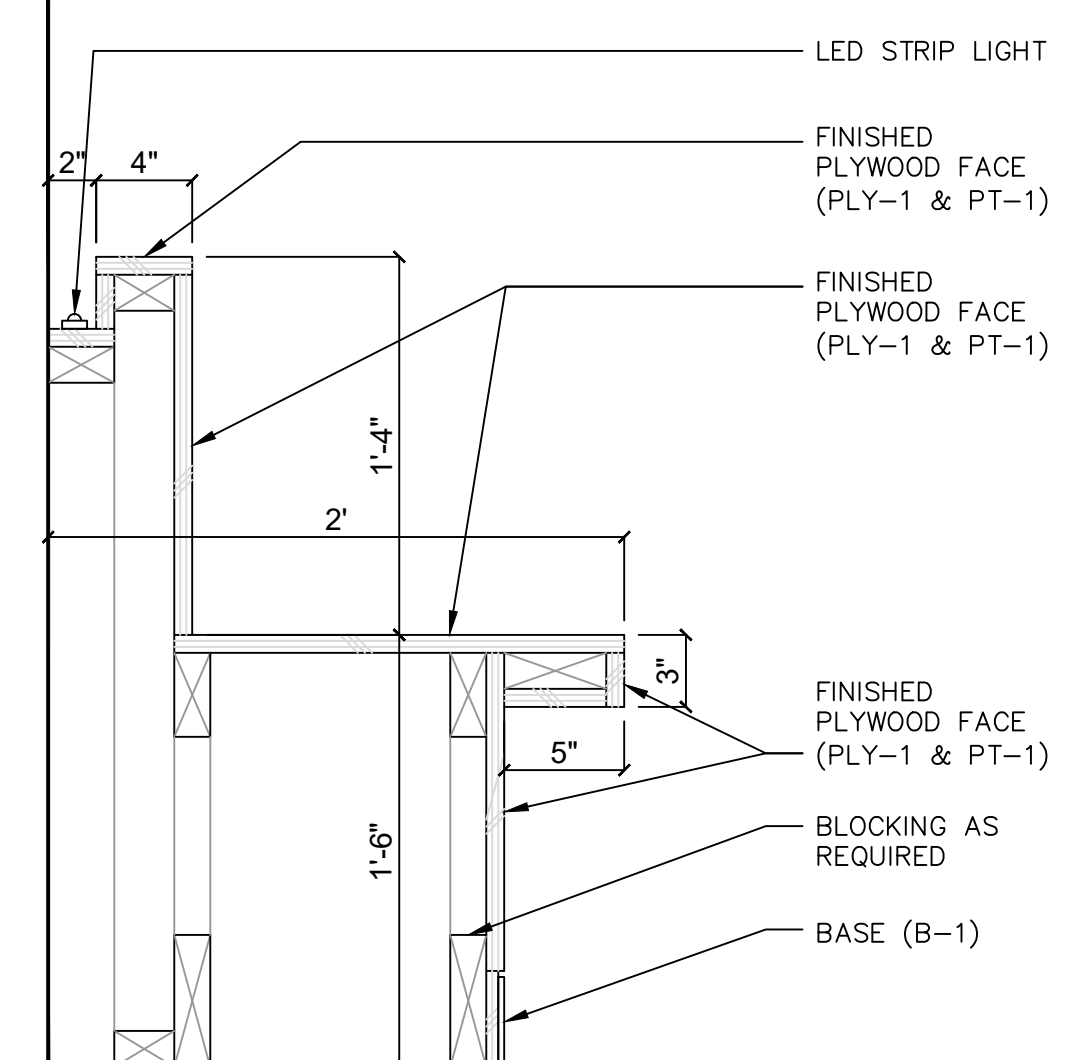
4



TRANSACTION COUNTER DETAIL

1-1/2"=1'-0"

