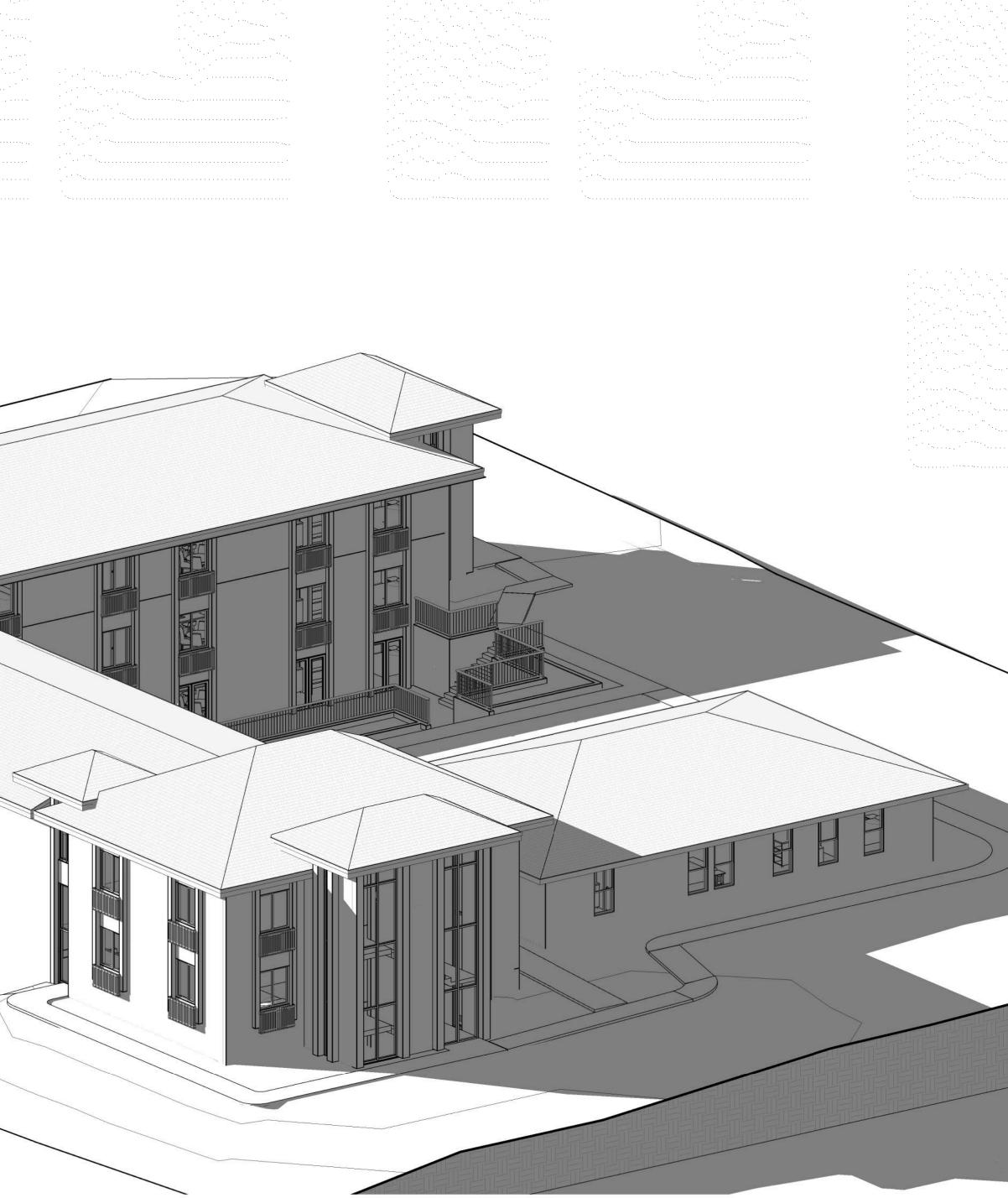
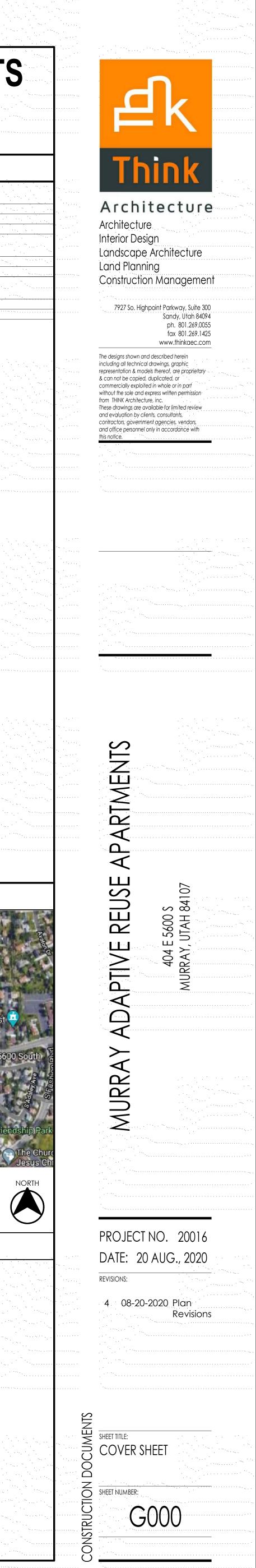
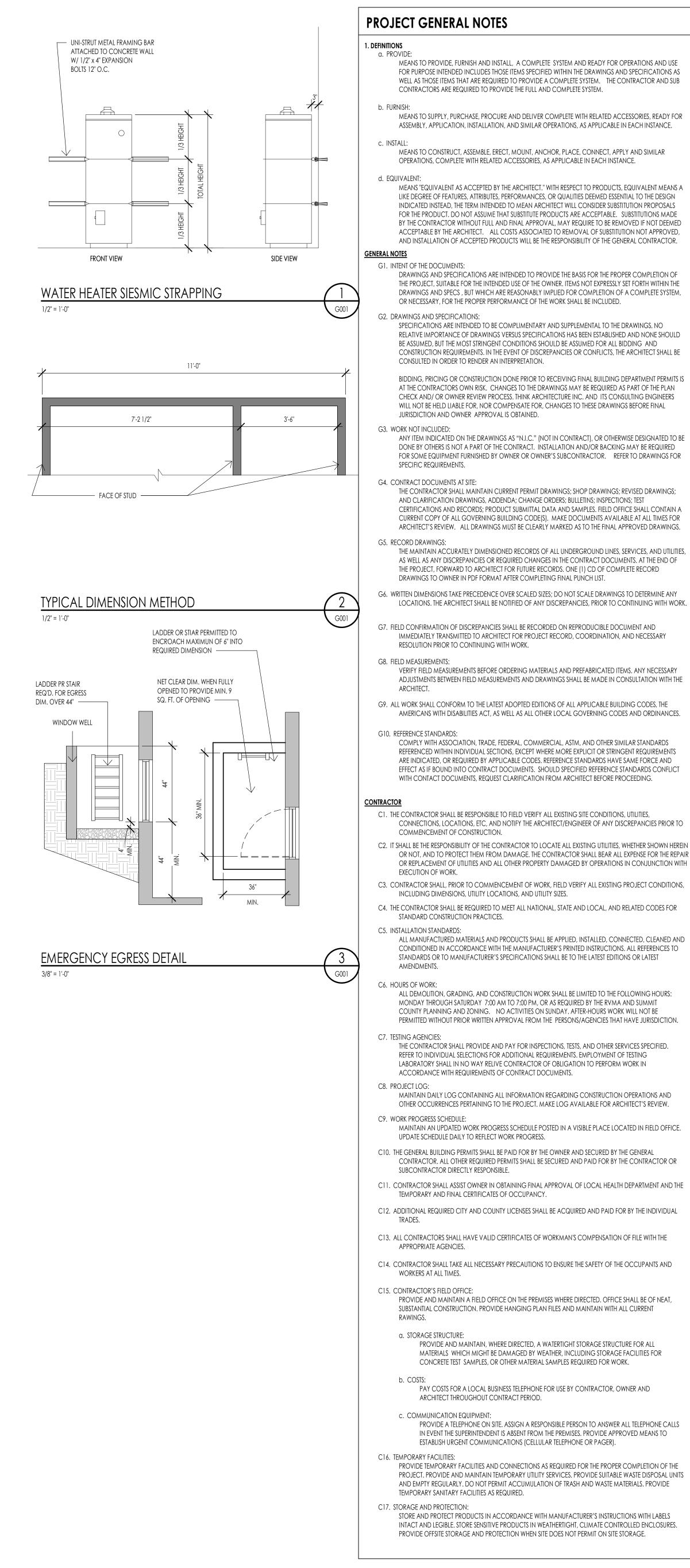
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	PROJECT TEAM SEAL	GOVERNING BUILDING CODES & INFORMATION	ABBREVIATIONS	GRAPHIC SYMBOLS/ MATERIAL LEGENDS	VICINITY MAP
Chitecture	ARCHITECT: THINK ARCHITECTURE: 7927 SO, HIGHPOINT PARKWAY, SUITE 300 SANDY, UTAH 84094 PHONE: 801-269-0055 STRUCTURAL ENGINEER: LRN STRUCTURAL ENGINEERS	BUILDING CODE; 2018 INTERNATIONAL BUILDING CODE [I.B,C.], WITH UTAH STATE AMENDMENTS MECHANICAL CODE: FIRE CODE: 2018 INTERNATIONAL MECHANICAL CODE (I.M.C.) PLUMBING CODE: 2018 INTERNATIONAL PLUMBING CODE (I.P.C.) ENERGY CONSERVATION: 2018 INTERNATIONAL FIRE CODE (I.F.C.) 2017 NATIONAL ELECTRICAL CODE (I.P.C.) 2017 NATIONAL ELECTRICAL CODE (N.E.C.) ENERGY CONSERVATION: 2015 INTERNATIONAL ENERGY CONSERVATION CODE (I.E.C.) 2009 ANSI 117.1 & 2015 I.B.C. 2009 ANSI 117.1 & 2015 I.B.C. EXISTING TYPE: EXISTING TYPE V-A ADDRESSABLE FIRE ALARM: YES FIRE SPRINKLERD: YES FIRE SPRINKLER TYPE: EXISTING NFPA 13	# NUMBER HDW. HARDWARE @ AT H.M. HOLLOW METAL A.B. ANCHOR BOLT HORIZ. HORIZON ABV. ABOVE HT. HEIGHT ADJ. ADJUSTABLE HT. HEIGHT A.F.F. ABOVE FINISHED FLOOR HVAC HEATING/VENTIALTION/AIR CONDITIONIN A.F.F. ABOVE FINISHED FLOOR HVAC HEATING/VENTIALTION/AIR CONDITIONIN ALUM. ALUMINUM I.D. INSIDE DIAMETER BD BOARD INFO. INFORMATION BLDG. BUILDING INFO. INFORMATION BLDG. BUILDING INSUL. INSULATION B.M. BENCHMARK LAV LAVATORY B.O. BOTTOM OF LT. LIGHT BOT. BOTTOM LT. LIGHT WEIGHT B.P. BASE PLATE MAINT. MAINTENANCE BRG. BEARING MANUF. MANUFACTURER BTWN. BETWEEN MAX. MAXIMUM C.J. CONSTRUCTION JOINT MAT MATERIAL </th <th>NG Image: Second state sta</th> <th>E Umbra Ln Salt Lake Consultants S Bank Murray E Wilson Ave Mike Hale Acura Mike Hale Acura Aunt Loretta's Day Care</th>	NG Image: Second state sta	E Umbra Ln Salt Lake Consultants S Bank Murray E Wilson Ave Mike Hale Acura Mike Hale Acura Aunt Loretta's Day Care
	MECHANICAL ENGINEER:	DEFERRED SUBMITTAL REQUIREMENTS	CLG. CEILING M.C.J. MASONRY CONTROL JOINT CLR. CLEAR MASONRY LINIT MECH. MECHANICAL	BUILDING GRID LINES	2 404 East 5600 Sou
	DESIGN / BUILD IN FUTURE PLUMBING ENGINEER: DESIGN / BUILD IN FUTURE ELECTRICAL ENGINEER:	DEFERRED SUBMITTALS ARE THOSE PORTIONS OF DESIGN THAT ARE NOT SUBMITTED AT THE TIME OF THE PERMIT APPLICATION AND HAVE RECEIVED PRIOR APPROVAL FROM THE BUILDING OFFICIAL TO BE DEFERRED. THE DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND GENERAL CONTRACTOR WITHIN SIX WEEKS TO COMMMENCEMENT OF CONSTRUCTION TO THIS PORTION OF WORK. DEFERRED SUBMITTAL PROCESS: 1. THE DEFERRED SUBMITTAL SHALL FIRST BE REVIEWED BY THE GENERAL CONTRACTOR FOR COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. THE SUBMITTAL <u>MUST</u> BE REVIEWED, APPROVED, STAMPED AND SIGNED BY THE GENERAL CONTRACTOR BEFORE BEING SUBMITTED TO THE ARCHITECT. 2. THE GENERAL CONTRACTOR SHALL DIGITALLY SUBMIT DEFERRED SUBMITTALS TO THE ARCHITECT. 3. THE DEFERRED SUBMITTAL ITEMS WILL BE REVIEWED BY THE REGINEER OR ARCHITECT IN RESPONSIBLE CHARGE. THE ENGINEER OR ARCHITECT WILL ATTACH A LETTER TO THE SUBMITTAL STATING THAT THE DEFERRED ITEM IS IN CONFORMANCE WITH THE DESIGN OF THE STRUCTURE. 4. THE APPROVED SUBMITTALS WILL BE RETURNED TO THE GENERAL CONTRACTOR. TWO SETS OF THE DEFERRED SUBMITTAL ARE THEN SUBMITTED TO THE CITY FOR REVIEW.	CMUCONCRETE MASONNT UNITMIN.MINIMUMCOLCOLUMNMISC.MISCELLANEOUSCONCCONCRETEM.O.MASONRY OPENINGCONT.CONTINUOUSMTL.METALCONST.CONSTRUCTIONN.I.C.NOT IN CONTRACTC.T.J.CONTRACTION JOINTN.I.S.NOT TO SCALEDBL.DOUBLÉO.C.ON CENTERDFT./DTL.DETAILO.D.OUTSIDE DIAMETERDIA.DIAMETERO.F.OUTSIDE FACEDTL.DETAILPERPPERPENDICULARDWGSDRAWINGSPLPLATEE.F.EACH FACEPTD.PAINTEDE.J.EXPANSION JOINTQTY.QUANTITYEL/ELEV.ELEVATIONR.D.ROOF DRAINEQ.EQUALRAD.RADIUSE.S.EACH SIDERFINF,REINFORCEDE.W.EACH WAYREQ'D.REQUIREDEXIST.EXISTINGRMROOM	DETAIL IRef IRef Ref Ref Ref Ref Ref Ref Ref	Larry H Miller Collision Center Murray 33 Fhillips 66 5 5 5 6 7 8 8 9 8 9 8 9 8 9
	DESIGN / BUILD IN FUTURE	5. THE GENERAL CONTRACTOR SHALL MAINTAIN ONE SET OF THE APPROVED SUBMITTAL ON SITE FOR REFERENCE BY THE CITY INSPECTOR.	EXPAN. EXPANSION R.O. ROUGH OPENING EXT. EXTERIOR SCHED SCHEDULE E.W.C. ELECTRIC WATER COOLER SHT SHEET	SIM BUILDING SECTION BUILDING SECTION BUILDING SECTION	CITY APPROVAL STAMP
-	OWNER / BUILDER: INVESTMENT REALTY ADVISORS 1174 E GRAYSTONE WAY SALT LAKE CITY, UT 84106 PHONE: (801) - 528-4446	 7. SEE STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS FOR STRUCTURAL DEFERRED SUBMITTALS. <u>DEFERRED SUBMITTAL ITEMS</u> 1. MECHANICAL / PLUMBING DESIGN / BUILD ENGINEERING AT A FUTURE DATE AFTER DEMOLITION & SYSTEMS INVESTIGATION IS COMPLETED 2. ELECTRICAL DESIGN / BUILD ENGINEERING AT A FUTURE DATE AFTER DEMOLITION & SYSTEMS INVESTIGATION IS COMPLETED 3. DESIGN / BUILD FIRE SPRINKLING DRAWINGS, INCLUDING DESIGN DRAWINGS AND CALCULATIONS. 4. DESIGN / BUILD FIRE ALARM DRAWINGS OF EGRESS ILLUMINATION TO BE ADDED ON FUTURE DATE BY ELECTRICAL ENGINEER. 6. DRYER VENT ROUTES TO BE ADDED AT FUTURE DATE BY MECHANICAL ENGINEER. 	F.D.FLOOR DRAINSIMLFDN./FDTNFOUNDATIONSIMFE.FIRE EXTINGUISHERF.E.FIRE EXTINGUISHERF.E.FIRE EXTINGUISHER CABINETF.F.FINISH FLOORFIN.FINISHFLORSUSP.SUSPENDEDFIN.FINISH.F.G.FLOORFIG.FOOTINGF.G.FOOTINGFIG.FOOTINGFIG.FOOTINGFIG.FOOTINGFOOTINGT.O.S.FOORT.O.W.GALV.GALCONS PER MINUTEGOVI.GOVERNMENTGOVI.GOVERNMENTGOVI.GOVERNMENTW.WITHGYP. BD.GYPSUM WALL BOARDWD.WOODHCHANDICAPPED	ROUGH WOOD-BLOCKING WALL SECTION CENTER LINE CENTER LINE CENTER LINE CENTER LINE CENTER LINE CENTER LINE	
		SPECIAL INSPECTIONS REQUIREMENTS	BUILDING AREAS	OWNER & MUNICIPAL DRAWING APPROVALS	
		SPECIAL INSPECTIONS ARE REQUIRED IN ACCORDANCE WITH IBC 2015 CHAPTER 17, SECTION 1704. SPECIAL INSPECTORS SHALL KEEP RECORDS OF INSPECTIONS. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, AND TO THE REGISTERED DESIGN PROFESSIONALS IN RESPONSIBLE CHARGE. (2015 IBC SECTION 1704.2,4). SEE PROJECT MANUAL / SPECIFICATIONS, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL GENERAL NOTES FOR ADDITIONAL SPECIAL INSPECTION REQUIREMENTS.	BUILDING AREA - TOTAL. TOTAL +/- 37326 SF CITY PLANNING & ZONI	DATE: IING DEPARTMENT: DATE: CITY FIRE-DEPARTMENT: DATE: DAT	
8/20/2020			- SQUARE FOOTAGE IS APPROXIMATE AS PER AS-BUILT DRAWINGS. - SEE SHEET G003 FOR SQUARE FOOTAGE CALCULATIONS.		
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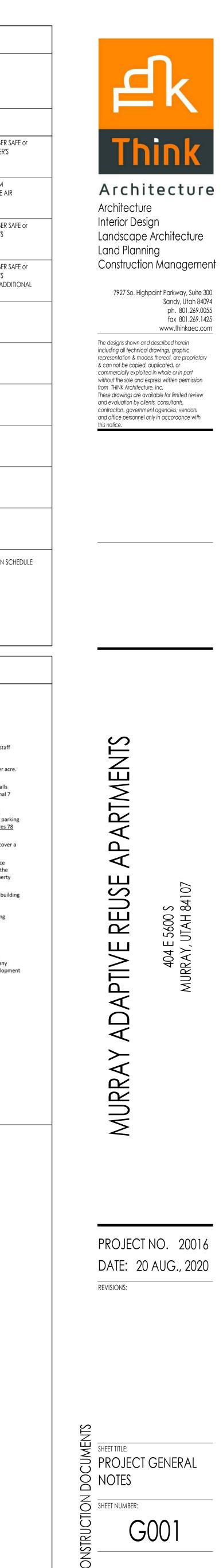
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		DRAWIN	IG INDEX		
	INDEX GENERAL			INDEX STRUCTURAL	
SHEET #	SHEET NAME		SHEET #	SHEET NAME	
G000	COVER SHEET				
G001 G002	PROJEÇT GENERAL NOTES BUILDING AREA ANALYSIS				
G003 G004	LEVËL 1 - PROJECT CODE REVIEW		SHEET #	SHEET NAME	
G005	LEVEL 3 - PROJECT CODE REVIEW				
G006 G007	SIGNAGE TYPES & DETAILS ACCESSIBILITY TYPE 'A' DETAILS		- SHEET #	SHEET NAME	
G008 G009	ACCESSIBILITY TYPE 'B'.DETAILS.	ан Сайтаан ал ал айсайн арсан арсан арсан арсан арсан арсан Сайтаан арсан арсан арсан арсан арсан арсан арсан арсан			
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A\$101	SITE PLAN		-		
A\$102	SITE PLAN - ENLARGED		-		
A\$103	SITE PLAN - ENLARGED				
	INDEX ARCHITECTURAL				
SHEET #	SHEET NAME				
A105	LEVEL 1 FLOOR PLAN			······································	
	LEVEL 2 FLOOR PLAN			· · · · · · · · · · · · · · · · · · ·	
A108 A109	ROOF PLAN LEVEL 1 CEILING PLAN				
A110	LEVEL 2 CEILING PLAN	······			
	LEVEL 3 CEILING PLAN EXTERIOR ELEVATIONS		_		
	EXTERIOR ELEVATIONS BUILDING SECTIONS		-		
A401	ENLARGED COMMON SPACE PLANS				
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A404 A405	EXISTING UNIT A ONE BEDROOM PLANS				
A406	EXISTING UNIT B ONE BEDROOM PLANS			n de la Calendaria de la construcción de la construcción de la construcción de la construcción de la construcción la construcción de la construcción d la construcción de la construcción d	
A407 A408	EXISTING UNIT B W/ ADDITION PLANS			······································	
A409 A410	EXISTING UNIT C PLANS				
A411	NEW UNIT A PLANS		- · · · · · · · · · · · · · · · · · · ·		
A412 A413	NEW UNIT B PLANS		· · · · · · · · · · · · · · · · · · ·		
A414 A415	NEW UNIT D PLANS NEW UNIT E PLANS	······	-		
	NEW UNIT F PLANS		-		
A417 A418	NEW UNIT 'F' INT. ELEVATIONS NEW UNIT 'F1' PLANS.		_		
A419	NEW UNIT 'F1' INT. ELEVATIONS		-		
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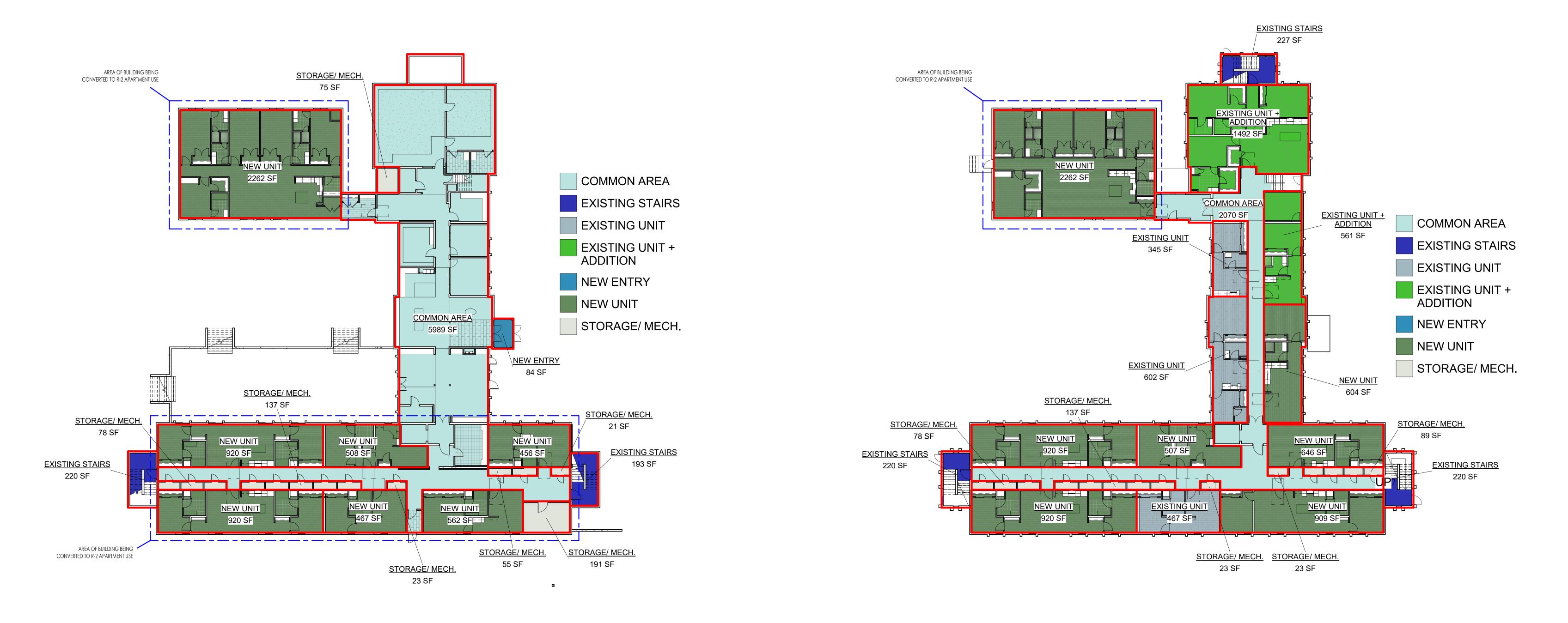


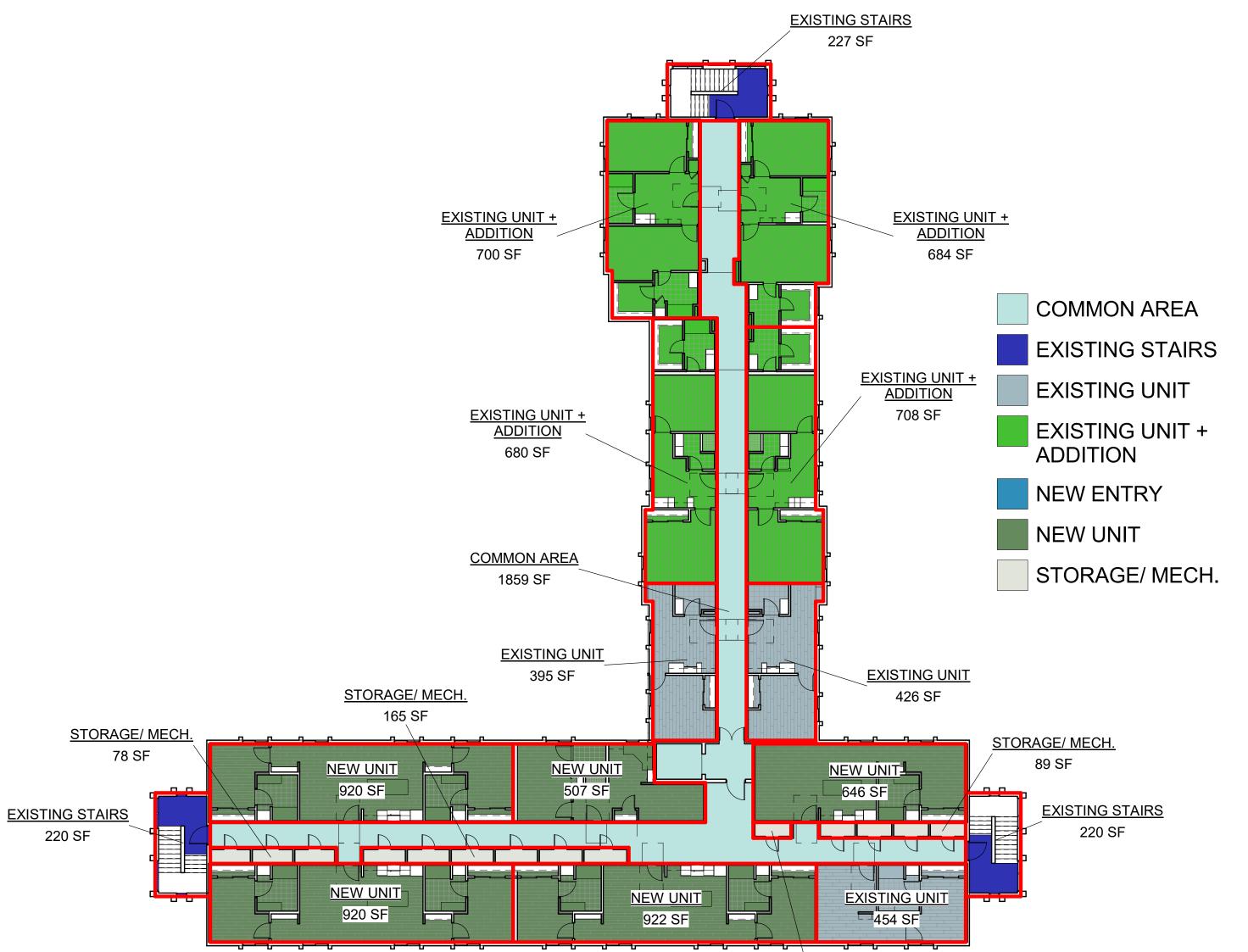


	C18. FIELD QUALITY CONTROL:	
R OPERATIONS AND USE AND SPECIFICATIONS AS CONTRACTOR AND SUB	EMPLOY ONLY EXPERIENCED INSTALLERS AND FURNISH EVIDENCE OF EXPERIENCE IF REQUESTED. USE OF ANY SUBCONTRACTOR OR INSTALLER IS SUBJECT TO OWNER'S APPROVAL. EMPLOY FULL-TIME, COMPETENT SUPERINTENDENT AS WELL AS NECESSARY ASSISTANTS. SUPERINTENDENT SHALL REPRESENT THE CONTRACTOR AND ALL COMMUNICATIONS GIVEN TO THE SUPERINTENDENT SHALL BE AS BINDING AS IF GIVEN TO THE CONTRACTOR.	 C39. INTERIOR WALL AND CEILING FINISHES SHALL NOT EXCEED FLAME SPREAD CLASSIFICATIONS DICTATED BY ALL APPLICABLE BUILDING CODES. C40. GYPSUM BOARD AND SUSPENDED CEILING SYSTEMS SHALL CONFORM TO ALL LOCAL GOVERNING BUILDING CODES AND ORDINANCES.
accessories, ready for le in each instance.	C19. PRODUCT HANDLING: TRANSPORT AND HANDLE PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DELIVER PRODUCTS IN UNDAMAGED CONDITION, IN MANUFACTURER'S ORIGINAL UNOPENED CONTAINER'S OR	C41. PIPES, CONDUITS, OR DUCTS EXCEEDING ONE THIRD OF THE SLAB OR MEMBER THICKNESS SHALL NOT BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS FOR LOCATION OF SLEEVES AND OTHER ACCESSORIES.
APPLY AND SIMILAR STANCE.	PACKING, WITH IDENTIFYING LABELS INTACT AND LEGIBLE. PROMPTLY INSPECT SHIPMENTS TO ENSURE THAT PRODUCTS COMPLY WITH REQUIREMENTS OF CONTRACT DOCUMENTS, QUANTITIES ARE CORRECT, AND PRODUCTS ARE UNDAMAGED.	C42. VERIFY FIRE EXTINGUISHER REQUIREMENTS AND LOCATIONS WITH FIRE MARSHAL AND OWNER'S REPRESENTATIVE
CTS, EQUIVALENT MEANS A SENTIAL TO THE DESIGN BSTITUTION PROPOSALS E. SUBSTITUTIONS MADE JEMOVED IF NOT DEEMED ITUTION NOT APPROVED, GENERAL CONTRACTOR.	C20. COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS: HANDLE, INSTALL, ERECT, CONNECT, CONDITION, USE, ADJUST, AND CLEAN PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTION AND IN CONFORMITY WITH SPECIFIED REQUIREMENTS, INCLUDING EACH STEP IN SEQUENCE. DO NOT OMIT PREPARATORY STEPS OR INSTALLATION PROCEDURES UNLESS SPECIFICALLY MODIFIED OR EXEMPTED BY CONTRACT DOCUMENTS. SHOULD JOB CONDITIONS OR SPECIFIED REQUIREMENTS CONFLICT WITH MANUFACTURER'S INSTRUCTIONS, REQUEST CLARIFICATION IN WRITING FROM ARCHITECT BEFORE PROCEEDING. INSTALL MATERIALS IN PROPER RELATION WITH ADJACENT CONSTRUCTION AND WITH PROPER APPEARANCE.	 CONTROL INFILTRATION OF INSECTS. C44. DISPOSAL OF TRASH AND EXCESS EXCAVATION: DISPOSE OF TRASH, AND DEBRIS AT DESIGNATED AREAS OFF THE PREMISES AT NO ADDITIONAL COST TO THE OWNER. BURNING OF TRASH AND DEBRIS ON THE PREMISES IS PROHIBITED. COORDINATE TRASH REMOVAL WITH LANDLORD WHERE APPLICABLE. C45. ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEM ARE SCHEMATIC ONLY. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL WORK TO AVOID CONFLICTS BETWEEN TRADES. THE CONTRACTOR SHALL PERFORM ALL WORK TO PROVIDE COMPLETE FUNCTIONING SYSTEMS IN ACCORDANCE WITH THE INTENT INDICATED AND
ROPER COMPLETION OF LY SET FORTH WITHIN THE OF A COMPLETE SYSTEM, D.	C21. MANUFACTURER'S FIELD SERVICES: WHEN SPECIFIED IN INDIVIDUAL SECTIONS, REQUIRE MATERIAL OR PRODUCT SUPPLIERS OR MANUFACTURERS TO PROVIDE QUALIFIED STAFF PERSONNEL TO OBSERVE SITE CONDITIONS, CONDITIONS OF SURFACES, QUALITY OF WORKMANSHIP, AND CONDITIONS OF INSTALLATION AS APPLICABLE AND TO INITIATE ADDITIONAL INSTRUCTIONS WHEN NECESSARY.	CODES AND REQUIREMENTS OF ALL AGENCIES HAVING JURISDICTION. C46. CLEANING MATERIALS AND EQUIPMENT: PROVIDE ALL REQUIRED PERSONNEL, EQUIPMENT, AND MATERIALS NEEDED TO MAINTAIN THE SPECIFIED STANDARD OF CLEANLINESS. USE ONLY THE CLEANING MATERIALS AND EQUIPMENT WHICH ARE COMPATIBLE WITH THE SURFACE BEING CLEANED, AS RECOMMENDED BY THE MANUFACTURER OF THE MATERIAL.
HE DRAWINGS. NO HED AND NONE SHOULD	C22. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL WORK AND MATERIALS - INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.	SUBMITTALS/SUBSTITUTIONS \$1. CONTRACTOR SHALL PROVIDE COMPLETE LIST OF SUBMITTALS TO ARCHITECT/OWNER WITHIN 1 WEEK OF OBTAINING BUILDING PERMIT.
L BIDDING AND THE ARCHITECT SHALL BE	C23. NON-CONFORMING WORK: REMOVE AND REPLACE WORK THAT DOES NOT CONFORM TO THE CONTRACT DOCUMENTS AT NO ADDITIONAL EXPENSE TO THE OWNER.	S2. ALL SUBMITTALS SHALL BE COMPLETE AND SUBMITTED WITHIN FIRST 90 DAYS OF WORK.
G DEPARTMENT PERMITS IS D AS PART OF THE PLAN DNSULTING ENGINEERS INGS BEFORE FINAL	C24. PRODUCT IDENTIFICATIONS: NAMEPLATES, TRADEMARKS, LOGOS, AND OTHER IDENTIFYING MARKS ON PRODUCTS ARE NOT PERMITTED ON SURFACES EXPOSED TO VIEW IN PUBLIC AREAS, INTERIOR OR EXTERIOR. PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT NOT EXPOSED TO PUBLIC VIEW ARE EXECUTED FROM FOREGOING LIMITATION. REQUIRED UL OR FM LABELS ARE ALSO EXCLUDED.	 S3. ALL ITEMS NOTED AS DESIGNED "BY MANUFACTURED" IS A DEFERRED DESIGN AND SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH MANUFACTURER FOR FINAL DESIGN AND SUBMIT FINAL DESIGN FOR APPROVAL. CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL FIELD DIMENSIONS. S4. SOURCE QUALITY CONTROL:
ERWISE DESIGNATED TO BE ING MAY BE REQUIRED REFER TO DRAWINGS FOR	C25. PROTECTION OF ADJACENT WORK: PROVIDE TEMPORARY PROTECTION FOR ADJACENT AREAS TO PREVENT DAMAGE BY INSTALLATION OF NEW WORK OR DEMOLITION OF EXISTING CONSTRUCTION. PROMPTLY REPAIR ANY DAMAGE AT NO ADDITIONAL COST TO THE OWNER. PROTECT ADJACENT AREAS FROM CONTAMINATION BY CONSTRUCTION DUST AND DEBRIS. PROVIDE TEMPORARY BARRICADES AS NECESSARY TO ENSURE PROTECTION OF THE PUBLIC. MAINTAIN FORTS WITHIN AND ADDINID CONSTRUCTION APEAR	PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS, WHICH HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR THREE YEARS, UNLESS MORE STRINGENT CRITERIA ARE SPECIFIED IN INDIVIDUAL SECTIONS. USE OF ANY SUPPLIER IS SUBJECT TO OWNER'S APPROVAL. S5. SUBSTITUTIONS: PROPOSALS FOR SUBSTITUTION OF MATERIALS, EQUIPMENT, AND METHODS WILL ONLY BE CONSIDERED WHEN
SS; REVISED DRAWINGS; TIONS; TEST	EGRESS WITHIN AND AROUND CONSTRUCTION AREAS. C26. DAMAGED PRODUCTS: DO NOT USE PRODUCTS IN WORK, WHICH HAVE DETERIORATED, BECOME DAMAGED, OR ARE OTHERWISE UNFIT FOR USE. RESTORE UNITS DAMAGED DURING INSTALLATION. REPLACE UNITS, WHICH CANNOT BE RESTORED AT NO ADDITIONAL EXPENSE TO THE OWNER.	ACCOMPANIED BY FULL AND COMPLETE TECHNICAL DATA AS WELL AS ANY OTHER INFORMATION REQUIRED TO EVALUATE THE PROPOSED SUBSTITUTION. SUBSTITUTIONS ARE UNACCEPTABLE UNLESS SPECIFICALLY APPROVED BY THE ARCHITECT. IN THE EVENT OF SUBSTITUTION PROPOSALS AFTER THE CONTRACT HAS BEEN AWARDED, ALL SUCH PROPOSALS SHALL BE ACCOMPANIED BY SUBSTANTIAL COST SAVINGS FOR THE OWNER.
OFFICE SHALL CONTAIN A AILABLE AT ALL TIMES FOR L APPROVED DRAWINGS.	C27. SECURITY: PROVIDE FACILITIES TO PROTECT WORK FROM UNAUTHORIZED ENTRY, VANDALISM, AND THEFT. CONDUCT OPERATIONS IN MANNER TO AVOID RISK OF LOSS, THEFT, OR DAMAGE BY VANDALISM. C28. TEMPORARY CONTROLS:	S6. AVAILABILITY OF PRODUCTS: VERIFY PRIOR TO CONSTRUCTION START THAT ALL SPECIFIED ITEMS WILL BE AVAILABLE IN TIME FOR INSTALLATION DURING ORDERLY AND TIMELY PROGRESS OF THE WORK. IN THE EVENT SPECIFIED ITEM OR ITEMS WILL NOT BE SO AVAILABLE, NOTIFY THE ARCHITECT PRIOR TO START OF CONSTRUCTION. COST OF DELAYS BECAUSE OF NON-AVAILABILITY OF SPECIFIED ITEMS OR SUBSTITUTED ITEMS, WHEN THE CONTRACTOR COULD HAVE AVOIDED SUCH DELAYS, WILL BE BORNE BY THE CONTRACTOR.
es, services, and utilities, uments. At the end of mplete record	a. HEAT: PRIOR TO ENCLOSURE, PROVIDE HEATING AS NECESSARY TO PROTECT MATERIALS, PRODUCTS, AND FINISHES FROM DAMAGE DUE TO TEMPERATURE OR HUMIDITY. ENCLOSURE IS DEFINED AS STATE OF CONSTRUCTION WHEN EXTERIOR WALLS ARE ERECTED, DOORS AND WINDOWS ARE INSTALLED AND	S7. PRODUCTS AND MATERIALS: PROVIDE PRODUCTS AND MATERIALS SPECIFIED. REQUEST ARCHITECTS SELECTION OF COLORS AND ACCESSORIES IN SUFFICIENT TIME TO AVOID DELAYING PROGRESS OF THE WORK.
NGS TO DETERMINE ANY CONTINUING WITH WORK.	GLAZED, ROOF DECK AND ROOFING ARE COMPLETE, AND WHEN OTHER OPENINGS IN EXTERIOR ENVELOPE ARE EQUIPPED WITH TEMPORARY CLOSURES. EXCEPT WHERE INDICATED OTHERWISE IN INDIVIDUAL SPECIFICATION SECTIONS, MAINTAIN MINIMUM AMBIENT TEMPERATURE OF 50 DEGREES F. IN AREAS WHERE CONSTRUCTION IS IN PROGRESS.	TOLERANCES 11. TOLERANCES: INSTALL WORK TRUE TO LINE, PLUMB, AND LEVEL. EXCEPT WHERE SPECIFIED OTHERWISE, WORK EXECUTED WITHIN
ocument and n, and necessary	b. VENTILATION: VENTILATE ENCLOSED AREAS TO ASSIST CURE OF MATERIALS, TO DISSIPATE HUMIDITY, AND TO PREVENT ACCUMULATION OF DUST, FUMES, VAPORS, OR GASES.	THE FOLLOWING TOLERANCE WILL BE ACCEPTABLE. a. TRUE TO LINE: ALLOWED DEVIATION FROM AN ABSOLUTELY STRAIGHT LINE OF SIGHT WITHIN PLUS OR MINUS 1/8 INCH IN 10 FT. AND WITHIN PLUS OR MINUS 1/ INCH FOR ENTIRE LENGTH OF A PARTICUL AR ELEMENT OF
ITEMS. ANY NECESSARY CONSULTATION WITH THE	C. BARRIERS AND CLOSURES: PROVIDE BARRIERS TO PREVENT UNAUTHORIZED ENTRY TO CONSTRUCTION AREAS AND TO PROTECT EXISTING FACILITIES AND ADJACENT PROPERTIES FROM DAMAGE FROM CONSTRUCTION OPERATIONS.	IN 10 FT. AND WITHIN PLUS OR MINUS ¼ INCH FOR ENTIRE LENGTH OF A PARTICULAR ELEMENT OF CONSTRUCTION OVER 20'-0" IN LENGTH. b. PLUMB:
JILDING CODES, THE DDES AND ORDINANCES.	d. FIRE PROTECTION: COMPLY WITH LOCAL FIRE PROTECTION CODE AND GOVERNING AUTHORITIES. PROVIDE AND MAINTAIN ADEQUATE FIRE PROTECTION INCLUDING, WITHOUT LIMITATION, FIRE EXTINGUISHERS AND OTHER	ALLOWED DEVIATIONS FROM AN ABSOLUTELY VERTICAL PLANE OF PLUS OR MINUS 1/8 INCH IN 10 FT. AND WITHIN PLUS OR MINUS 1/4 INCH FOR ENTIRE LENGTH OF A PARTICULAR ELEMENT OF CONSTRUCTION OVER 20'-0" IN LENGTH.
SIMILAR STANDARDS INGENT REQUIREMENTS VE SAME FORCE AND	APPROPRIATE EQUIPMENT FOR FIRE EXTINGUISHING READY FOR IMMEDIATE USE. MAINTAIN ANY REQUIRED FIRE ALARM SYSTEMS IN OPERATION DURING CONSTRUCTION. DISTRIBUTE EQUIPMENT AROUND SITE AND PARTICULARLY IN IMMEDIATE VICINITY OF PERFORMANCE OF WELDING OR SIMILAR HAZARDOUS WORK.	C. LEVEL: ALLOWED DEVIATIONS FROM AN ABSOLUTELY HORIZONTAL PLANE OF PLUS OR MINUS 1/8 INCH IN 10 FT. AND WITHIN PLUS OR MINUS ¼ INCH FOR ENTIRE LENGTH OF A PARTICULAR ELEMENT OF CONSTRUCTION OVER 20'-0" IN LENGTH.
e standards conflict Proceeding.	C29. INTERRUPTION OF SERVICES: INTERRUPTIONS TO ANY SERVICE FOR THE PURPOSE OF MAKING OR BREAKING A CONNECTION SHALL BE MADE ONLY AFTER CONSULTATION WITH THE OWNER AND SHALL BE AT SUCH TIME AND OF SUCH DURATION AS MAY BE DIRECTED.	d. ALLOWED DEVIATIONS FROM AN ABSOLUTELY FLAT IF WITHIN PLUS OR MINUS 1/16 INCH IN ONE SQUARE FOOT, WITHIN PLUS OR MINUS 1/8 INCH IN AN AREA 10 FEET BY 10 FEET, AND WITHIN PLUS OR MINUS ¼ INCH FOR ENTIRE AREA OF A PARTICULAR ELEMENT OF CONSTRUCTION OVER 20'-0" IN LENGTH.
DNS, UTILITIES, DISCREPANCIES PRIOR TO ES, WHETHER SHOWN HEREIN	C30. EXCAVATIONS OR TRENCHING: KEEP THE INTERVALS BETWEEN EXCAVATION OR TRENCHING, INSTALLATION OF CONDUIT OR PIPING, AND BACK FILLING OPERATIONS TO AN ABSOLUTE MINIMUM. PROVIDE SUITABLE TEMPORARY COVERS FOR EXCAVATIONS OR TRENCHING CROSSING ROADWAYS, WALKS, OR OTHER TRAFFIC WAYS AS REQUIRED BY	 T2. REFER TO SPECIFICATIONS FOR ADDITIONAL TOLERANCE REQUIREMENTS. PROJECT CONTRACT CLOSEOUT: a. SUBSTANTIAL COMPLETION: b. SUBSTANTIAL COMPLETION OF THE PROVIECT CONFIDENCE AND ATTEMP A DUNIOU USE MARK
ALL EXPENSE FOR THE REPAIR DNS IN CONJUNCTION WITH	GOVERNING AGENCIES. C31. CUTTING AND PATCHING: DO NOT CUT AND PATCH IN A MANNER THAT WOULD RESULT IN A FAILURE OF THE WORK TO PERFORM AS	AT SUBSTANTIAL COMPLETION OF THE PROJECT, SCHEDULE AND ATTEND A PUNCH LIST WALK THROUGH OF REMAINING WORK FOR REVIEW WITH THE ARCHITECT AND OWNER. COMPLETE ALL DEFECTS AND OMISSIONS NOTED IN THE FINAL PUNCHLIST PROMPTLY, IN THE TIME PERIOD AGREED UPON WITH THE OWNER, AT NO ADDITIONAL EXPENSE TO THE OWNER.
NG PROJECT CONDITIONS,	INTENDED, DECREASE FIRE PERFORMANCE, DECREASE ACOUSTICAL PERFORMANCE, DECREASE ENERGY PERFORMANCE, DECREASE OPERATIONAL LIFE, OR DECREASE SAFETY FACTORS. DO NOT REMOVE OR ALTER STRUCTURAL COMPONENTS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT. CUT WITH TOOLS APPROPRIATE FOR MATERIALS TO BE CUT. PATCH WITH MATERIALS AND METHODS TO PRODUCE PATCH THAT IS	b. CERTIFICATE OF OCCUPANCY: PROVIDE THE FINAL CERTIFICATE OF OCCUPANCY FROM THE BUILDING DEPARTMENT.
ONNECTED, CLEANED AND	NOT VISIBLE FROM A DISTANCE OF THREE FEET. C32. COORDINATION AND CLEARANCES:	c. PERMITS/INSPECTION CARDS: FURNISH COPIES OF PERMITS AND SIGNED INSPECTION CARDS FOR EACH OF THE FOLLOWING AGENCIES: BUILDING DEPARTMENT; PLUMBING/MECHANICAL DEPARTMENT; ELECTRICAL DEPARTMENT; FIRE DEPARTMENT; HEALTH DEPARTMENT; OTHERS AS REQUIRED.
DINIECTED, CELANED AND DNS. ALL REFERENCES TO TIONS OR LATEST	VERIFY AND COORDINATE CLEARANCES, DIMENSIONS, AND INSTALLATION OF ADJOINING CONSTRUCTION, EQUIPMENT, PIPING, DUCTS, CONDUITS, OR OTHER MECHANICAL OR ELECTRICAL ITEMS OR APPARATUS. VERIFY DIMENSIONS FOR PRODUCTS TO BE FITTED INTO WORK. a. ATTACHMENTS AND CONNECTIONS:	d. FURNISH COPIES OF PERMITS AND SIGNED INSPECTION CARDS FOR EACH OF THE FOLLOWING AGENCIES: BUILDING DEPARTMENT; PLUMBING/MECHANICAL DEPARTMENT; ELECTRICAL DEPARTMENT; FIRE DEPARTMENT; HEALTH DEPARTMENT; OTHERS AS REQUIRED.
E FOLLOWING HOURS: 1A AND SUMMIT DRK WILL NOT BE 1AT HAVE JURISDICTION.	PROVIDE ATTACHMENT AND CONNECTION DEVICES METHODS FOR SECURING AND ANCHORING WORK. SECURE IN PLACE WITH DEVICES DESIGNATED AND SIZED TO WITHSTAND STRESSES, VIBRATION, PHYSICAL DISTORTION, OR DISFIGUREMENT. b. EXPANSION AND MOVEMENT:	e. MAINTENANCE MANUALS AND WARRANTIES: FURNISH (2) COPIES FOR EACH UNIT OF ALL MANUALS, MAINTENANCE INSTRUCTIONS, CONTRACTORS AND MANUFACTURER'S PRINTED WARRANTIES, AND INSTRUCTIONS FOR OPERATION OF ALL EQUIPMENT SPECIFIED HEREIN OR SHOWN ON DRAWINGS, TRAIN OWNER'S PERSONNEL IN USE OF BUILDING SYSTEMS.
SERVICES SPECIFIED.	C. ISOLATION OF DISSIMILAR ITEMS:	f. TOUCH-UP MATERIAL: FURNISH OWNER WITH ONE GALLON OF EACH PAINT AND STAIN USED PER UNIT. PROVIDE AN ADDITIONAL 2 PERCENT OF QUANTITY INSTALLED OF ALL FINISH MATERIAL INCLUDING CEILING
f of testing 2m Work in	ISOLATE EACH UNIT OF WORK FROM INCOMPATIBLE WORK AS NECESSARY TO PREVENT DETERIORATION AND ELECTROLYTIC ACTION. d. MAINTENANCE:	PANELS, TILE, AND SHEET GOODS. g. SUBCONTRACTORS: PROVIDE THE OWNER THE NAMES, ADDRESSES, AND PHONE NUMBERS OF ALL SUBCONTRACTORS,
ON OPERATIONS AND ARCHITECT'S REVIEW.	CLEAN AND PERFORM MAINTENANCE ON INSTALLED WORK AS FREQUENTLY AS NECESSARY THROUGH REMAINDER OF CONSTRUCTION PERIOD. LUBRICATE OPERABLE COMPONENTS TO ENSURE OPERABILITY WITHOUT DAMAGING EFFECTS.	FINAL UNCONDITIONAL LIEN RELEASES, AND WARRANTIES FROM EACH. h. FINAL CLEANING AND REPAIRS: REMOVE TEMPORARY FACILITIES AND PROVIDE FINAL CLEANING AND TOUCH-UP. RESTORE
OCATED IN FIELD OFFICE.	e. ADJUSTMENTS: ADJUST OPERATING PRODUCTS AND EQUIPMENT TO ENSURE SMOOTH AND UNHINDERED OPERATION.	PORTIONS OF BUILDING, SITE IMPROVEMENTS, LANDSCAPING AND OTHER ITEMS DAMAGED BY CONSTRUCTION OPERATIONS TO THE SATISFACTION OF THE ARCHITECT, AT NO ADDITIONAL EXPENSE TO THE OWNER.
Y THE GENERAL Y THE CONTRACTOR OR	C33. EXAMINATION OF CONDITIONS: EXAMINE SUBSTRATES AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. DO NOT COMMENCE WORK OVER UNSATISFACTORY CONDITIONS DETRIMENTAL TO PROPER AND TIMELY EXECUTION OF WORK. DO	i. CLOSEOUT DOCUMENTS: PROVIDE THE OWNER WITH A COMPACT DISK OF ALL RECORD DRAWINGS IN PDF FORMAT, COPY OF ALL SHOP DRAWINGS AND PRODUCT SUBMITTALS, SERVICE CONTRACTS, HVAC AIR BALANCE REPORT. AND WASTELINE VIDEO INFRECTION REPORT.
LTH DEPARTMENT AND THE	NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF INSTALLATION CONSTITUTES ACCEPTANCE OF CONDITIONS AND COSTS OF ANY CORRECTIVE MEASURES ARE RESPONSIBILITY OF CONTRACTOR.	REPORT, AND WASTELINE VIDEO INSPECTION REPORT.
FOR BY THE INDIVIDUAL	C34. CONTRACTOR SHALL PROVIDE BACKING SUPPORT OF ALL WALL, CEILING, AND PARTITION MOUNTED ITEMS SUCH AS TABLE BRACKETS, LIGHT FIXTURES, ARTIFACTS, SHELVING, EQUIPMENT, AND TELEVISIONS. COORDINATE LOCATIONS AND REQUIREMENTS WITH THE PLUMBING, MECHANICAL, ELECTRICAL DRAWINGS.	<u>IEBC 2018 PROJECT NOTES:</u> a. IEBC 410.7 UP TO 20% OF COSTS ARE TO BE PROVIDED TO UPGRADE THE ACCESSIBILITY OF THE FACITUITY IF
ON OF FILE WITH THE	C35. EXTERIOR OPENINGS SHALL COMPLY WITH ALL SECURITY REQUIREMENTS AS OUTLINED IN ALL LOCAL BUILDING CODES AND ORDINANCES.	NEEDED.
CE SHALL BE OF NEAT, H ALL CURRENT	C36. GLASS AND GLAZING FOR ALL WINDOWS SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES. IN ADDITION ALL WINDOWS MUST MEET THE "AAMA" WINDOW STANDARDS FOR INSTALLATION. THE CONTRACTOR SHALL OBTAIN, AND SHALL FOLLOW ALL REQUIREMENTS OF THE "AAMA" STANDARDS IN ADDITION TO THE MANUFACTURER SPECIFICATIONS AND ARCHITECTURAL DETAILS INCLUDED WITHIN THE DRAWINGS.	
	C37. ROOFING WORK SHALL BE PERFORMED AND ALL PENETRATIONS THROUGH THE ROOFING MEMBRANE SHALL BE PATCHED OR FLASHED AS PER THE MANUFACTURER'S STANDARDS.	
CTURE FOR ALL GE FACILITIES FOR /ORK.	C38. ROOF OBSTRUCTIONS SUCH AS TELEVISION ANTENNAE, SOLAR PANELS, AND GUY WIRES SHALL NOT BE LOCATED OR INSTALLED IN SUCH A WAY AS TO PREVENT FIRE DEPARTMENT ACCESS OR EGRESS IN THE EVENT OF A FIRE.	
OWNER AND		
ER ALL TELEPHONE CALLS PROVED MEANS TO		
ER COMPLETION OF THE		