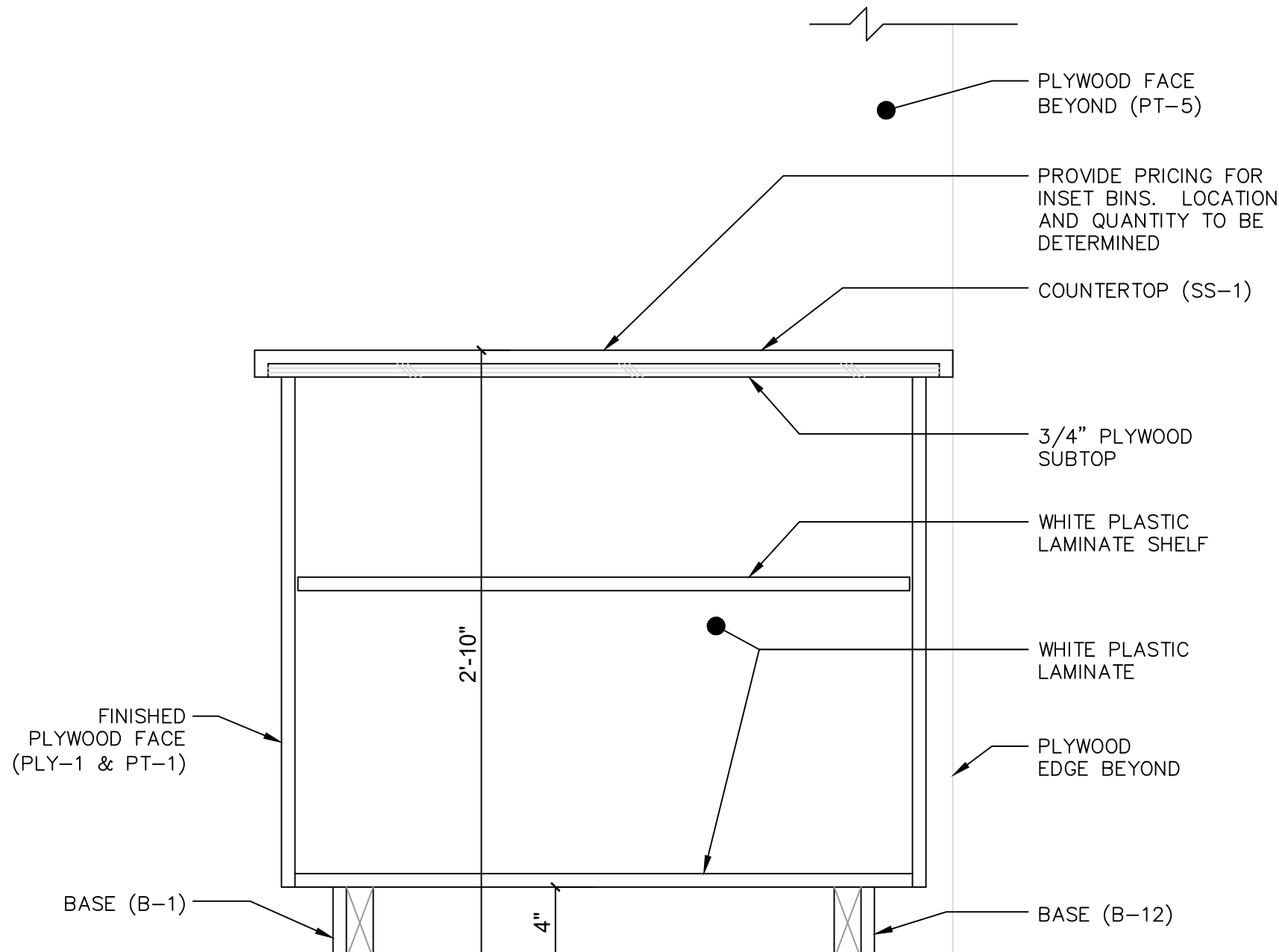
7



BANQUETTE DETAIL

1-1/2"=1'-0"