	INSULATION SCHED	ULE				
ICATIONS DICTATED BY ALL	ENERGY STRATEGY: PRESCRIPTIVE PER IE		RESCHECK - 2	015 IECC		RESCHECK - UTAH 2012
CAL GOVERNING BUILDING CKNESS SHALL NOT BE PLACED	LOCATION	TYPE	THICKNESS	"R"	VALUE	REMARKS
CAL, ELECTRICAL, PLUMBING, DRIES.	3. WALL INSULATION EXTERIOR FRAMED WALLS	BATT	5 1/2" TOTAL THICKNESS	R-21		CERTAINTEED CERTA PRO ACOUSTI THERM UNFACED FRICTION BATTS or THERMAFIBER OWENS CORNING - THERMAL BATT - FILL STUD CAVITY TIGHT AS PER MANUFACTURER
ND OWNER'S REPRESENTATIVE. CTION AS REQUIRED TO	5. ROOF AT TRUSSES/ STICK FRAMING	BIB BLOWN FIBERGLASS	CONTRACTOR VERIFY	R-47		RECOMMENDATIONS. COORDINATE WITH WALL TYPES AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS CERTAINTEED OPTIMA BIB BLOWN FIBERGLASS SYSTEM WITH VAPOR BARRIER SYSTEM INSTALLED AS PER MANUFACTURER (O.A.E.). PRIVIDE PREFABRICATED POLYSTYRENE A BAFFLE VENTILATION SYSTEM.
) ADDITIONAL COST TO THE RDINATE TRASH REMOVAL	6. FURRED OUT WALLS AT BASEMENT	BATT	3 1/2"	R-15		CERTAINTEED CERTA PRO ACOUSTI THERM UNFACED FRICTION BATTS or THERMAFIBER OWENS CORNING - THERAL BATT - FILL STUD CAVITY TIGHT AS PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE WITH WALL TYPES AND SPECIFICATIONS FOR
CONTRACTOR IS RESPONSIBLE RACTOR SHALL PERFORM ALL THE INTENT INDICATED AND	7. BATHROOMS	SOUND BATTS	3 1/2"	MATCH WALL C	CAVITY- R-13	ADDITIONAL REQUIREMENTS CERTAINTEED CERTA PRO ACOUSTI THERM UNFACED FRICTION BATTS OF THERMAFIBER OWENS CORNING - THERAL BATT - FILL STUD CAVITY TIGHT AS PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE WITH WALL TYPES AND SPECIFICATIONS FOR AD
AAINTAIN THE SPECIFIED ENT WHICH ARE COMPATIBLE R OF THE MATERIAL.	8. DUCTWORK/PLUMBING LINES	DBL. FACED 1/2" VINYL FACED				REQUIREMENTS SEE MECHANICAL AND PLUMBING - FOR ALL INSULATION REQUIREMENTS
er within 1 week of						
HALL BE RESPONSIBILITY OF ND SUBMIT FINAL DESIGN ENSIONS.						
SATISFACTORY USE IN CIFIED IN INDIVIDUAL						
ONLY BE CONSIDERED WHEN HER INFORMATION REQUIRED UNLESS SPECIFICALLY R THE CONTRACT HAS BEEN DST SAVINGS FOR THE OWNER.						
LABLE IN TIME FOR VENT SPECIFIED ITEM OR ONSTRUCTION. COST OF MS, WHEN THE DNTRACTOR.	NOTES:				4. WHERE INSUL	ATION IS REQUIRED THE MOST RESTRICTIVE BETWEEN THE RESCHECK AND THE INSULATION
IN OF COLORS AND K.	1. COORDINATE WITH SPECIFICATION FOR A	GAPS SHALL BE LEFT.				3E INSTALLED. SEE RESCHECK. 9R SHALL CAULK ALL ELECTRICAL BOXES AT EXTERIOR WALL FOR AIR LEAKAGE.
ise, work executed within	3. ALL INSULATION AT PIPES SHALL BE INSTAL	LED AT COLD SIDE ONLY, NO E	exceptions.			
N PLUS OR MINUS 1/8 INCH TICULAR ELEMENT OF	PROJECT RENOVATIO	ON - CITY REQU	VIREMENTS			
MINUS 1/8 INCH IN 10 FT. ELEMENT OF CONSTRUCTION	COMMUNITY & ECO	ORATION NOMIC DEVELOPMENT	Building Division 801-2 Planning Division 801-2			
OR MINUS 1/8 INCH IN 10 FT. ELEMENT OF CONSTRUCTION	March 3, 2020				note	 enlarge some of the existing units on other floors. Reviewing the proposed changes, planning states the following for your consideration: a. <u>Density.</u> The property is located in the R-M-10 Zone, with an allowed density of 12 units per a 2.62 acres results in a maximum allowance of 31 units.
6 INCH IN ONE SQUARE WITHIN PLUS OR MINUS ¼ R 20'-0" IN LENGTH.	Investment Realty Advisors 1174 Graystone Way Salt Lake City, cory@iraproperties.net Re: Concept Review – Legacy Apartm PROPERTY ADDRESS: 404 East 5600 9 Parcel ID: 22-13	nents, Renovation South, Murray UT 84157				 <u>Parking.</u> The concept plan presented indicates the use of the existing parking spaces (54 stalls pictured, 24 stalls south of the building not pictured) plus the re-introduction of an additional spaces adjacent to the south building wall. Multi-family parking in the R-M-10 Zone is required at a rate of 2.5 spaces per unit, minimum. One covered space per unit should be provided. There is no increase in parking stalls. 18 spaces are covered. The renovation should include the addition of canopies to covered.
) A PUNCH LIST WALK D OWNER. COMPLETE ALL N THE TIME PERIOD DWNER.	This letter is the response to your app Murray City Department Staff met or the existing multi-family building. Rev from Murray City staff.	February 18, 2020 to review the	proposed renovation and remodel	ing of		 minimum of 12 more spaces. A backing distance of 24' is required behind 90 degree parking. The backing distance behind the 7 stalls to be reintroduced appears to be 24-25 feet, and staff supports the concept with the understanding that unit maximums are still 31, based on the proper size. <u>Setback & Height</u>. No changes to height or building footprint were proposed. The existing but a staff support of the set of the set
DEPARTMENT.		rb & gutter and sidewalk along th gh accesses to meet current ADA :				meets or exceeds the required setbacks and conforms to the maximum height allowed. d. Landscaping –Please refer to Chapter 17.68 of the Murray City Land Use Ordinance regarding
TH OF THE FOLLOWING MENT; ELECTRICAL	c. Obtain a Murray City Exc d. 5600 South will be repay		ty right-of-way. associated with the apartment proje	ect	This lette	specific landscaping requirements. There were no landscape plans submitted for review. Landscaped areas appear to be appropriate. er does not constitute Murray City approval of the project and is provided for the benefit and
JIRED. THE FOLLOWING IENT; ELECTRICAL	 Murray City Water and Sewer: V old, clay and transite. Applicants 		d that the two (2) sewer laterals are check condition. The laterals and t		informat informat question	ion of the applicant. Planning Staff would be happy to meet with you or provide any additional cion of the applicant. Planning Staff would be happy to meet with you or provide any additional cion or review that you feel would be helpful in working towards an approval. Should you have any is or comments please feel free to contact me or anyone at the Community and Economic Develop at (801) 270-2420.
JIRED. NSTRUCTIONS, TRUCTIONS FOR	 <u>The Murray City Building Division</u> remodel plans, including code ar <u>The Murray City Power Departm</u> 	alysis and exiting analysis, will be	e required for permits.	- Toldada i	Thank yo	pu,
WINGS, TRAIN OWNER'S	5. <u>The Murray City Fire Departmen</u> changes will require the update	t: The Fire Marshall has determin and maintenance of the fire prote ire code violations that will need t		nd	801-270-	Division Manager
ER UNIT. PROVIDE AN AL INCLUDING CEILING	6. The Murray City Planning Divisio	<u>n –</u> The proposed concept for rer	novation that was presented would iness office into additional rental sp			
OF ALL SUBCONTRACTORS,	Murray City Public W	orks Building 4646 South 500 West	Murray, Utah 84123			Murray City Public Works Building 4646 South 500 West Murray, Utah 84123
OUCH-UP. RESTORE ER ITEMS DAMAGED BY AT NO ADDITIONAL						
GS IN PDF FORMAT, COPY CTS, HVAC AIR BALANCE						
LITY OF THE FACITLITY IF						







STORAGE/ MECH. 23 SF



LEVEL 3 - T.O. PLY 12 UNITS 1/16" = 1'-0"

AREA PLAN LEVEL 2 12 UNITS

	BUILDING AREA				
EXISTING BUILDING AREA					
AREA	FINISHED				
LEVEL 1 - T.O. PLY COMMON AREA	5989 SF				
EXISTING STAIRS					
	413 SF				
	6095 SF				
STORAGE/ MECH.	579 SF				
LEVEL 2 - T.O. PLY	0070.05				
	2070 SF				
EXISTING STAIRS	667 SF				
EXISTING UNIT	1413 SF				
EXISTING UNIT + ADDITION	2053 SF				
NEW UNIT	6769 SF				
STORAGE/ MECH.	350 SF				
LEVEL 3 - T.O. PLY					
COMMON AREA	1859 SF				
EXISTING STAIRS	667 SF				
EXISTING UNIT	1275 SF				
EXISTING UNIT + ADDITION	2773 SF				
NEW UNIT	3915 SF				
STORAGE/ MECH.	355 SF				
	37242 SF				
	NEW BUILDING AREA				
AREA	FINISHED				
LEVEL 1 - T.O. PLY					
NEW ENTRY	84 SF				
	84 SF				
	BUILDING AREA - TOTAL				
	TOTAL				
	37326 SF				



Architecture Interior Design Landscape Architecture Land Planning Construction Managemen

> 7927 So. Highpoint Parkway, Suite 300 Sandy, Utah 84094 ph. 801.269.0055 fax 801.269.1425

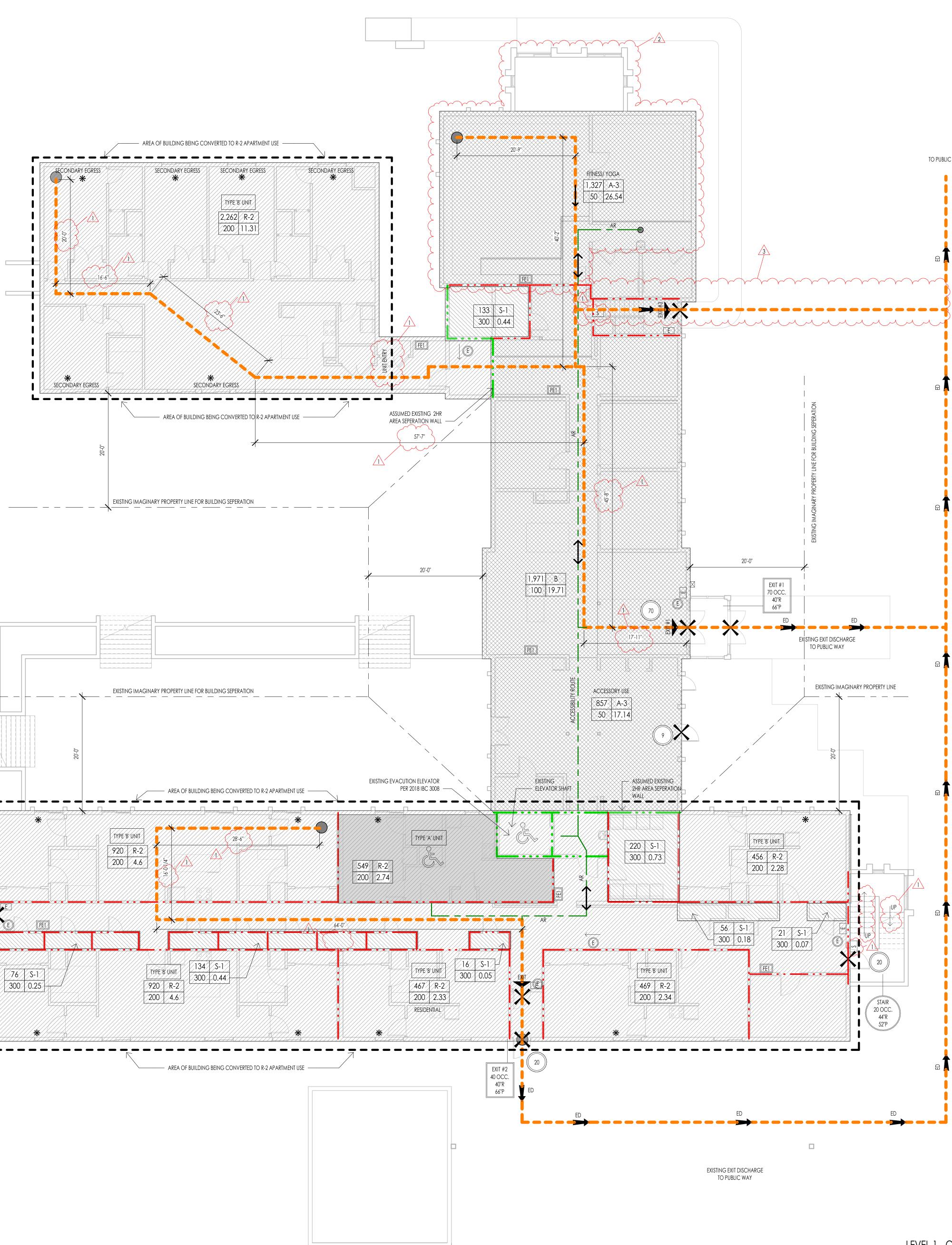
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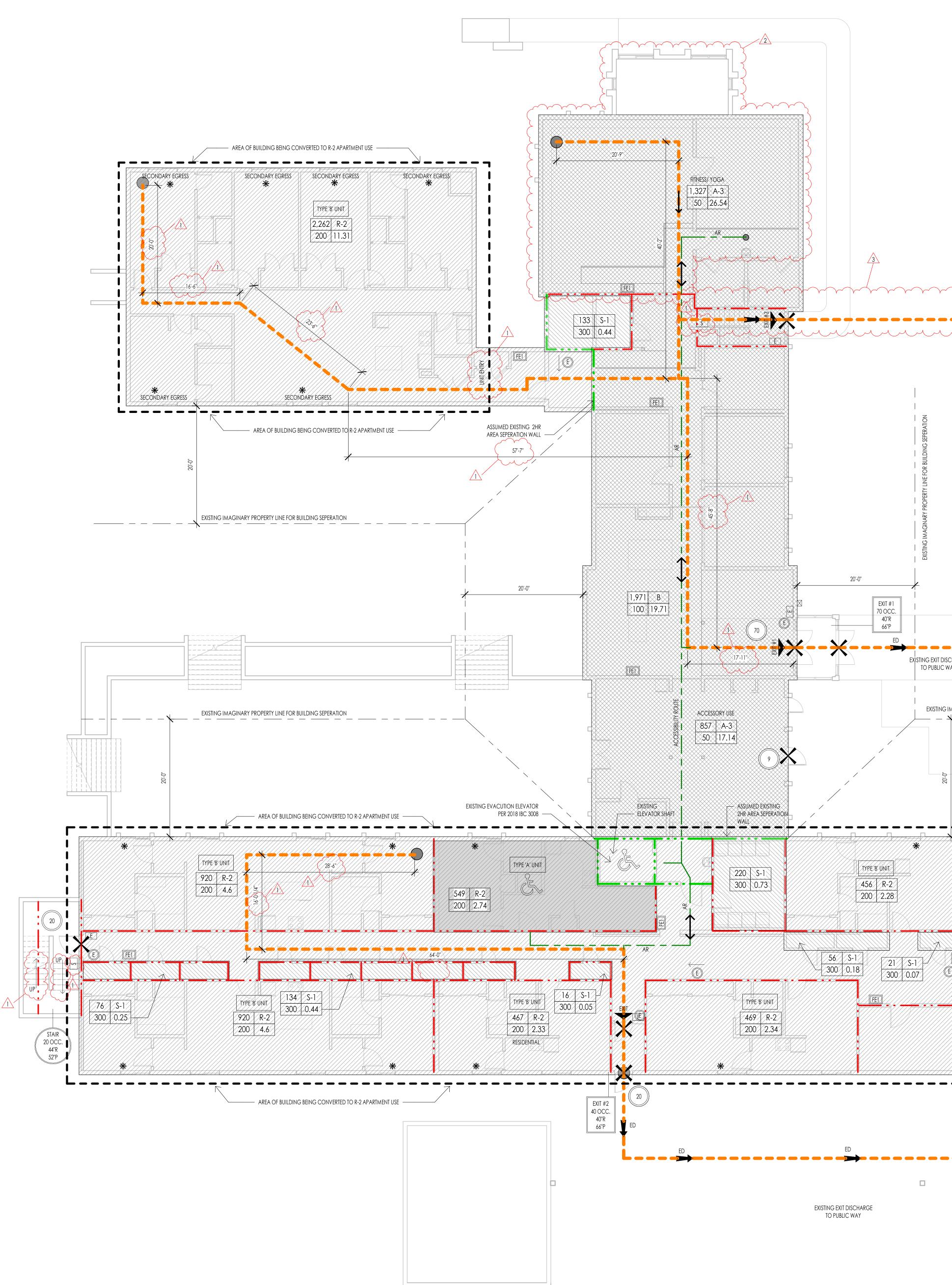






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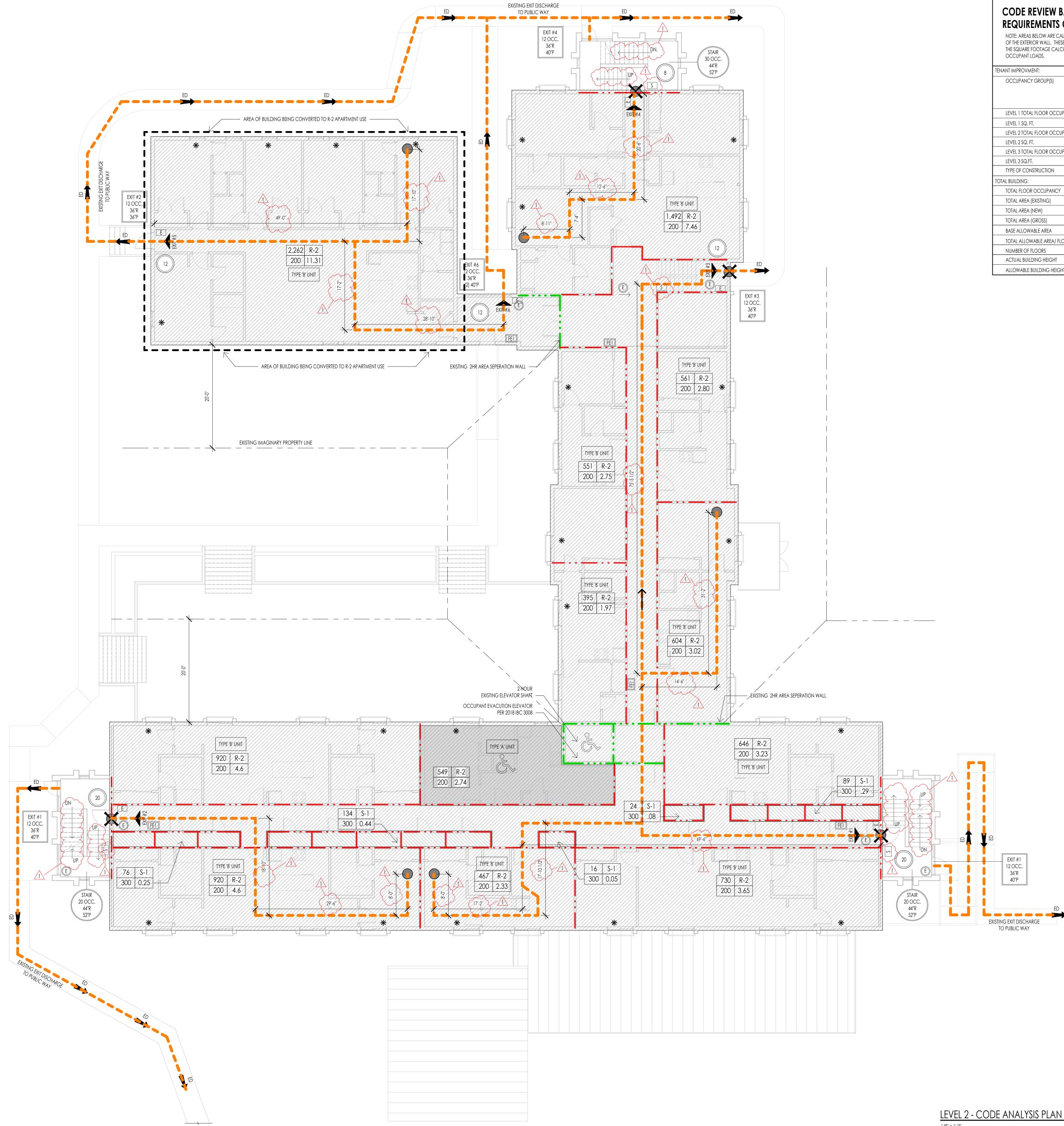


CODE REV	/IEW CRITERIA		CC	DE ANALYSIS LEGEND
CODE REVIEW BASE				ROCCUPANCY
REQUIREMENTS OF T NOTE: AREAS BELOW ARE CALCULATE	d by using the outside face			BOCCUPANCY
OF THE EXTERIOR WALL. THESE AREA O THE SQUARE FOOTAGE CALCULATION OCCUPANT LOADS.				
				S-1 OCCUPANCY
OCCUPANCY GROUP(S)	R-2 - APARTMENT UNITS (REMODEL) B - LOBBY & OFFICES A-3 - WORKOUT & ASSEMBLY AREAS S-1 - STORAGE 96		STAIR 166 OCC. 4'-6''R 6'-0''P	MAXIMUM OCCUPANT LOAD THRU EXIT MINIMUM REQUIRED STAIR WIDTH
LEVEL 1 SQ. FT. LEVEL 2 TOTAL FLOOR OCCUPANCY	13,303 SQ. FT. (EXISTING) 84 SQ. FT. (NEW) 50	_		- STAIR WIDTH PROVIDED
LEVEL 2 SQ. FT. LEVEL 3 TOTAL FLOOR OCCUPANCY	13,322 SQ. FT. (EXISTING) 42		EXIT 166 OCC. 3-0"R	(LOCATION SHOWN BY LARGE ARROW) — MAXIMUM OCCUPANT LOAD THRU EXIT — MINIMUM REQUIRED EXIT WIDTH
LEVEL 3 SQ.FT. TYPE OF CONSTRUCTION	10,846 SQ. FT. (EXISTING) TYPE V-A		4'-0"P	- EXIT WIDTH PROVIDED
DTAL BUILDING: TOTAL FLOOR OCCUPANCY	188 SQ. FT.			1 HOUR FIRE BARRIER OR PARTITION. EXISTING/ SEE
TOTAL AREA (EXISTING) TOTAL AREA (NEW)	37,469 SQ. FT. 84 SQ. FT.	-		WALL TYPES 2 - 3 HOUR FIRE BARRIER OR PARTITION. EXISTING WALLS
TOTAL AREA (GROSS)	37,553 SQ. FT.		CPT	COMMON PATH OF TRAVEL AS PER IBC 1006.2.1
BASE ALLOWABLE AREA TOTAL ALLOWABLE AREA/ FLOOR	48,000 SF 48,000 SF			
NUMBER OF FLOORS ACTUAL BUILDING HEIGHT	3 EXISTING			- ROOM/AREA SQUARE FOOTAGE
ALLOWABLE BUILDING HEIGHT	3-STORY	\neg	SF OCC	– OCCUPANCY GROUP – OCCUPANT LOAD
			OLF OL K	- OCCUPANT LOAD
			\sim	(n=NET sf, g=GROSS SF)
				ROOM/AREA REQUIRED EXIT
				BUILDING REQUIRED EXIT
			•• — 🖂	GENERAL PATH OF EGRESS
				EXISTING EXIT DISCHARGE TO PUBLIC WAY - IBC 1027
				KNOX BOX
			FE1	ONE-HOUR FIRE RATED RECESSED FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER FIRE EXTINGUISHER - 2A: 10BC
			FE2	NON-RATED SURFACE MOUNTED FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER FIRE EXTINGUISHER - 4A: 60BC
			*	ROOMS WITH AN OCCUPANT LOAD OF 50 OR MORE IN GROUP A OCCUPANCY SHALL HAVE TWO EXITS AND ARE REQUIRED TO HAVE PANIC HARDWARE (IBC 2015 SECTION 1008.1.10)
			*	- SECONDARY EGRESS FOR UNITS
			#	NUMBER OF OCCUPANTS IN EXIT ROUTE
			\mathbf{X}	– PANIC HARDWARE REQUIRED
			Es.	ACCESSIBLE ELEMENT
			E	REQUIRED EXIT LIGHT SIGN LOCATIONS. SEE IBC 2018
			S	REQUIRED STAIR LEVEL IDENTIFICATION SIGNAGE AS PER ICC A117.1
				GENERAL NOTES
			OCCUPANT LOAD OF 50 OR MO	RECTION OF EGRESS TRAVEL WHERE SEVING AN DRE PERSONS. IBC SECTION 1010.1.2
		3.	LOCATIONS. CONTRACTOR TO	LER NFPA-13R SUBMITTAL FOR FIRE SPRINKLER HEAD SHALL BE RESPONSABLE TO COORDINATE & PROVIDE ARCHITECT, FIRE MARSHALL & BLDG. DEPT. FPR
		5.		IGS FOR EMERGENCY EXIT SIGNS AND LIGHTS. PROVIDED TO UPGRADE THE ACCESSIBILITY OF THE FACILITY IF NEEDED.
				SIGNAGE
		1.		IDE SIGNAGE TO MEET THE REQUIREMENTS OF 2015 IBC PROVIDE SIGNAGE FOR ACCESSIBLE ENTRANCES, RESTROOMS,
			SUCH A POSITION AS TO BE CLE	NUMBERS OR ADDRESSES SHALL BE PROVIDED IN ARLY VISIBLE AND LEGIBLE FROM THE STREET OR PERTY IN COMPLIANCE WITH IBC 2015 SECTION 501.2.
			STAIR IDENTIFICATION - 2018 IBC	
			EXIT SIGNS - SEE SIGNAGE SCHE FIRE RISER ROOM SIGNAGE - TC SEE SIGNAGE SCHEDULE	DULE. 9 BE PROPERLY IDENTIFIED AS REQUIRED BY IFC 509.

STAIR 20 OCC. 44"R 52"P

TO PUBLIC WAY





CODE REV	/IEW CRITERIA			CODE ANALYSIS LEGEND
CODE REVIEW BASE	-			ROCCUPANCY
REQUIREMENTS OF T NOTE: AREAS BELOW ARE CALCULATE				BOCCUPANCY
OF THE EXTERIOR WALL. THESE AREA (THE SQUARE FOOTAGE CALCULATION OCCUPANT LOADS.				
IENANT IMPROVMENT:				S-1 OCCUPANCY
	R-2 - APARTMENT UNITS (REMODEL) B - LOBBY & OFFICES A-3 - WORKOUT & ASSEMBLY AREAS S-1 - STORAGE		STAIR 166 OCC. 4'-6''R	MAXIMUM OCCUPANT LOAD THRU EXIT
LEVEL 1 TOTAL FLOOR OCCUPANCY LEVEL 1 SQ. FT.	96 13,303 SQ. FT. (EXISTING) 84 SQ. FT. (NE	W)	6'-0"P	STAIR WIDTH PROVIDED
LEVEL 2 TOTAL FLOOR OCCUPANCY LEVEL 2 SQ. FT. LEVEL 3 TOTAL FLOOR OCCUPANCY LEVEL 3 SQ.FT.	50 13,322 SQ. FT. (EXISTING) 42 10,846 SQ. FT. (EXISTING)		EXIT 166 OCC. 3'-0"R 4'-0"P	(LOCATION SHOWN BY LARGE ARROW) ———— MAXIMUM OCCUPANT LOAD THRU EXIT ———— MINIMUM REQUIRED EXIT WIDTH ———— EXIT WIDTH PROVIDED
TYPE OF CONSTRUCTION	TYPE V-A			
TOTAL BUILDING: TOTAL FLOOR OCCUPANCY	188 SQ. FT. 37,469 SQ. FT.			1 HOUR FIRE BARRIER OR PARTITION. EXISTING/ SEE WALL TYPES
TOTAL AREA (EXISTING) TOTAL AREA (NEW)	84 SQ. FT.			2 - 3 HOUR FIRE BARRIER OR PARTITION. EXISTING WALLS
TOTAL AREA (GROSS) BASE ALLOWABLE AREA	37,553 SQ. FT. 48,000 SF			COMMON PATH OF TRAVEL AS PER IBC 1006.2.1
TOTAL ALLOWABLE AREA/ FLOOR NUMBER OF FLOORS	48,000 SF 3		AR	ACCESSIBILITY ROUTE
ACTUAL BUILDING HEIGHT	EXISTING 3-STORY			ROOM/AREA SQUARE FOOTAGE
			SF OCC	OCCUPANCY GROUP OCCUPANT LOAD
				OCCUPANCY LOAD FACTOR (n=NET sf, g=GROSS SF)
			\bigtriangleup	ROOM/AREA REQUIRED EXIT
				BUILDING REQUIRED EXIT
			—	
				GENERAL PATH OF EGRESS
			ED	EXISTING EXIT DISCHARGE TO PUBLIC WAY - IBC 1027
			\square	KNOX BOX
			FEI	ONE-HOUR FIRE RATED RECESSED FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER FIRE EXTINGUISHER - 2A: 10BC
			FE2	NON-RATED SURFACE MOUNTED FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER FIRE EXTINGUISHER - 4A: 60BC
			*	ROOMS WITH AN OCCUPANT LOAD OF 50 OR MORE IN GROUP A OCCUPANCY SHALL HAVE TWO EXITS AND ARE REQUIRED TO HAVE PANIC HARDWARE (IBC 2015 SECTION 1008.1.10)
			*	SECONDARY EGRESS FOR UNITS
			#	NUMBER OF OCCUPANTS IN EXIT ROUTE
				PANIC HARDWARE REQUIRED
			E	ACCESSIBLE ELEMENT
			E	REQUIRED EXIT LIGHT SIGN LOCATIONS. SEE IBC 2018
			S	REQUIRED STAIR LEVEL IDENTIFICATION SIGNAGE AS
			<u> </u>	PER ICC A117.1
				GENERAL NOTES
		1.	OCCUPANT LOAD OF 50 C	HE DIRECTION OF EGRESS TRAVEL WHERE SEVING AN DR MORE PERSONS. IBC SECTION 1010.1.2 ON OF FIRE EXTINGUISHERS
		3.	REFER TO DEFERRED FIRE S LOCATIONS. CONTRACTO	PRINKLER NFPA-13R SUBMITTAL FOR FIRE SPRINKLER HEAD DR TO SHALL BE RESPONSABLE TO COORDINATE & PROVIDE S FOR ARCHITECT, FIRE MARSHALL & BLDG. DEPT. FPR
		4.		RAWINGS FOR EMERGENCY EXIT SIGNS AND LIGHTS.
EXIT #1 12 OCC.		5.	UP TO 20% OF COSTS ARE -2018 IEBC 305.7	TO BE PROVIDED TO UPGRADE THE ACCESSIBILITY OF THE FACILITY IF NEEDED.
36"R 40"P				SIGNAGE
ED		<u>SEE S</u>	IGNAGE SCHEDULE AND LAY	OUT ON SHEETS G007
TING EXIT DISCHARGE TO PUBLIC WAY		1.		PROVIDE SIGNAGE TO MEET THE REQUIREMENTS OF 2015 IBC 17.1. PROVIDE SIGNAGE FOR ACCESSIBLE ENTRANCES, RESTROOMS,
		2.	BUILDING ADDRESS: APPR	OVED NUMBERS OR ADDRESSES SHALL BE PROVIDED IN
			ROADWAY FRONTING THE	E CLEARLY VISIBLE AND LEGIBLE FROM THE STREET OR PROPERTY IN COMPLIANCE WITH IBC 2015 SECTION 501.2.
		3. 4.	STAIR IDENTIFICATION - 20 EXIT SIGNS - SEE SIGNAGE	
		5.		SE - TO BE PROPERLY IDENTIFIED AS REQUIRED BY IFC 509.
			JLL JIGINAGE JUHEDULE	
e analysis plan	(1		
	l l	G004		

G004



Landscape Architecture Land Planning Construction Management

7927 So. Highpoint Parkway, Suite 300

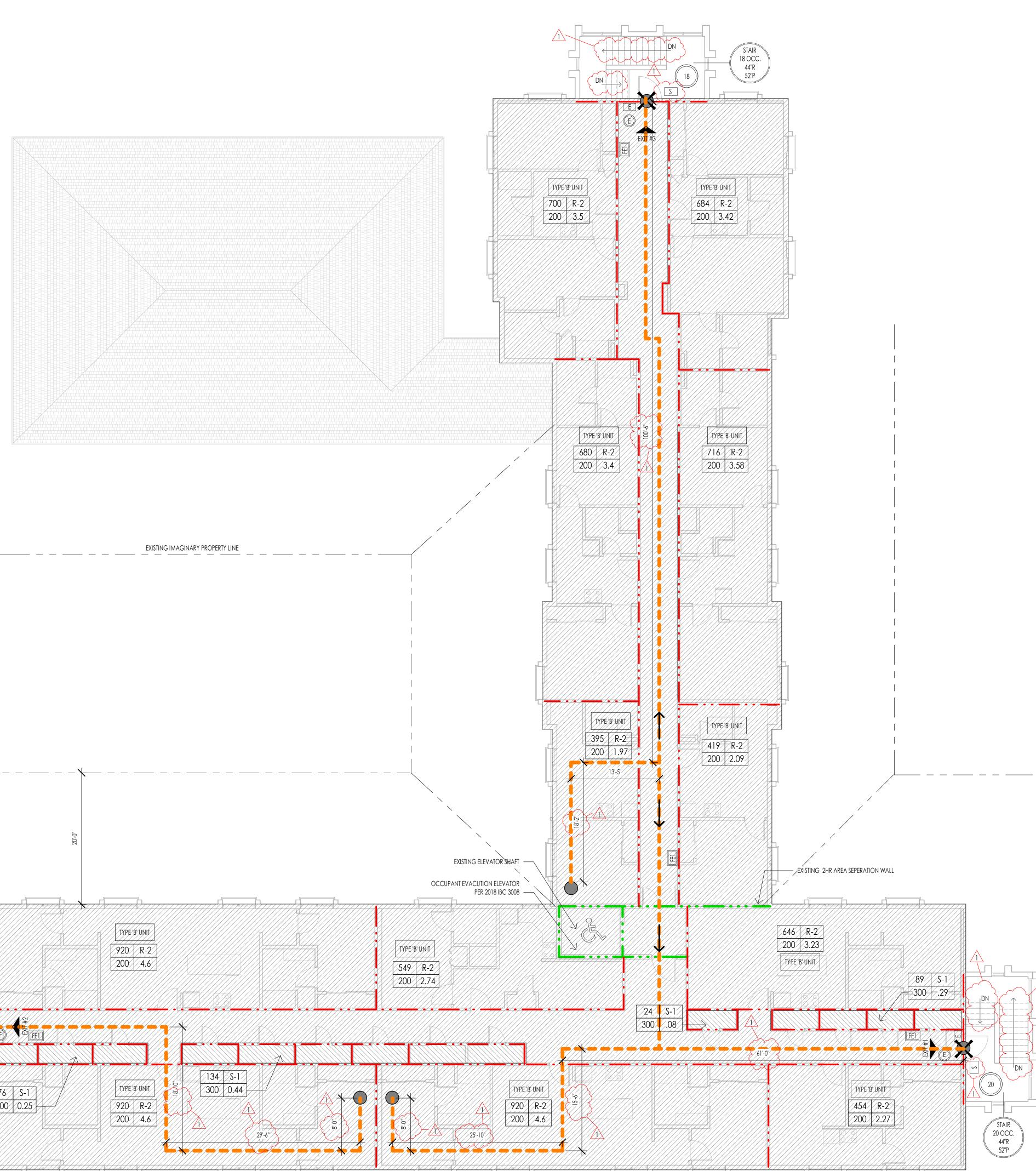
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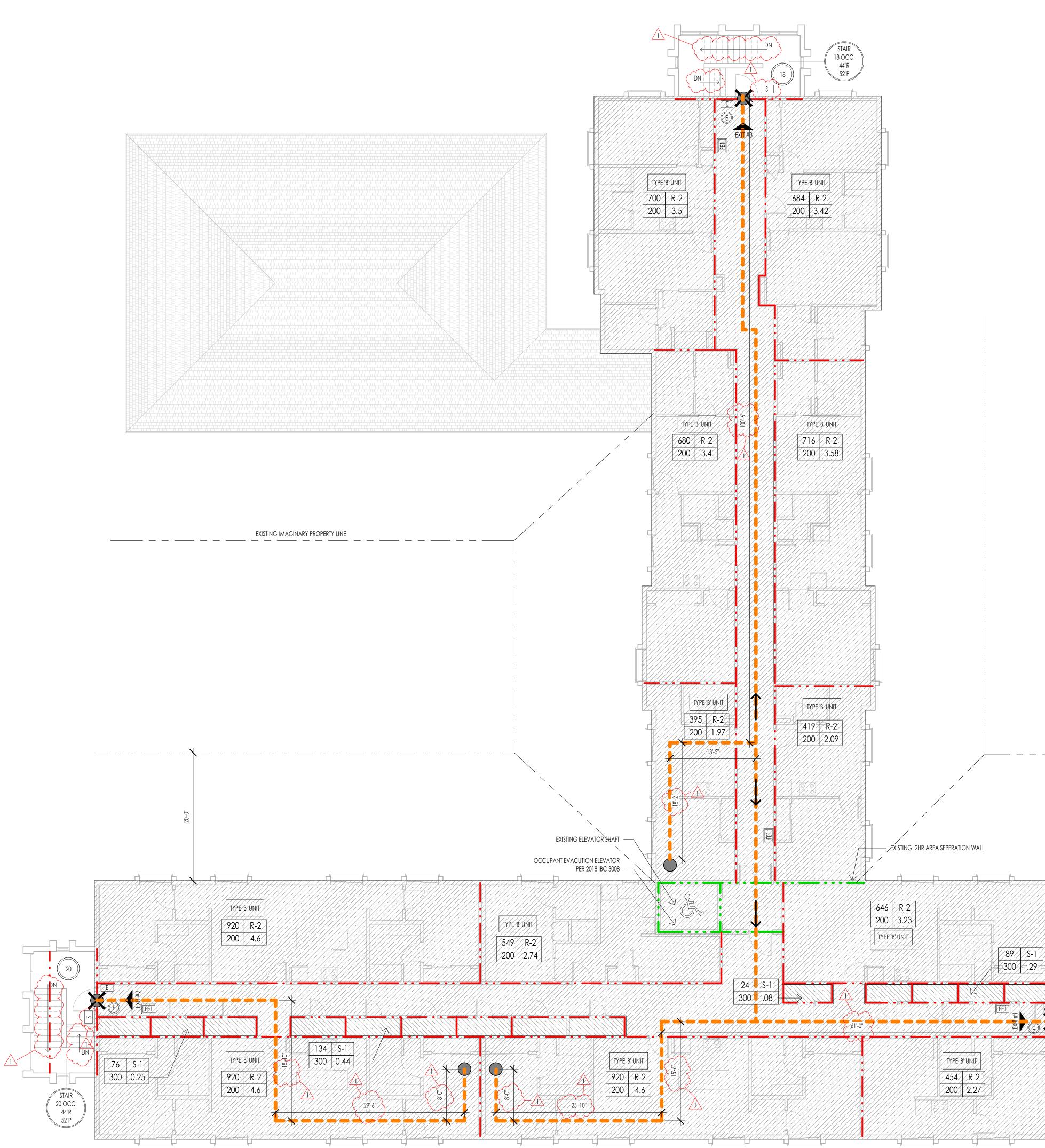
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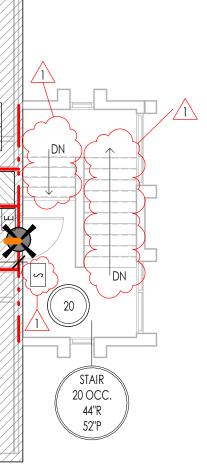