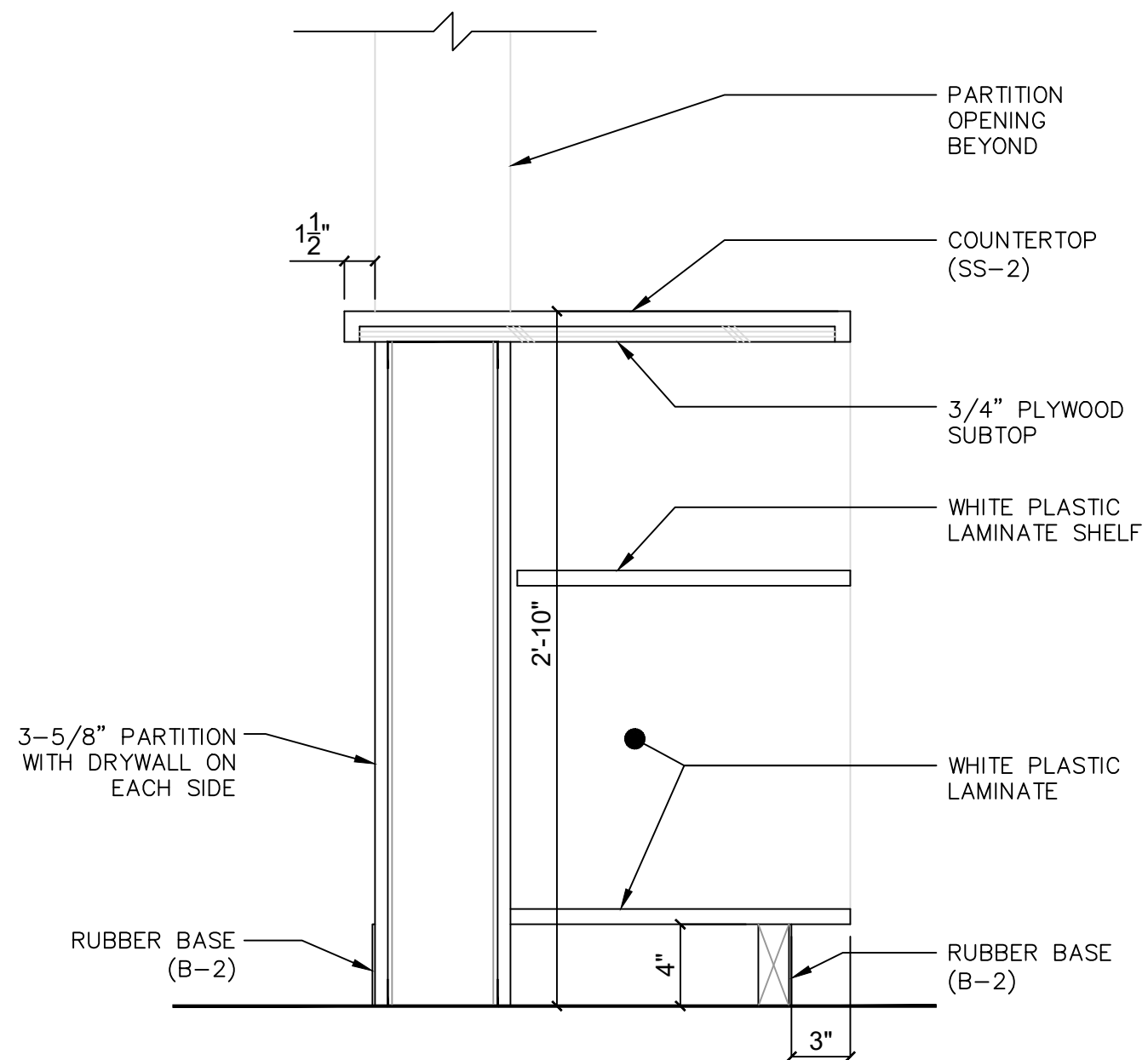
2



SALSA BAR DETAIL

1-1/2"=1'-0"

5



SERVICE COUNTER DETAIL

1-1/2"=1'-0"

1

CLIENT:

Real Taqueria
1869 E Murray Holladay Rd
Holladay, UT 84117



333 W Pierpont Ave #4
Salt Lake City, UT 84101
801.447.5101: CONTACT
@OFFICE-DFK.COM

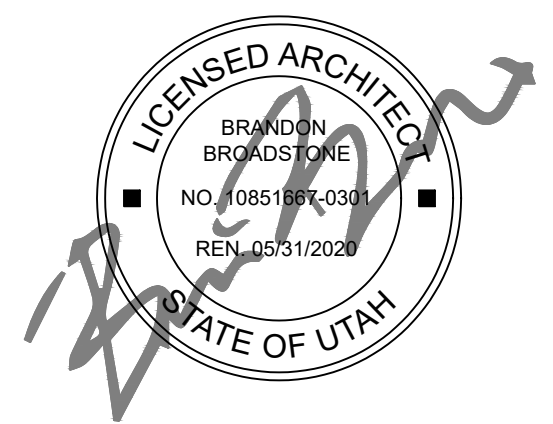
CONSULTANTS:

STRUCTURAL ENGINEERS

CONTRACTOR

PROJECT INFORMATION:

Real Taqueria
1869 E Murray Holladay Rd
Holladay, UT 84117



#	revision
	04.15.19 - ISSUE FOR PERMIT

- ☐ for construction
- ☐ review set
- ☐ not for construction
- ☐ bid set

date printed: | drawn by: | job number:

sheet title:

CABINETRY DETAILS

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