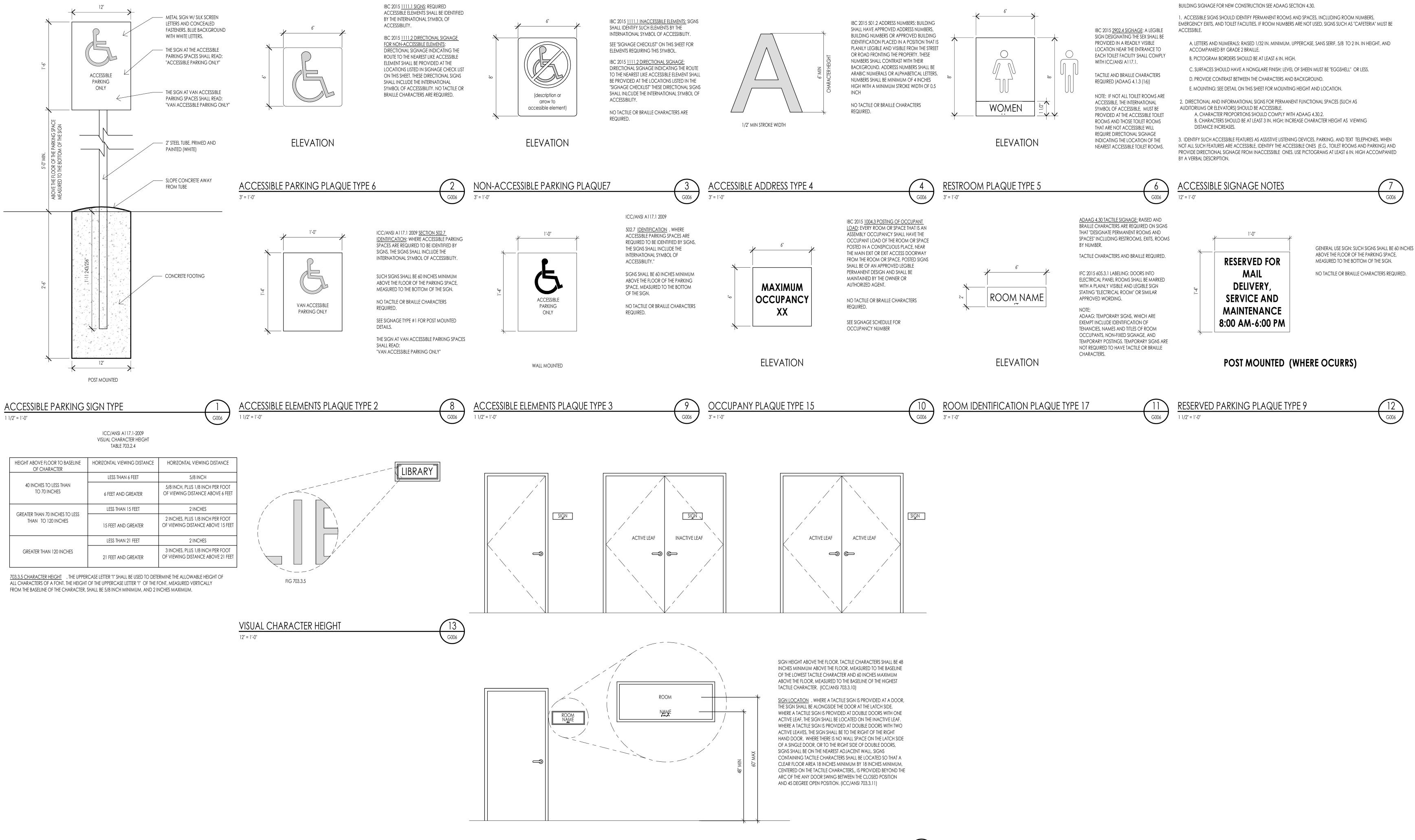


CODE REV	/IEW CRITERIA		(CODE ANALYSIS LEGEND
CODE REVIEW BASE	D ON THE			R OCCUPANCY
REQUIREMENTS OF T	HE 2018 IBC			BOCCUPANCY
OF THE EXTERIOR WALL. THESE AREA O THE SQUARE FOOTAGE CALCULATION OCCUPANT LOADS.	CALCULATIONS WILL NOT MATCH			
TENANT IMPROVMENT: OCCUPANCY GROUP(S)	R-2 - APARTMENT UNITS (REMODEL)	_		S-1 OCCUPANCY
LEVEL 1 TOTAL FLOOR OCCUPANCY	B - LOBBY & OFFICES A-3 - WORKOUT & ASSEMBLY AREAS S-1 - STORAGE 96	_	STAIR 166 OCC. 4'-6''R 6'-0''P	MAXIMUM OCCUPANT LOAD THRU EXIT MINIMUM REQUIRED STAIR WIDTH
LEVEL 1 SQ. FT. LEVEL 2 TOTAL FLOOR OCCUPANCY LEVEL 2 SQ. FT.	13,303 SQ. FT. (EXISTING) 84 SQ. FT. (NEW) 50 13,322 SQ. FT. (EXISTING)	_	EXIT	(LOCATION SHOWN BY LARGE ARROW)
LEVEL 3 TOTAL FLOOR OCCUPANCY LEVEL 3 SQ.FT.	42 10,846 SQ. FT. (EXISTING)	_	166 OCC. 3'-0"R 4'-0"P	MAXIMUM OCCUPANT LOAD THRU EXIT MINIMUM REQUIRED EXIT WIDTH EXIT WIDTH PROVIDED
TYPE OF CONSTRUCTION TOTAL BUILDING: TOTAL FLOOR OCCUPANCY	188 SQ. FT.	-		1 HOUR FIRE BARRIER OR PARTITION. EXISTING/ SEE
TOTAL AREA (EXISTING) TOTAL AREA (NEW)	37,469 SQ. FT. 84 SQ. FT.	-		WALL TYPES 2 - 3 HOUR FIRE BARRIER OR PARTITION. EXISTING WALLS
TOTAL AREA (GROSS) BASE ALLOWABLE AREA	37,553 SQ. FT. 48,000 SF		CPT	COMMON PATH OF TRAVEL AS PER IBC 1006.2.1
TOTAL ALLOWABLE AREA/ FLOOR NUMBER OF FLOORS	48,000 SF 3	$\left\{ - \right\}$		
ACTUAL BUILDING HEIGHT ALLOWABLE BUILDING HEIGHT	EXISTING 3-STORY			ROOM/AREA SQUARE FOOTAGE
			SF OCC	OCCUPANCY GROUP OCCUPANT LOAD
				OCCUPANCY LOAD FACTOR (n=NET sf, g=GROSS SF)
			\bigtriangleup	ROOM/AREA REQUIRED EXIT
				BUILDING REQUIRED EXIT
		_	•••	GENERAL PATH OF EGRESS
			➡ >>> ED	EXISTING EXIT DISCHARGE TO PUBLIC WAY - IBC 1027
			\square	KNOX BOX
			FE1	ONE-HOUR FIRE RATED RECESSED FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER FIRE EXTINGUISHER - 2A: 10BC
			FE2	NON-RATED SURFACE MOUNTED FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER FIRE EXTINGUISHER - 4A: 60BC
			*	ROOMS WITH AN OCCUPANT LOAD OF 50 OR MORE IN GROUP A OCCUPANCY SHALL HAVE TWO EXITS AND ARE REQUIRED TO HAVE PANIC HARDWARE (IBC 2015 SECTION 1008.1.10)
			*	SECONDARY EGRESS FOR UNITS
			#	NUMBER OF OCCUPANTS IN EXIT ROUTE
			\mathbf{X}	PANIC HARDWARE REQUIRED
			E.	
		$\left\{ \right\}$	E E	REQUIRED EXIT LIGHT SIGN LOCATIONS. SEE IBC 2018
				REQUIRED STAIR LEVEL IDENTIFICATION SIGNAGE AS
			<u>s</u>	PER ICC A117.1
				GENERAL NOTES
		1. 2.		HE DIRECTION OF EGRESS TRAVEL WHERE SEVING AN DR MORE PERSONS. IBC SECTION 1010.1.2 DN OF FIRE EXTINGUISHERS
		3.	LOCATIONS. CONTRACTO	PRINKLER NFPA-13R SUBMITTAL FOR FIRE SPRINKLER HEAD R TO SHALL BE RESPONSABLE TO COORDINATE & PROVIDE S FOR ARCHITECT, FIRE MARSHALL & BLDG. DEPT. FPR WORK.
		4. 5.		AWINGS FOR EMERGENCY EXIT SIGNS AND LIGHTS. TO BE PROVIDED TO UPGRADE THE ACCESSIBILITY OF THE FACILITY IF NEEDED.
				SIGNAGE
		<u>SEE S</u> 1.		<u>DUT ON SHEETS G007</u> PROVIDE SIGNAGE TO MEET THE REQUIREMENTS OF 2015 IBC 7.1. PROVIDE SIGNAGE FOR ACCESSIBLE ENTRANCES, RESTROOMS,
		2.	etc. Building Address: Appro Such a position as to Bi	DVED NUMBERS OR ADDRESSES SHALL BE PROVIDED IN E CLEARLY VISIBLE AND LEGIBLE FROM THE STREET OR PROPERTY IN COMPLIANCE WITH IBC 2015 SECTION 501.2.
		3.	STAIR IDENTIFICATION - 20	
		4. 5.	EXIT SIGNS - SEE SIGNAGE : FIRE RISER ROOM SIGNAG SEE SIGNAGE SCHEDULE	SCHEDULE. E - TO BE PROPERLY IDENTIFIED AS REQUIRED BY IFC 509.



G005





SIGNAGE MOUNTING LOCATIONS 1/2" = 1'-0"

14 G006





- 1. ACCESSIBLE SIGNS SHOULD IDENTIFY PERMANENT ROOMS AND SPACES, INCLUDING ROOM NUMBERS, EMERGENCY EXITS, AND TOILET FACILITIES. IF ROOM NUMBERS ARE NOT USED, SIGNS SUCH AS "CAFETERIA" MUST BE
- A. LETTERS AND NUMERALS: RAISED 1/32 IN. MINIMUM, UPPERCASE, SANS SERIF, 5/8 TO 2 IN. IN HEIGHT, AND
- C. SURFACES SHOULD HAVE A NONGLARE FINISH; LEVEL OF SHEEN MUST BE "EGGSHELL" OR LESS.

3. IDENTIFY SUCH ACCESSIBLE FEATURES AS ASSISTIVE LISTENING DEVICES, PARKING, AND TEXT TELEPHONES. WHEN NOT ALL SUCH FEATURES ARE ACCESSIBLE, IDENTIFY THE ACCESSIBLE ONES (E.G., TOILET ROOMS AND PARKING) AND



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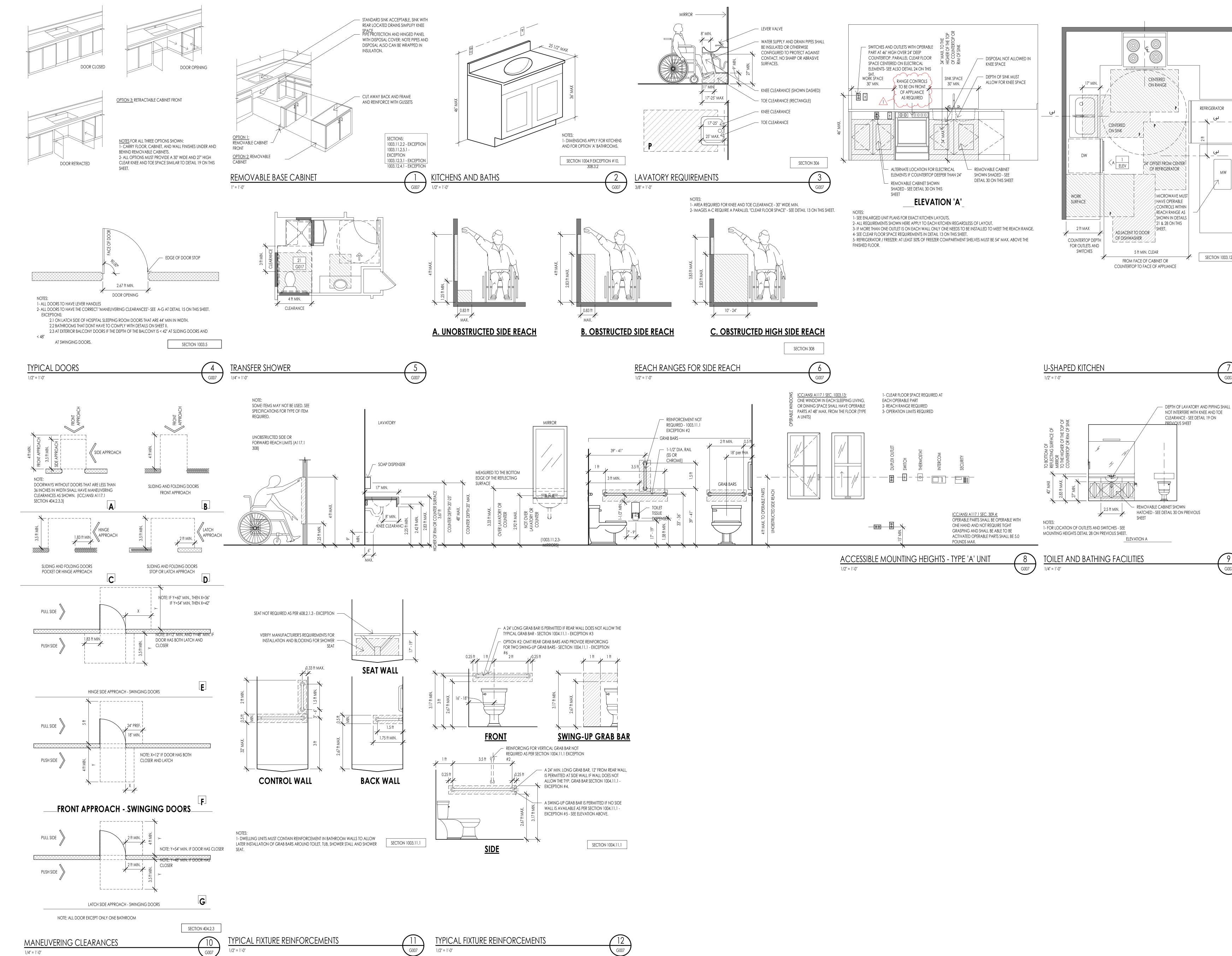
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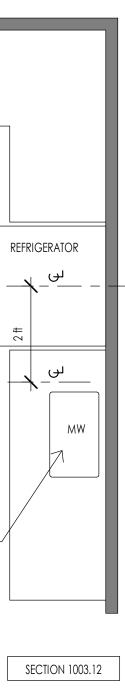




PROJE	CT NO.	20016
DATE:	20 AUG	5., 2020
REVISIONS:		









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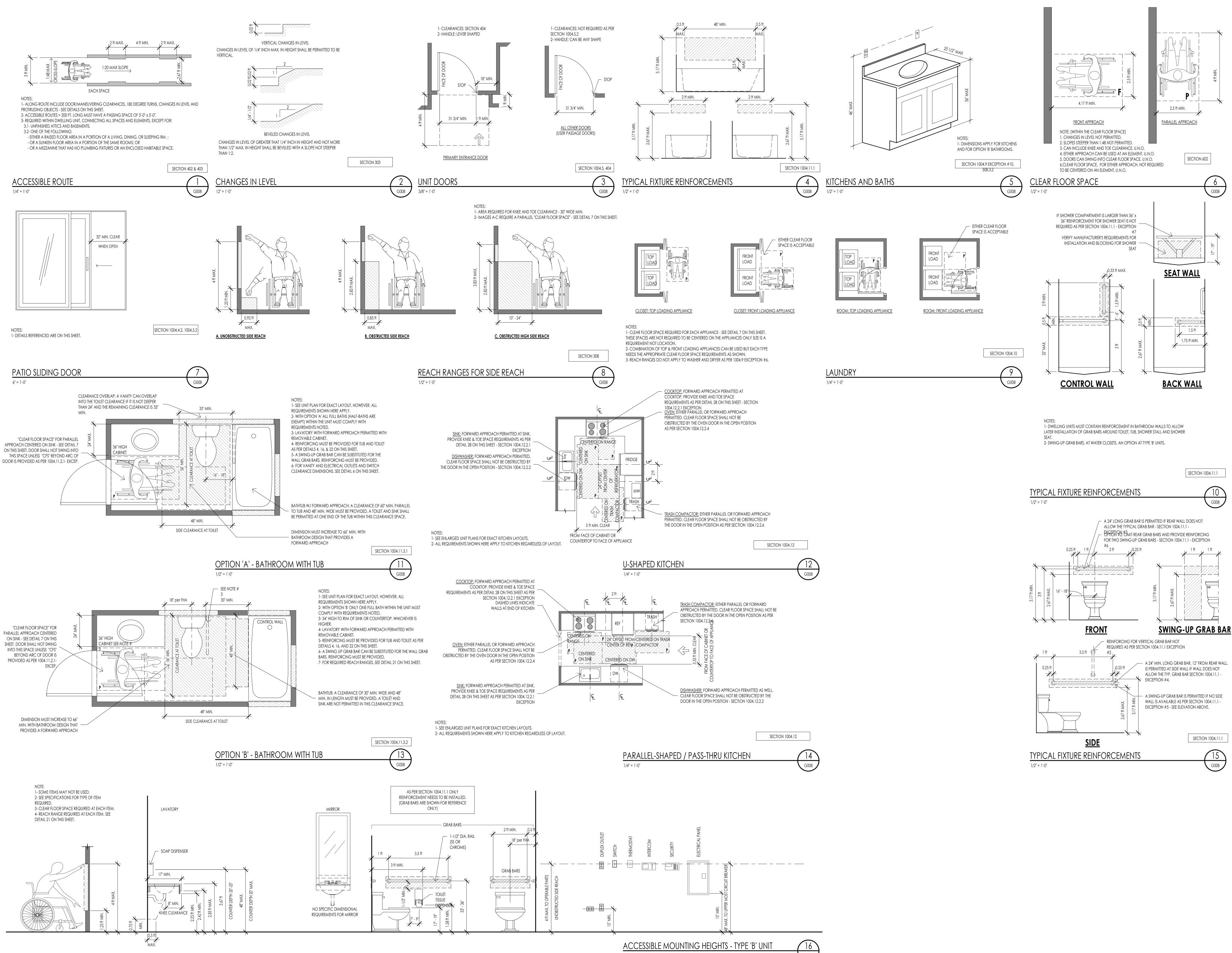
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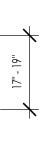


1/2" = 1'-0"











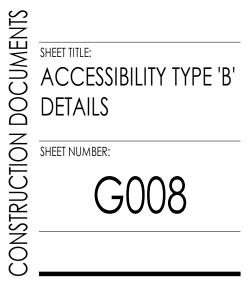
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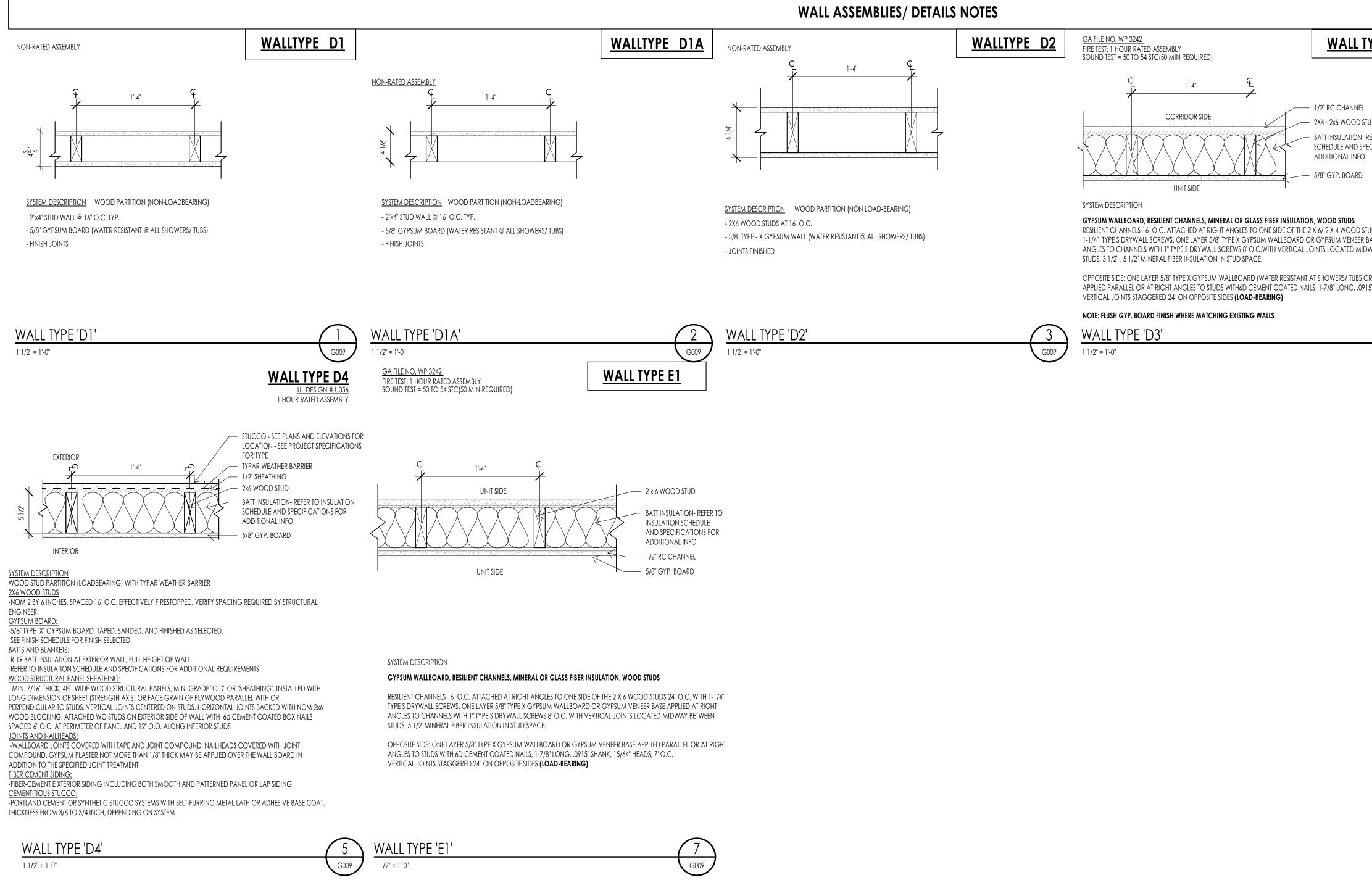
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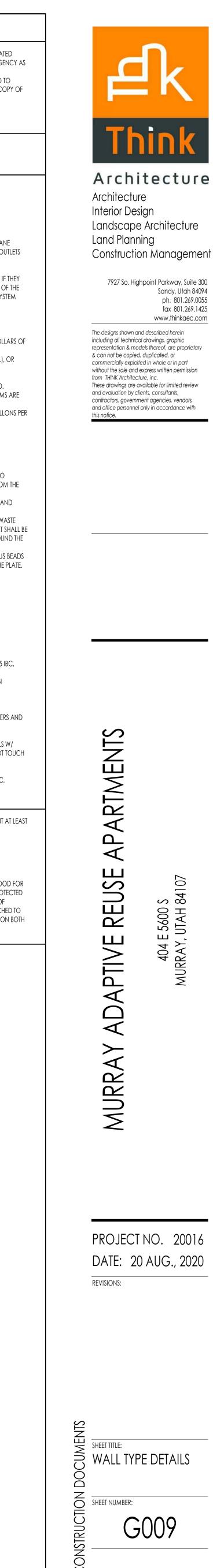


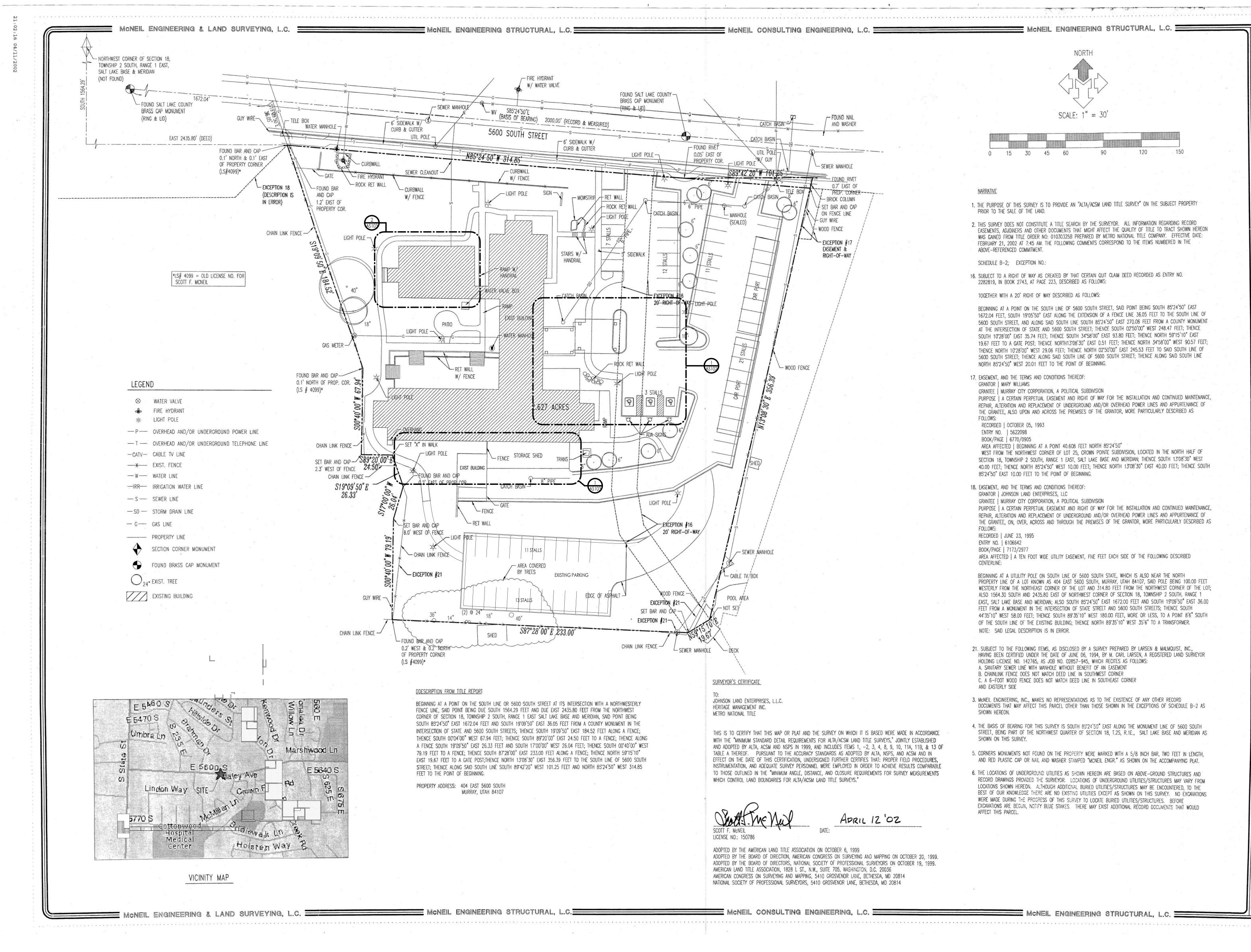
PROJECT NO. 20016 DATE: 20 AUG., 2020 **REVISIONS:**





If YE US A COUNT AND		GENERAL NOTES
SRATUSSING AND FLOOR / CELLING ASSE STATUSSING STATUSSING STATUS S	<u>YPE D3</u>	 ASSEMBLIES ARE REQUIRED TO MEE THE FULL TESTING SPECIFICATIONS AS GIVEN BY THE TESTING AGEN INDICATED BY THE TEST NUMBER PROVIDED. THE SPECIFICATIONS INCLUDE A COPY OF ALL NOTED ASSEMBLIES. THE CONTRACTOR IS REQUIRED TO INSTALL ALL PRODUCTS IN COMPLIANCE WITH THE ASSEMBLY REQUIREMENTS AND SHALL HAVE A COL
 Standard N, Handrack R, Handrak R, Handrack R, Handrack R, Handrack R, Handrack R, Handra	EFER TO INSULATION	ACOUSTIC TREATMENTS IN PARTYWALLS AND FLOOR / CEILING ASSEMBLIES
 Example and a series of the ser		WALL AREAS MUST BE KEPT FREE OF GAPS OR VOIDS IN INSULATING MATERIAL.
Some in the Park of the Control of t	ASE APPLIED AT RIGHT	SYSTEM MUST BE AIR TIGHT. PERIMETERS OF GYPSUM BOARD FACE LAYER, OUTSIDE EDGES OF ALL MEMBRANE CUTOUTS, AND ALL PENETRATIONS MUST BE FULLY CAULKED. IN ADDITION, OPENINGS FOR FIXTURES AND OUT
 4 CE L. ALL-POINDOD WARE HER UID IS SOLID YOU THE RELIGNATION TO COMPARE THE RELIGNATION T		GYPSUM BOARD WALL SYSTEMS MUST BE CONSTRUCTE IN ACCORDANCE WITH THE ORIGINAL SOUND TEST IF ARE TO COMPLY WITH SOUND TRANSMISSION REQUIREMENTS. ANY DEVIATION FROM THE REQUIREMENTS OF TEST REPORT, INCLUDING THE ADDITON OF ADDITIONAL COMPONENTS, MAY RESULT IN UNACCEPTABLE SYST
	5" SHANK, 15/64" HEADS, 7' O.C.	ARE TO COMPETY WITH SOUND TRANSMISSION REQUERDARIS, ANY DEVIATION FROM THE REQUERDARYS OF PERFORMANCE SUPPLY LINES ALL HOT AND COLD WATER PRESIMIST EXOLATED FROM THE BUILDING FRAME BY LAFTHICK COLL FELL CAPPEL OR EQUIVALIENTS OF MATERIAL, PLASTIC BOLATOR ARE NOT PERMITED THE CAVITY AROND THE PIPES MALL BE FLIED WITH OPEN-HACCO TRENCASS OR MINERAL WOOLL, IS STRAYED WITH ADDESIVE CELUSUODE PRODUCT ING, CELLAR, THERMACON, ETC.). WATER VESCOTT SHALL NOT EXCEED REPORTING OF WITHING WATER VESCOTT SHALL NOT EXCEED FROM THE BUILDING FRAME BY LAFTHICK COLL HOWNER THE COME ALL DOWN IS THET SCHOOD WITH IG ACCOPTED IF NO SIGNLE FAULCE SYSTEMS ARE USED. HOWNERE THE CODE ALL/ONE STRETTS COND WITH IG ACCOPTED IF NO SIGNLE FAULCES SYSTEMS USED. SHOWER HEAD WATER FLOW RESTRICTIONS MUST BE USED TO LIMIT THE FLOW FOR LESS THAN 3 GALC MINUTE. WASTE LINES WASTE LINES SHALL NOT RIGIDLY CONNECT TO ANY PART OF THE WOOD STRUCTURE. OPENINGS IN THE CYPSIUM WALL BOARD AROUND A RETURE FIED LINE SHALL BE CUT OVERSITED TO ACCOMMODATE & BEAD OF CAULKING AROUND THE FRED LINE THALL BE CUT OVERSITED TO ACCOMMODATE A BEAD OF CAULKING AROUND THE FRED LINE THALL BE CUT OVERSITED TO ACCOMMODATE A BEAD OF CAULKING AROUND THE FRED LINE THALL BE CUT OVERSITED TO ACCOMMODATE A BEAD OF CAULKING AROUND THE FRED LINE THALL BE CUT OVERSITED TO ACCOMMODATE A BEAD OF CAULKING AROUND THE FRED LINE. THEREY IS DUALING THE PIPE FROM WALL, CAULKING WILL BE THE RATED. PROK THE CAUSTING THE RUSS. FOR THE LOOR CELLING AND SHOWES WITH FIBERCIASO OR SPRAYED-ON MATERIAL AN BLOCK THE BOATS. FOR THE ADDITION TO RESULT AND THE RELOW BELOW THE STOLE WASTE OLING THE RUSS. FOR THE ROOM SHOWED SHITHER PRODUMES ON THE STOLE WASTE OLING WASTE. THE ROOM SHOWED SHITHER PRODUMES AND THE RELOW BELOW THE STOLE ON ANTERIAL AN BLOCKING WILL BE THE ATTEMIC CONCELS LINE INFORMATION. THREE (3) CONTINUOUS) OF SHALL AND BELOW SHITHE RECOMES ON A RETURE AROUND THE RECO





NOTE: EXISTING SITE TO REMAIN THE SAME EXCEPT FOR AREAS TO BE ADJUSTED AS DETAILED ON SHEET AS103. UPDATES AND REPAIRS TO BE MADE TO EXISTING SITE FEATURES TO MEET CODE REQUIREMENTS.

	MCNEIL ENGINEERING STRUCTURAL, L.C.	
	SCALE: 1" = 30'	いいぼ
5 * * * * * 6 *	0 15 30 45 60 90 120 150	RIN VIN ING SERVIC
		EEE VE SURVEYIN 84047 171 171 171
	NARRATIVE 1. THE PURPOSE OF THIS SURVEY IS TO PROVIDE AN "ALTA/ACSM LAND TITLE SURVEY" ON THE SUBJECT PROPERTY	LAND S01) 255-80
	 PRIOR TO THE SALE OF THE LAND. 2. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING RECORD EASEMENTS, ADJOINERS AND OTHER DOCUMENTS THAT MIGHT AFFECT THE QUALITY OF TITLE TO TRACT SHOWN HEREON WAS GAINED FROM TITLE ORDER NO: 01030325B PREPARED BY METRO NATIONAL TITLE COMPANY. EFFECTIVE DATE: FEBRUARY 21, 2002 AT 7:45 AM. THE FOLLOWING COMMENTS CORRESPOND TO THE ITEMS NUMBERED IN THE ABOVE-REFERENCED COMMITMENT. 	ENGINEERING & UTH 900 EAST MIDVA
30 1	SCHEDULE B-2; EXCEPTION NO .: 16. SUBJECT TO A RIGHT OF WAY AS CREATED BY THAT CERTAIN QUIT CLAIM DEED RECORDED AS ENTRY NO.	EEL I LAN AL CIVIL EN 6895 SOU TEL. (8
	2282819, IN BOOK 2743, AT PAGE 223, DESCRIBED AS FOLLOWS: TOGETHER WITH A 20' RIGHT OF WAY DESCRIBED AS FOLLOWS:	
	BEGINNING AT A POINT ON THE SOUTH LINE OF 5600 SOUTH STREET, SAID POINT BEING SOUTH 85'24'50" EAST 1672.04 FEET, SOUTH 19'05'50" EAST ALONG THE EXTENSION OF A FENCE LINE 36.05 FEET TO THE SOUTH LINE OF 5600 SOUTH STREET, AND ALONG SAID SOUTH LINE SOUTH 85'24'50" EAST 270.06 FEET FROM A COUNTY MONUMENT AT THE INTERSECTION OF STATE AND 5600 SOUTH STREET; THENCE SOUTH 02'50'00" WEST 248.47 FEET; THENCE SOUTH 10'28'00" EAST 35.74 FEET; THENCE SOUTH 34'58'00" EAST 93.80 FEET; THENCE NORTH 59'15'10" EAST 19.67 FEET TO A GATE POST; THENCE NORTH13'08'30" EAST 0.51 FEET; THENCE NORTH 34'58'00" WEST 90.57 FEET; THENCE NORTH 10'28'00" WEST 29.06 FEET; THENCE NORTH 02'50'00" EAST 245.53 FEET TO SAID SOUTH LINE OF 5600 SOUTH STREET; THENCE ALONG SAID SOUTH LINE OF 5600 SOUTH STREET; THENCE ALONG SAID SOUTH LINE OF 5600 SOUTH STREET; THENCE ALONG SAID SOUTH LINE NORTH 85'24'50" WEST 20.01 FEET TO THE POINT OF BEGINNING.	MCNE PROFESSIONAL PROFESSIONAL
	17. EASEMENT, AND THE TERMS AND CONDITIONS THEREOF: GRANTOR MARY WILLIAMS GRANTEE MURRAY CITY CORPORATION, A POLITICAL SUBDIVISION PURPOSE A CERTAIN PERPETUAL EASEMENT AND RIGHT OF WAY FOR THE INSTALLATION AND CONTINUED MAINTENANCE, REPAIR, ALTERATION AND REPLACEMENT OF UNDERGROUND AND/OR OVERHEAD POWER LINES AND APPURTENANCE OF THE GRANTEE, ALSO UPON AND ACROSS THE PREMISES OF THE GRANTOR, MORE PARTICULARLY DESCRIBED AS FOLLOWS: RECORDED OCTOBER 05, 1993	SCOTT F. MGNEIL STATE OF UTAT
	ENTRY NO. 5622098 BOOK/PAGE 6770/0905 AREA AFFECTED BEGINNING AT A POINT 40.608 FEET NORTH 85'24'50" WEST FROM THE NORTHWEST CORNER OF LOT 25, CROWN POINTE SUBDIVISION, LOCATED IN THE NORTH HALF OF SECTION 18, TOWNSHIP 2 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 13'08'30" WEST 40.00 FEET; THENCE NORTH 85'24'50" WEST 10.00 FEET; THENCE NORTH 13'08'30" EAST 40.00 FEET; THENCE SOUTH 85'24'50" EAST 10.00 FEET TO THE POINT OF BEGINNING.	SLB&M
	18. EASEMENT, AND THE TERMS AND CONDITIONS THEREOF: GRANTOR JOHNSON LAND ENTERPRISES, LLC GRANTEE MURRAY CITY CORPORATION, A POLITICAL SUBDIVISION PURPOSE A CERTAIN PERPETUAL EASEMENT AND RIGHT OF WAY FOR THE INSTALLATION AND CONTINUED MAINTENANCE, REPAIR, ALTERATION AND REPLACEMENT OF UNDERGROUND AND/OR OVERHEAD POWER LINES AND APPURTENANCE OF THE GRANTEE, ON, OVER, ACROSS AND THROUGH THE PREMISES OF THE GRANTOR, MORE PARTICULARLY DESCRIBED AS FOLLOWS: RECORDED JUNE 23, 1995 ENTRY NO. 6106642 BOOK/PAGE 7173/2977 AREA AFFECTED A TEN FOOT WIDE UTILITY EASEMENT, FIVE FEET EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:	I LAND L.L.C. 5600 SOUTH SALT LAKE COUNTY SALT LAKE COUNTY SALT LAKE COUNTY SALT LAKE COUNTY
2 2 8 2 2 2 2 2 3	BEGINNING AT A UTLILITY POLE ON SOUTH LINE OF 5600 SOUTH STATE, WHICH IS ALSO NEAR THE NORTH PROPERTY LINE OF A LOT KNOWN AS 404 EAST 5600 SOUTH, MURRAY, UTAH 84107, SAID POLE BEING 100.00 FEET WESTERLY FROM THE NORTHEAST CORNER OF THE LOT AND 314.80 FEET FROM THE NORTHWEST CORNER OF THE LOT; ALSO 1564.30 SOUTH AND 2435.80 EAST OF NORTHWEST CORNER OF SECTION 18, TOWNSHIP 2 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; ALSO SOUTH 85'24'50" EAST 1672.00 FEET AND SOUTH 19'09'50" EAST 36.00 FEET FROM A MONUMENT IN THE INTERSECTION OF STATE STREET AND 5600 SOUTH STREETS; THENCE SOUTH 44'35'10" WEST 58.00 FEET; THENCE SOUTH 89'35'10" WEST 180.00 FEET, MORE OR LESS, TO A POINT 8'6" SOUTH OF THE SOUTH LINE OF THE EXISTING BUILDING; THENCE NORTH 89'35'10" WEST 35'6" TO A TRANSFORMER. NOTE: SAID LEGAL DESCRIPTION IS IN ERROR.	JOHNSON 400 EAST (MURRAY, UTAH S MURRAY, UTAH S
	21. SUBJECT TO THE FOLLOWING ITEMS, AS DISCLOSED BY A SURVEY PREPARED BY LARSEN & MALMQUIST, INC., HAVING BEEN CERTIFIED UNDER THE DATE OF JUNE 06, 1994, BY M. CARL LARSEN, A REGISTERED LAND SURVEYOR HOLDING LICENSE NO. 142765, AS JOB NO. 02857-945, WHICH RECITES AS FOLLOWS: A. SANITARY SEWER LINE WITH MANHOLE WITHOUT BENEFIT OF AN EASEMENT B. CHAINLINK FENCE DOES NOT MATCH DEED LINE IN SOUTHWEST CORNER C. A 6-FOOT WOOD FENCE DOES NOT MATCH DEED LINE IN SOUTHEAST CORNER AND EASTERLY SIDE	
	3. MCNEIL ENGINEERING, INC., MAKES NO REPRESENTATIONS AS TO THE EXISTENCE OF ANY OTHER RECORD DOCUMENTS THAT MAY AFFECT THIS PARCEL OTHER THAN THOSE SHOWN IN THE EXCEPTIONS OF SCHEDULE B-2 AS SHOWN HEREON.	REVISIONS REV. DATE DESCRIPTION
MADE IN ACCORDANCE JOINTLY ESTABLISHED	4. THE BASIS OF BEARING FOR THIS SURVEY IS SOUTH 85'24'50" EAST ALONG THE MONUMENT LINE OF 5600 SOUTH STREET, BEING PART OF THE NORTHWEST QUARTER OF SECTION 18, T.2S, R.1E., SALT LAKE BASE AND MERIDIAN AS SHOWN ON THIS SURVEY.	
10, 11A, 11B, & 13 OF AND ACSM AND IN IR FIELD PROCEDURES,	5. CORNERS MONUMENTS NOT FOUND ON THE PROPERTY WERE MARKED WITH A 5/8 INCH BAR, TWO FEET IN LENGTH, AND RED PLASTIC CAP OR NAIL AND WASHER STAMPED "MCNEIL ENGR." AS SHOWN ON THE ACCOMPANYING PLAT.	
VE RESULTS COMPARABLE SURVEY MEASUREMENTS	6. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ALTHOUGH ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED, TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THIS SURVEY. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE EXCAVATIONS ARE BEGUN, NOTIFY BLUE STAKES. THERE MAY EXIST ADDITIONAL RECORD DOCUMENTS THAT WOULD	PROJECT NO: 220122 CAD DWG. FILE: 220122 DRAWN BY: JTD SURVEYED BY: DD
2	AFFECT THIS PARCEL.	CHECKED BY: SFM DATE: 4/12/05
		SHEET TITLE: ALTA/ACSM
ON OCTOBER 20, 1999. N OCTOBER 19, 1999. 20814 0814		LAND TITLE SURVEY C-1
	McNEIL ENGINEERING STRUCTURAL, L.C.	SHEET: 1 OF 1

1" = 30'-0"



Architecture Interior Design Landscape Architecture Land Planning Construction Managemen

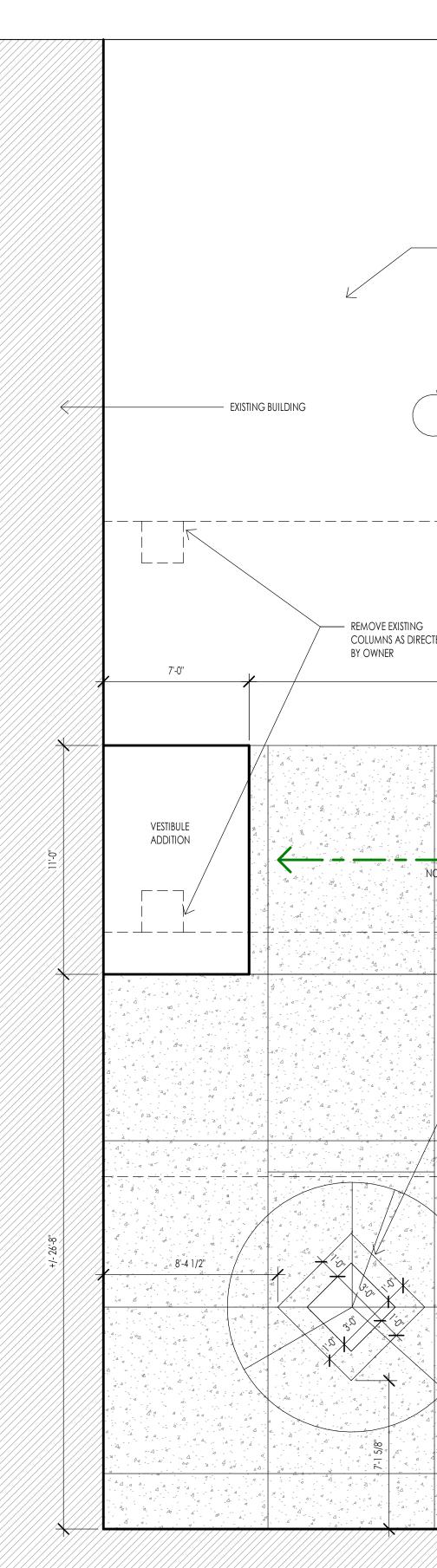
> 7927 So. Highpoint Parkway, Suite 300 Sandy, Utah 84094 ph. 801.269.0055 fax 801.269.1425

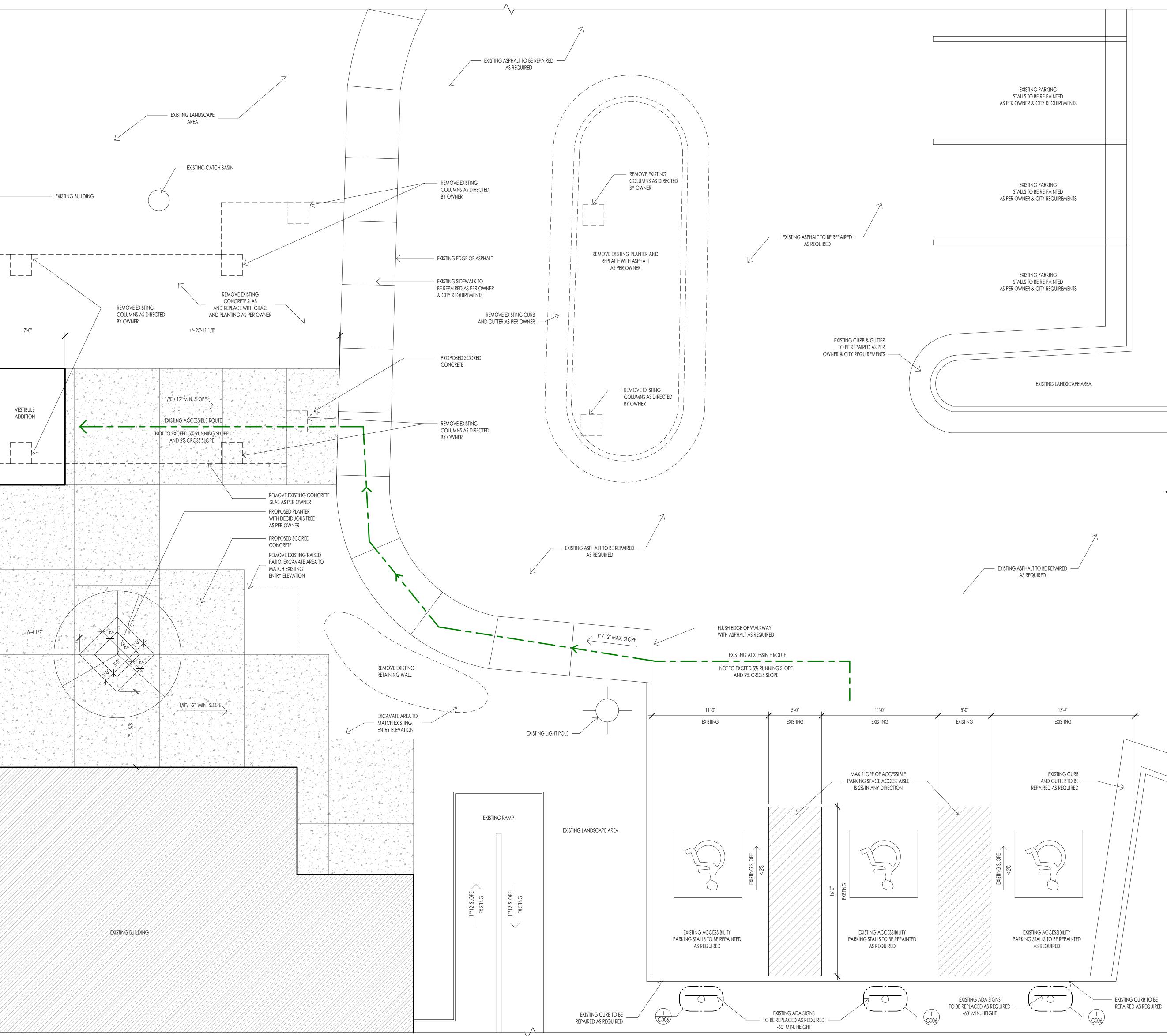
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ENLARGED - FRONT ENTRY SITE PLAN

1/4" = 1'-0"



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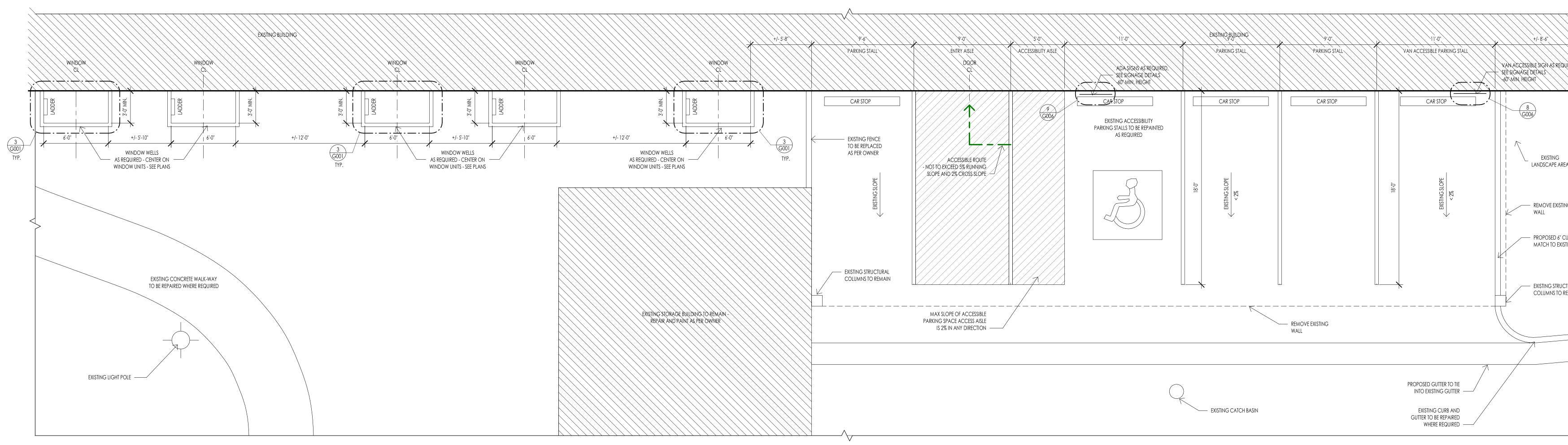
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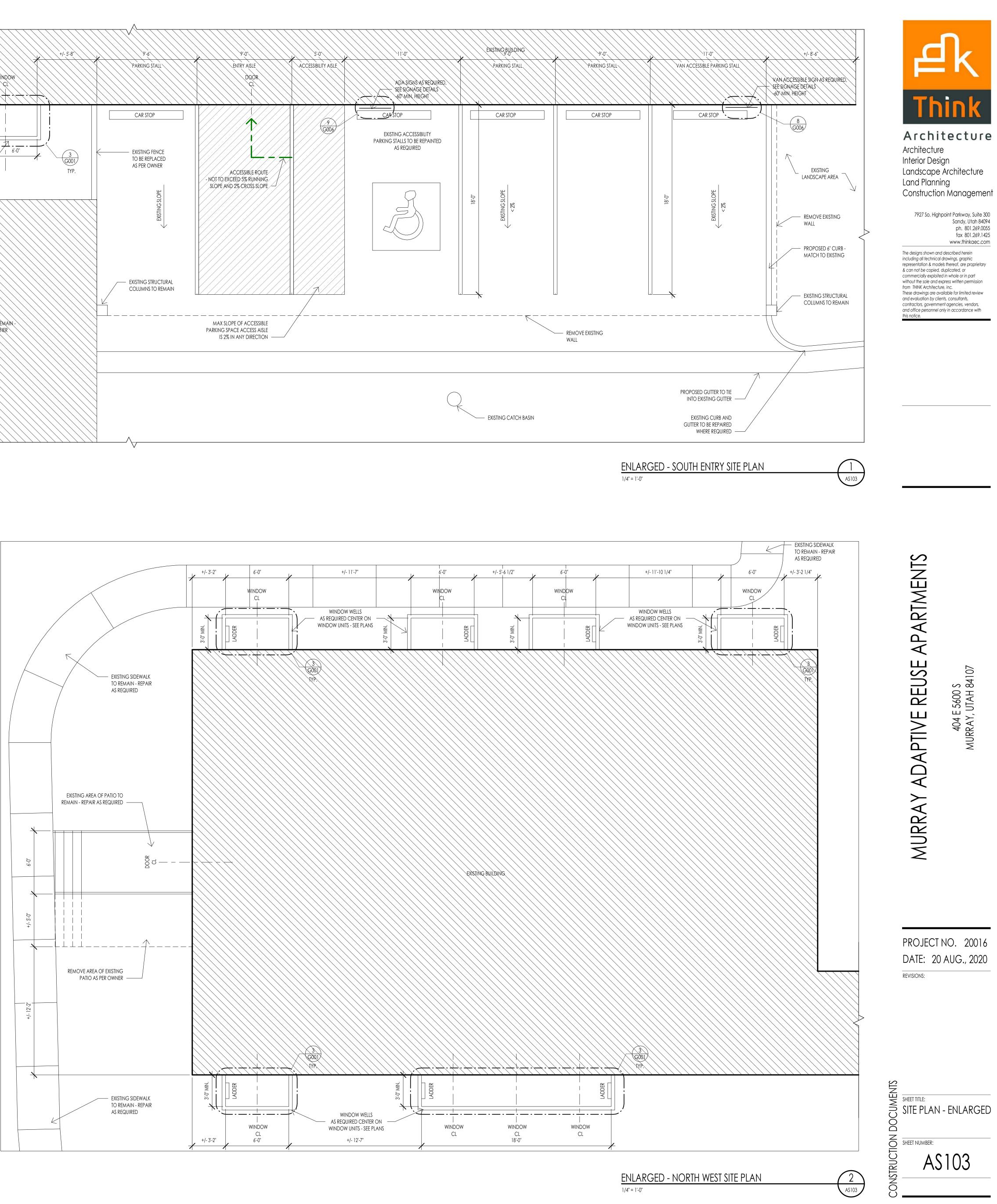


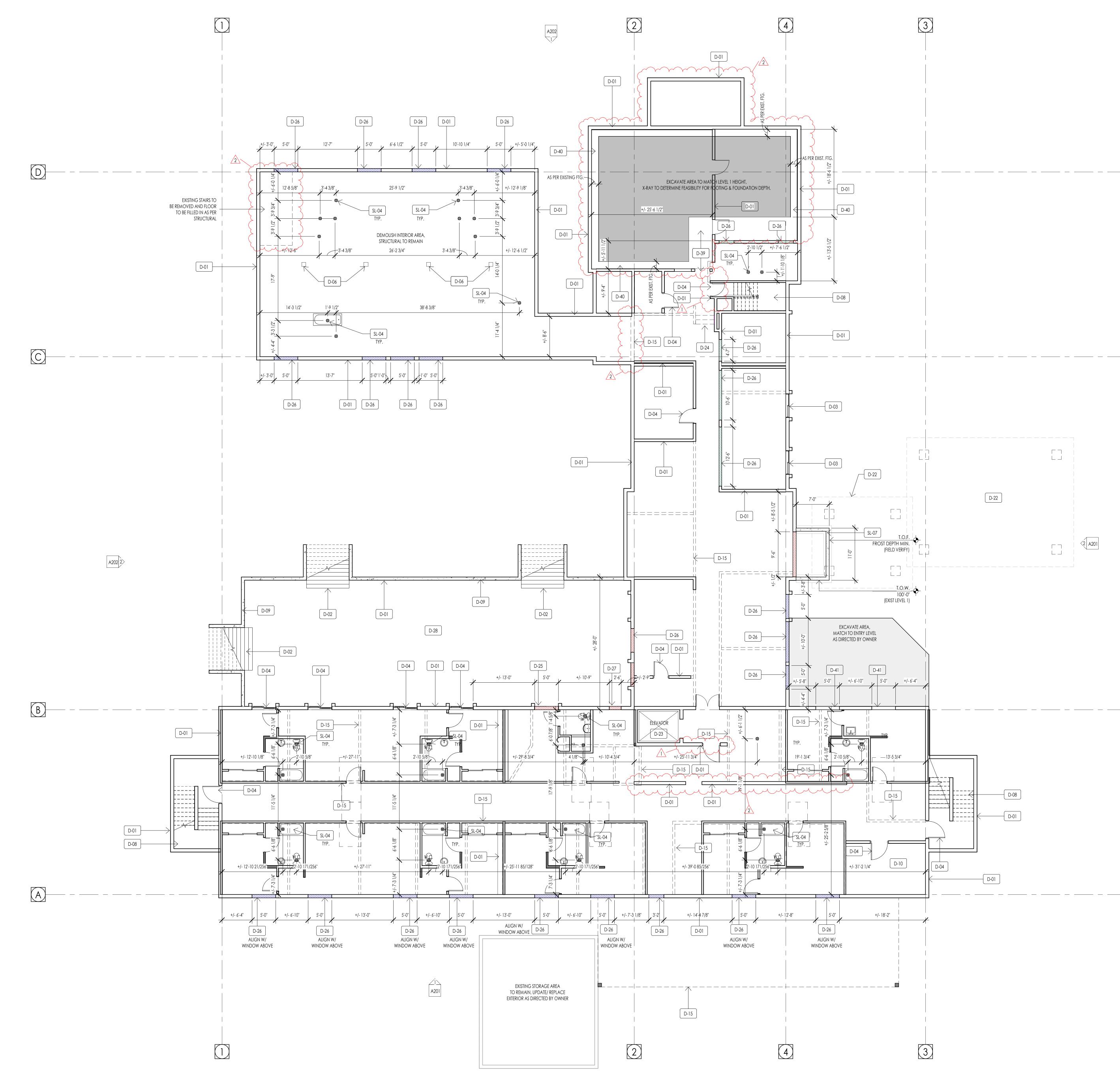
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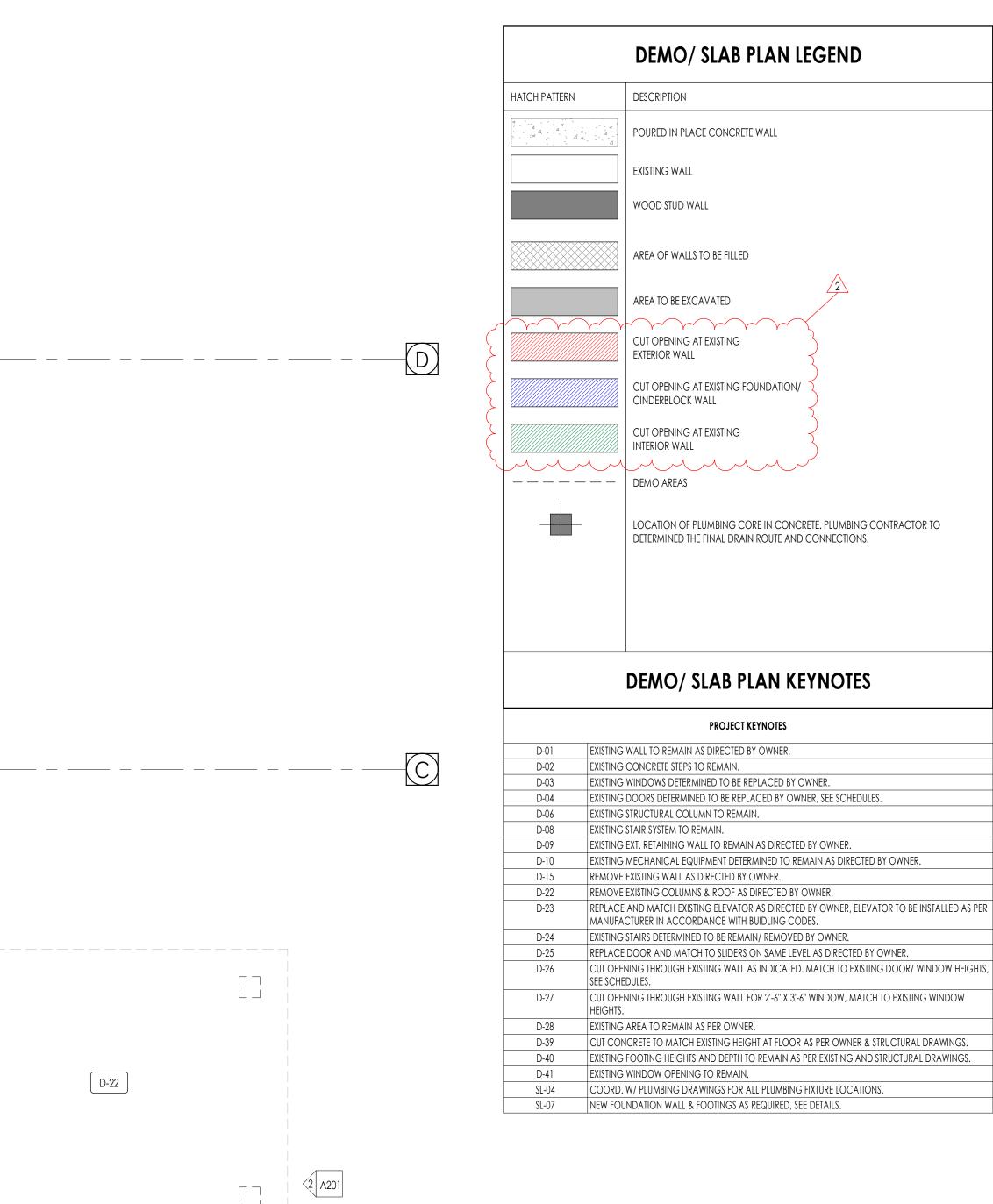
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PRC	DJECT NO. 20016
DA	TE: 20 AUG., 2020
REVISIO	DNS:
1	06-22-2020 City Review Revisions
2	06-29-2020 Plan Revisions





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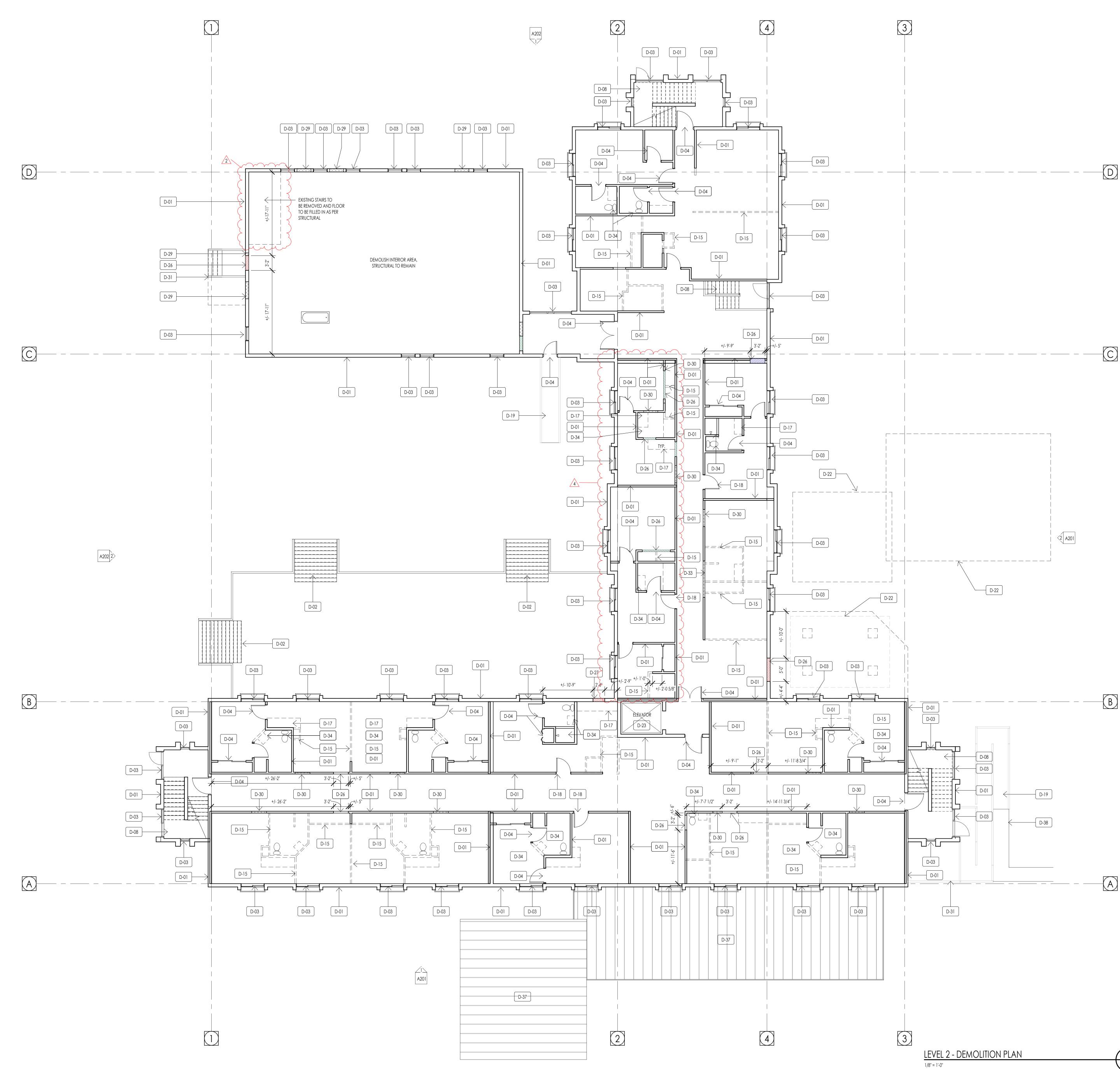


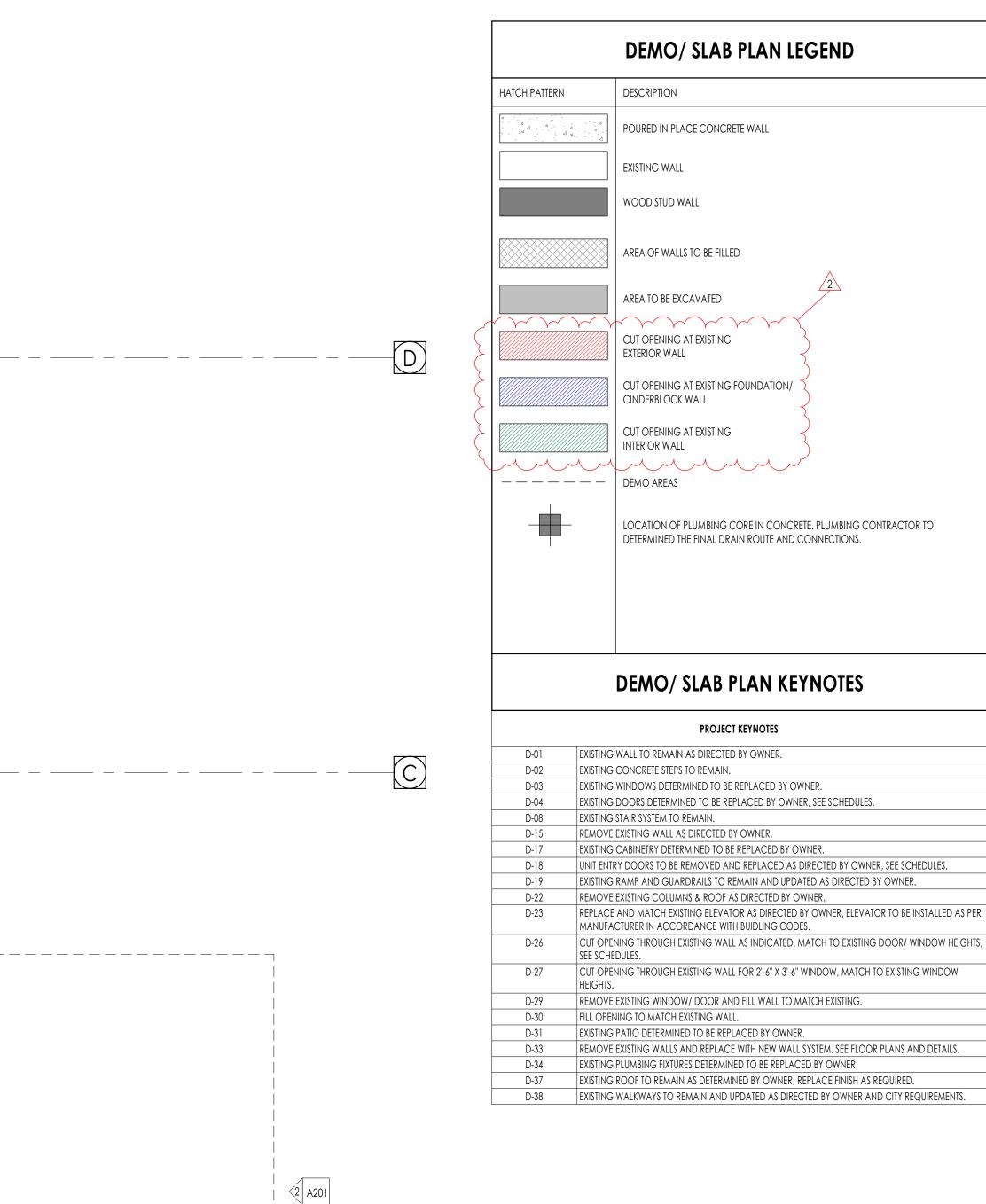
Architecture

Landscape Architecture

Architecture

Interior Design





-B

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A102



DA	TE:	20 AUC	G., 2020
REVISI	ONS:		
2	06	-29-2020	Plan Revisions
4	08-	-20-2020	Plan Revisions

PROJE	CT NO.	20016
DATE:	20 AUG	G., 2020
REVISIONS:		



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Architecture

Landscape Architecture

Construction Management

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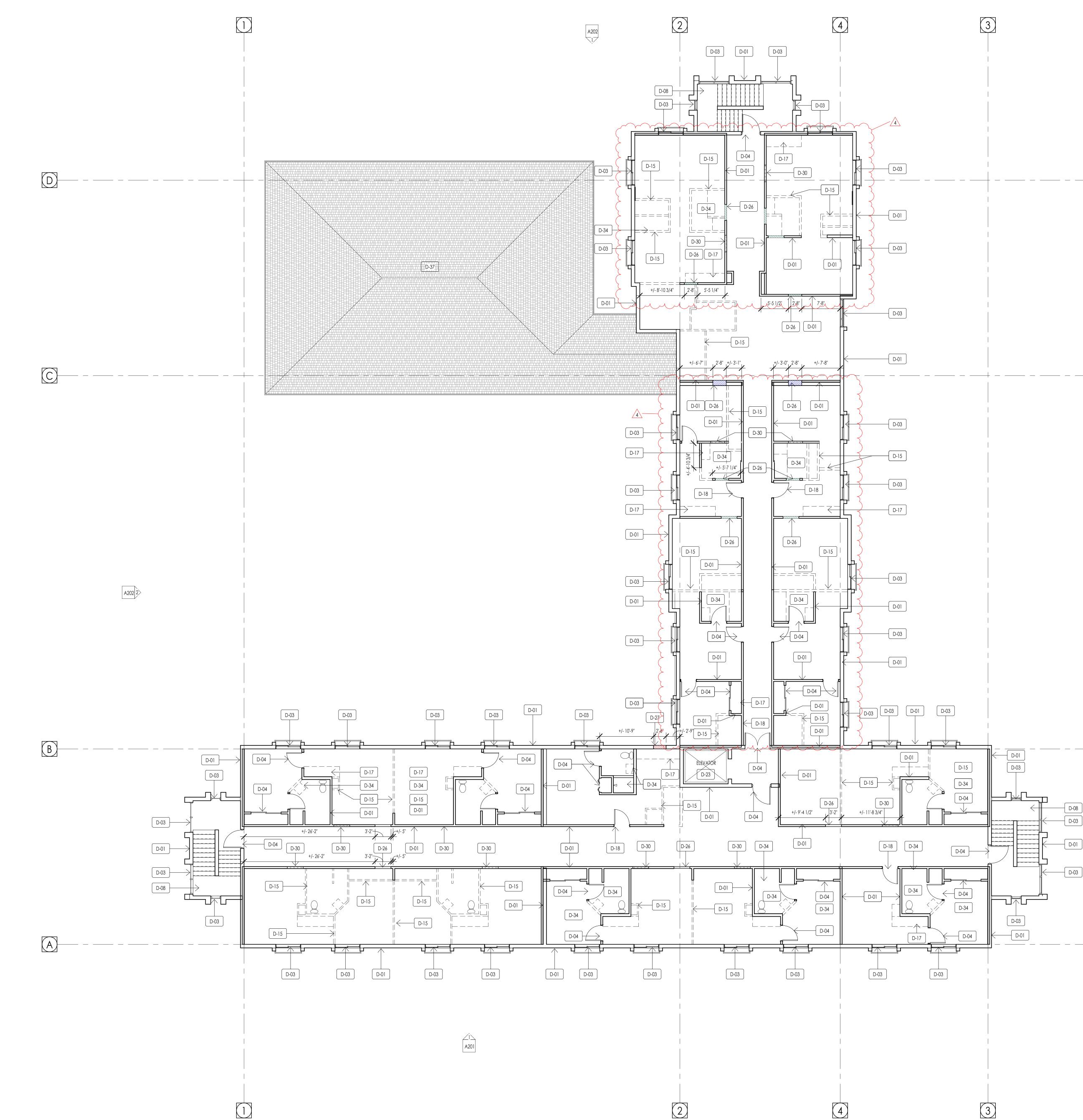
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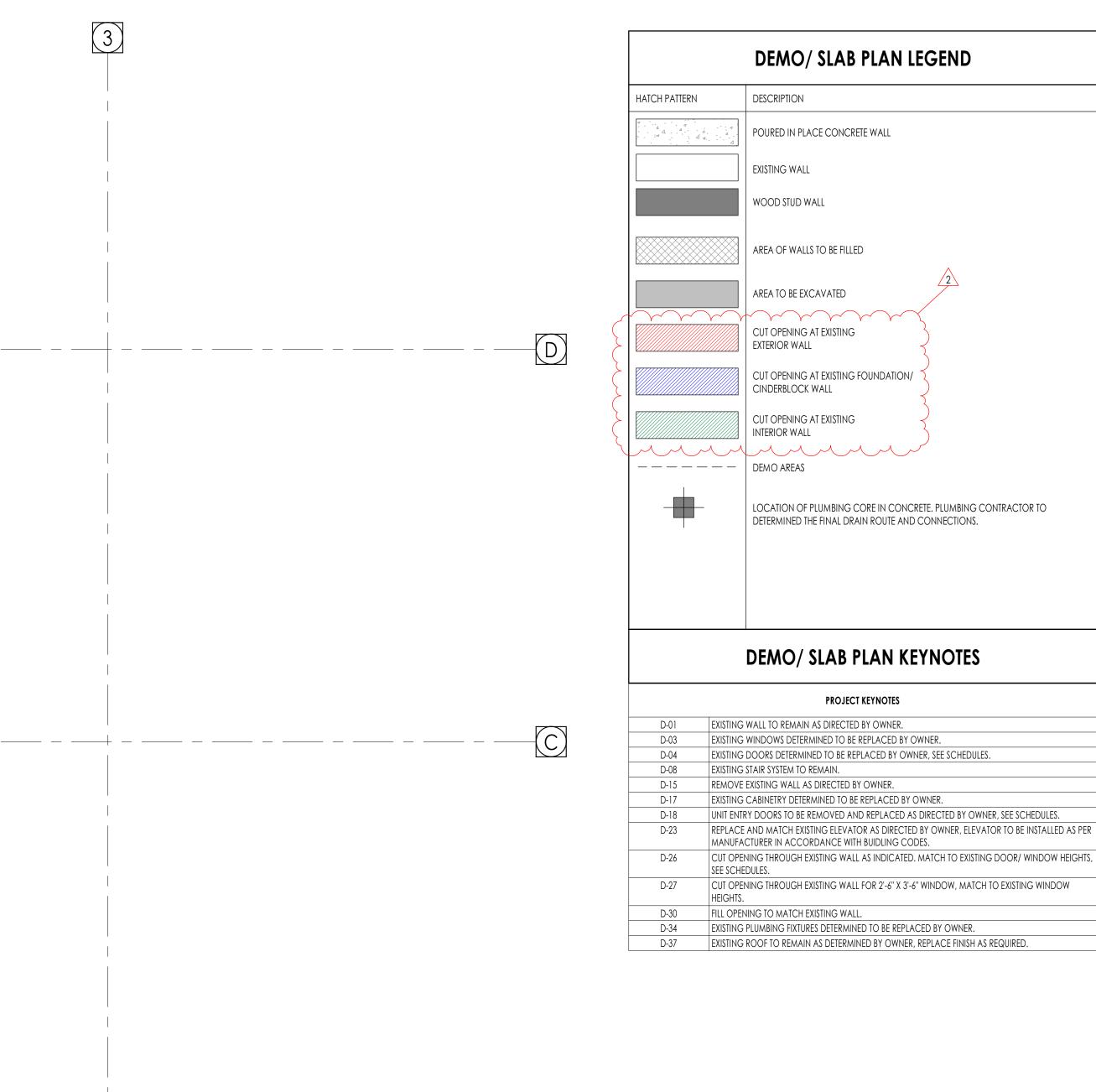
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Architecture

Interior Design

Land Planning









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DA	TE:	20 AU(G., 2020
REVISIO	ONS:		
4	08	-20-2020	Plan Revisions

PROJE	CT NO.	20016
DATE:	20 AUG	5., 2020





404 E 5600 S URRAY, UTAH 8410

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Architecture Interior Design Landscape Architecture Land Planning Construction Management

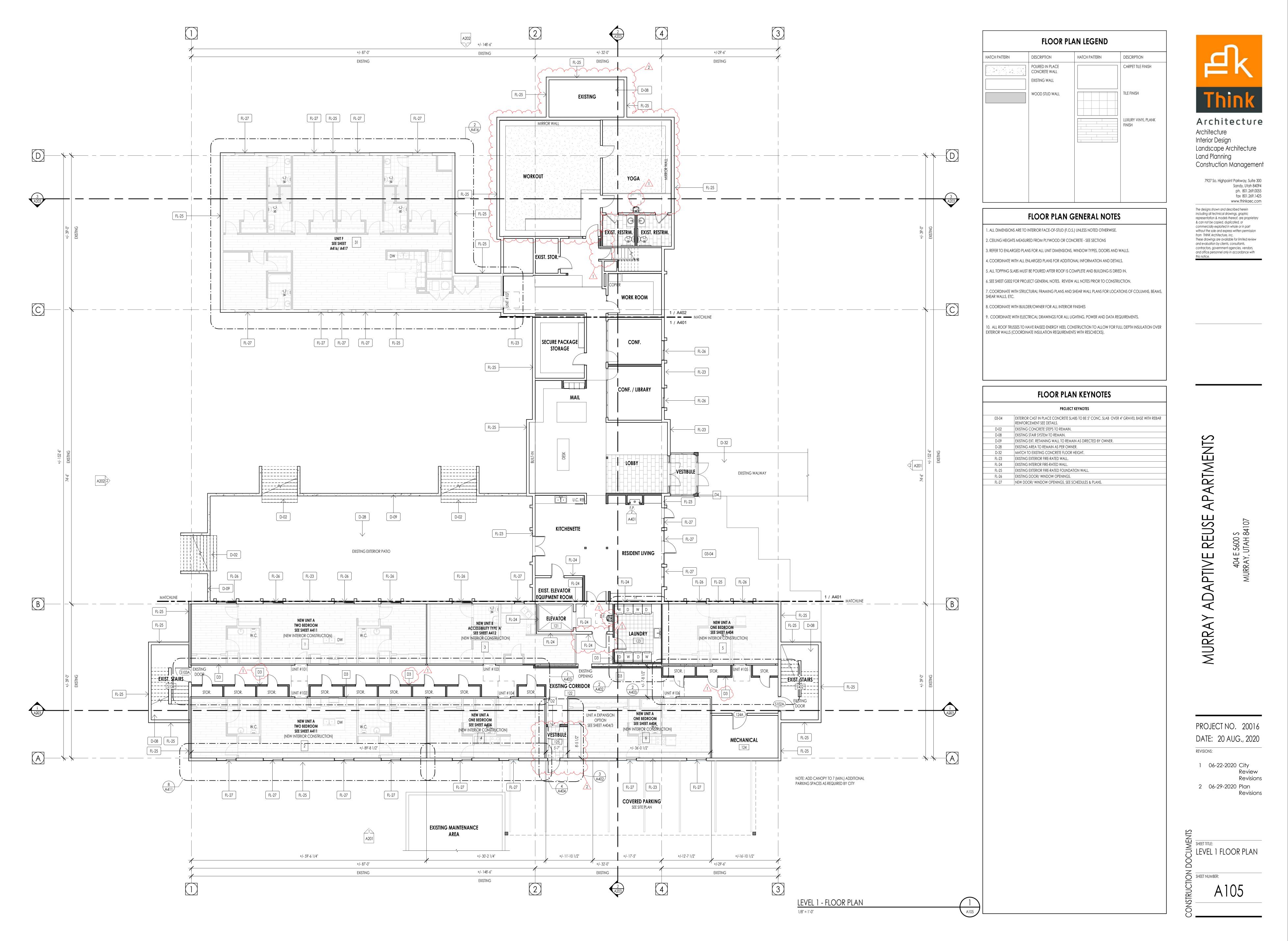
7927 So. Highpoint Parkway, Suite 300 Sandy, Utah 84094 ph. 801.269.0055 fax 801.269.1425 www.thinkaec.com The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, inc.

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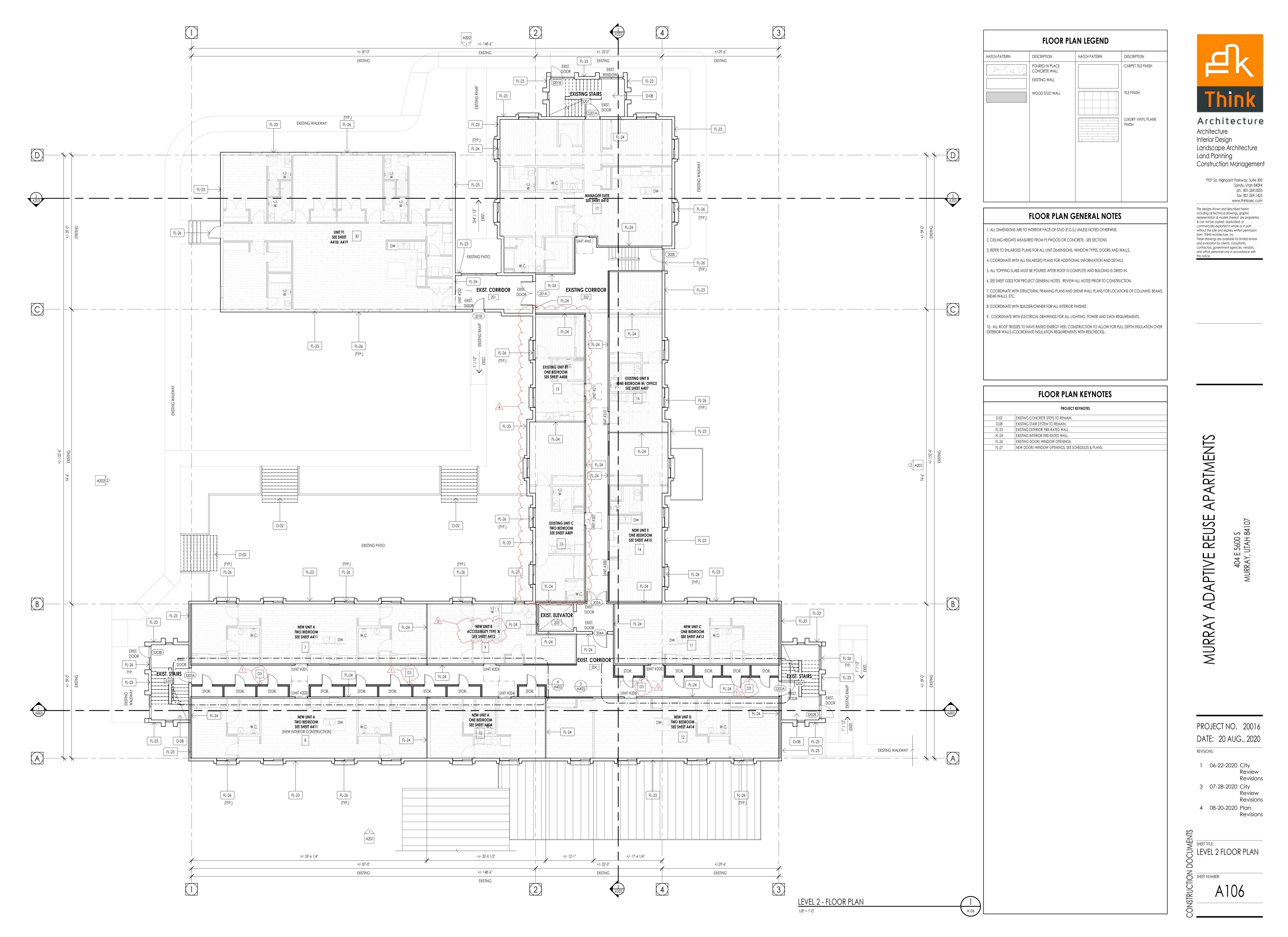
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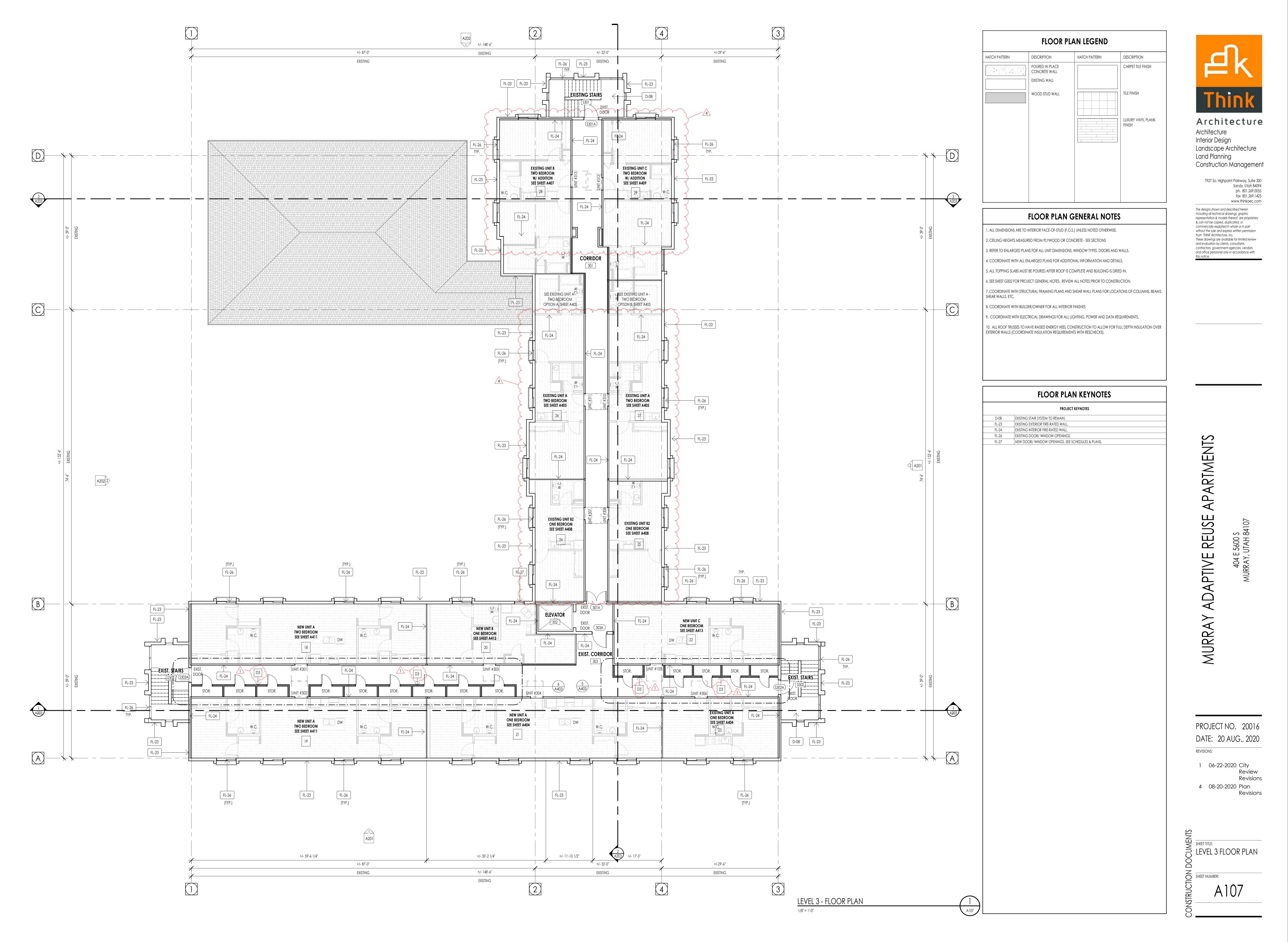
this notice.

Architecture

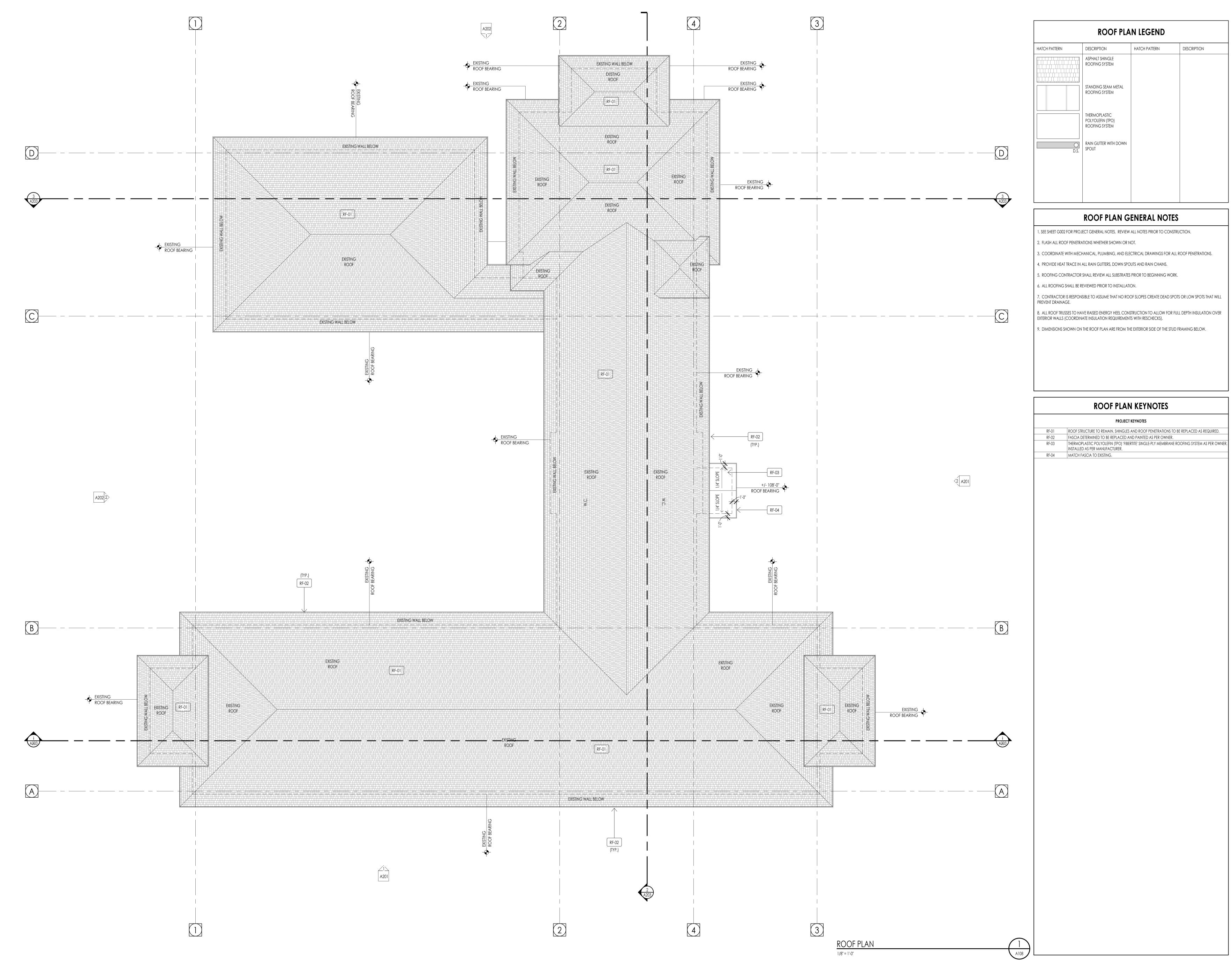


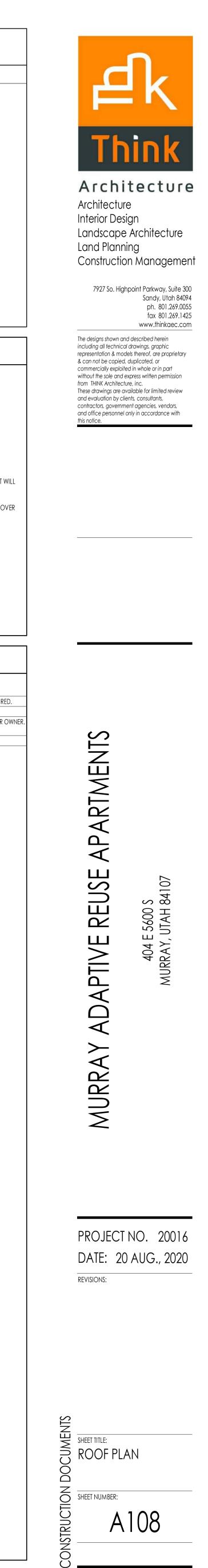
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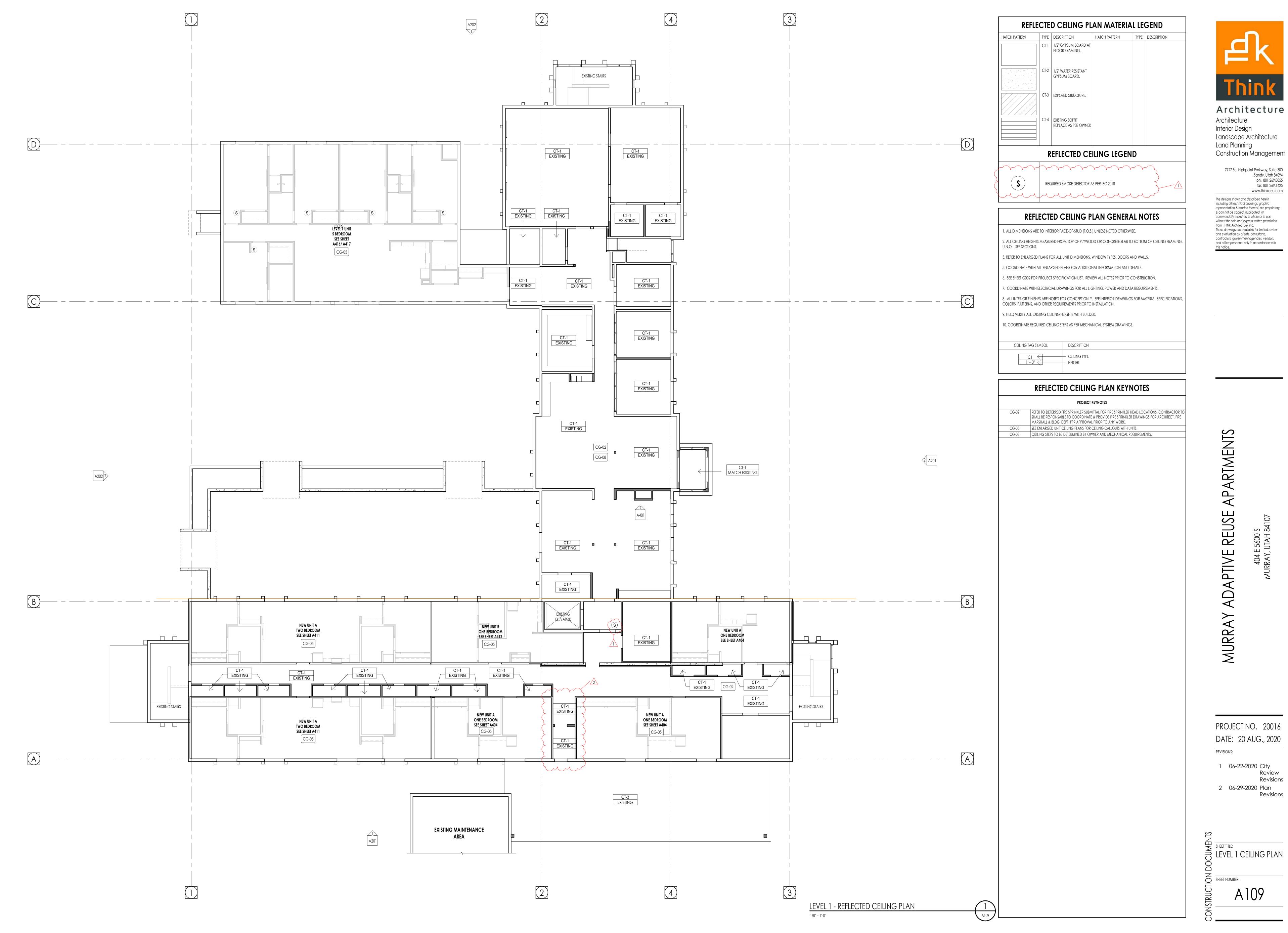


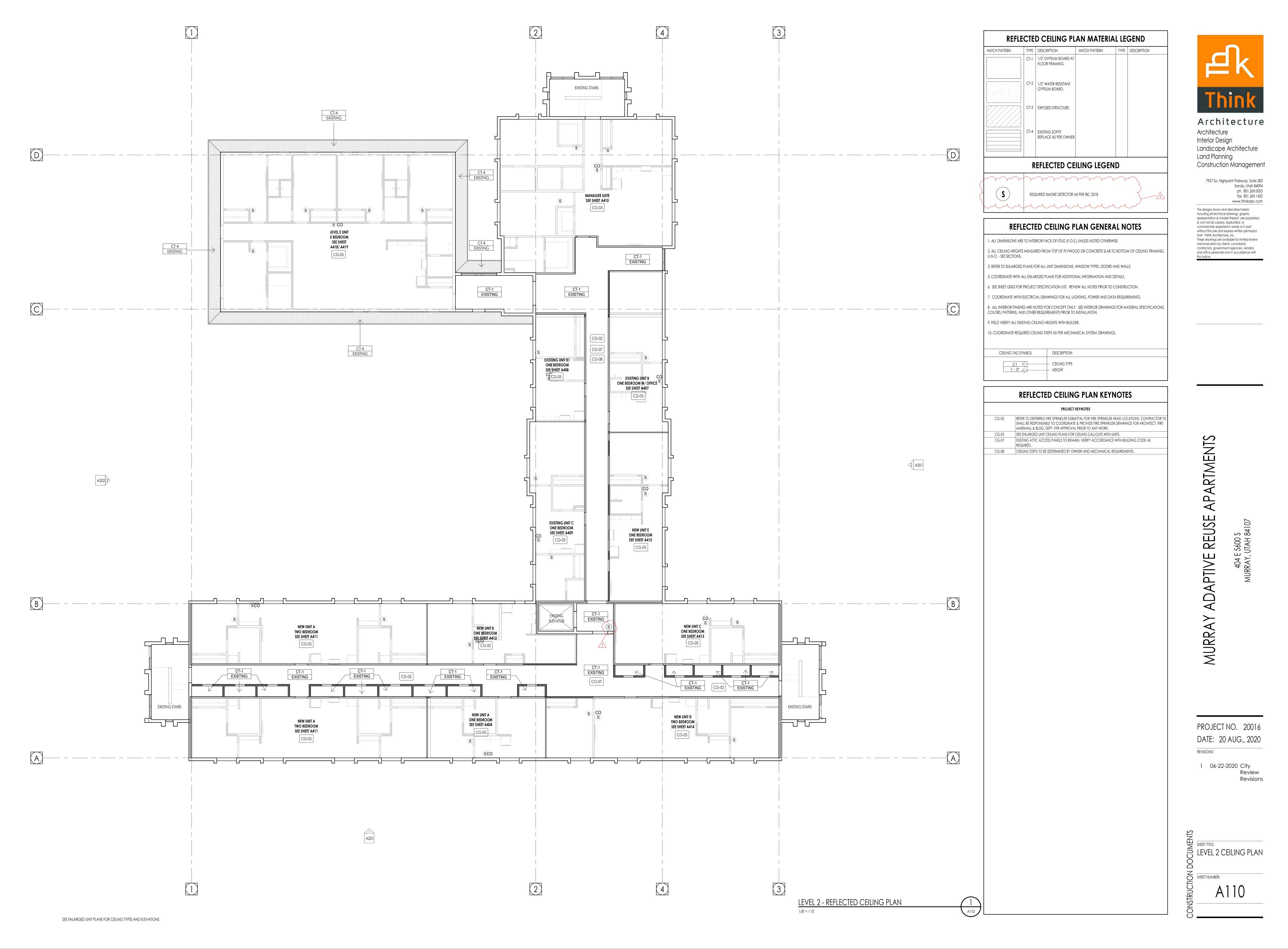


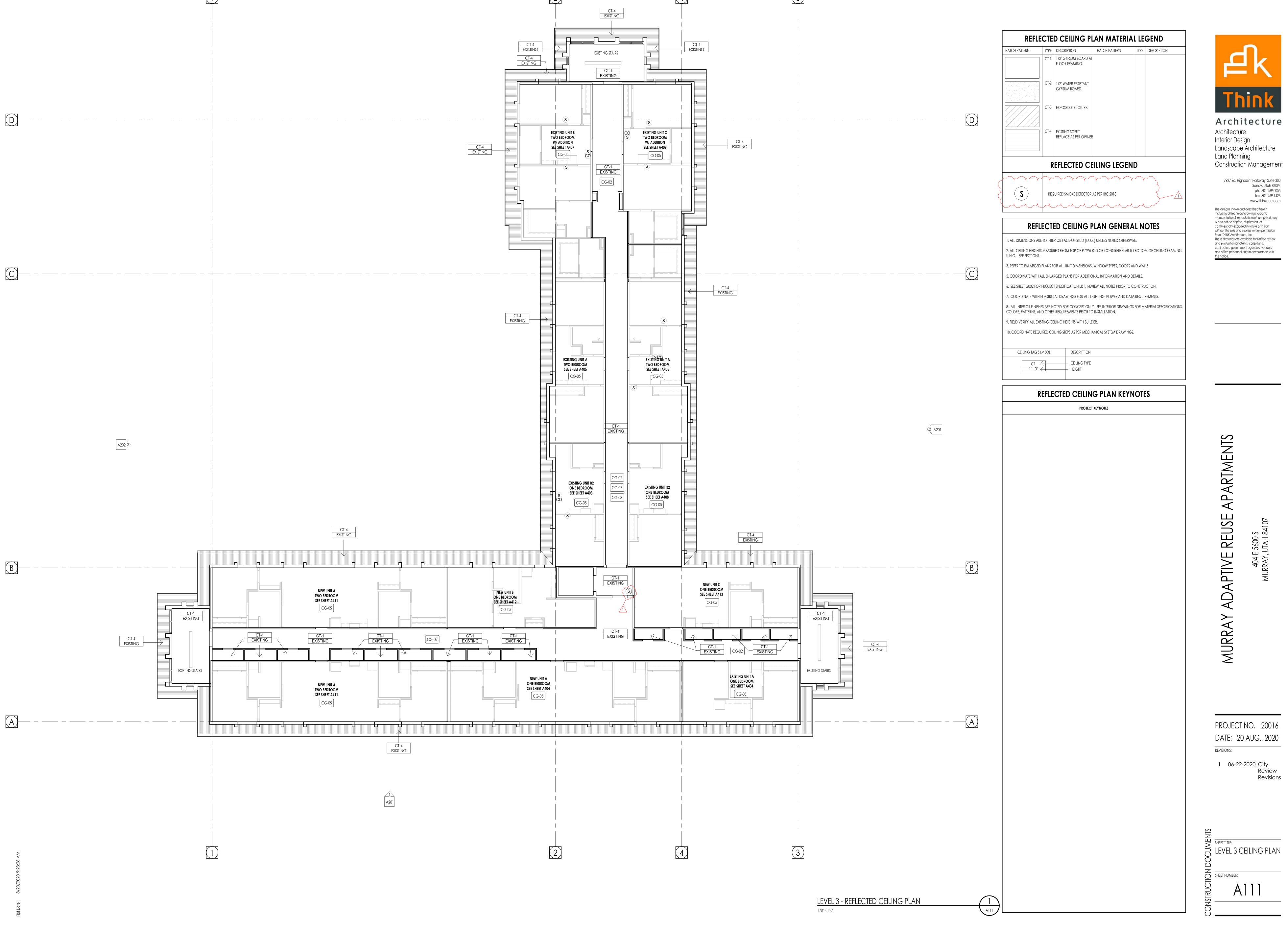
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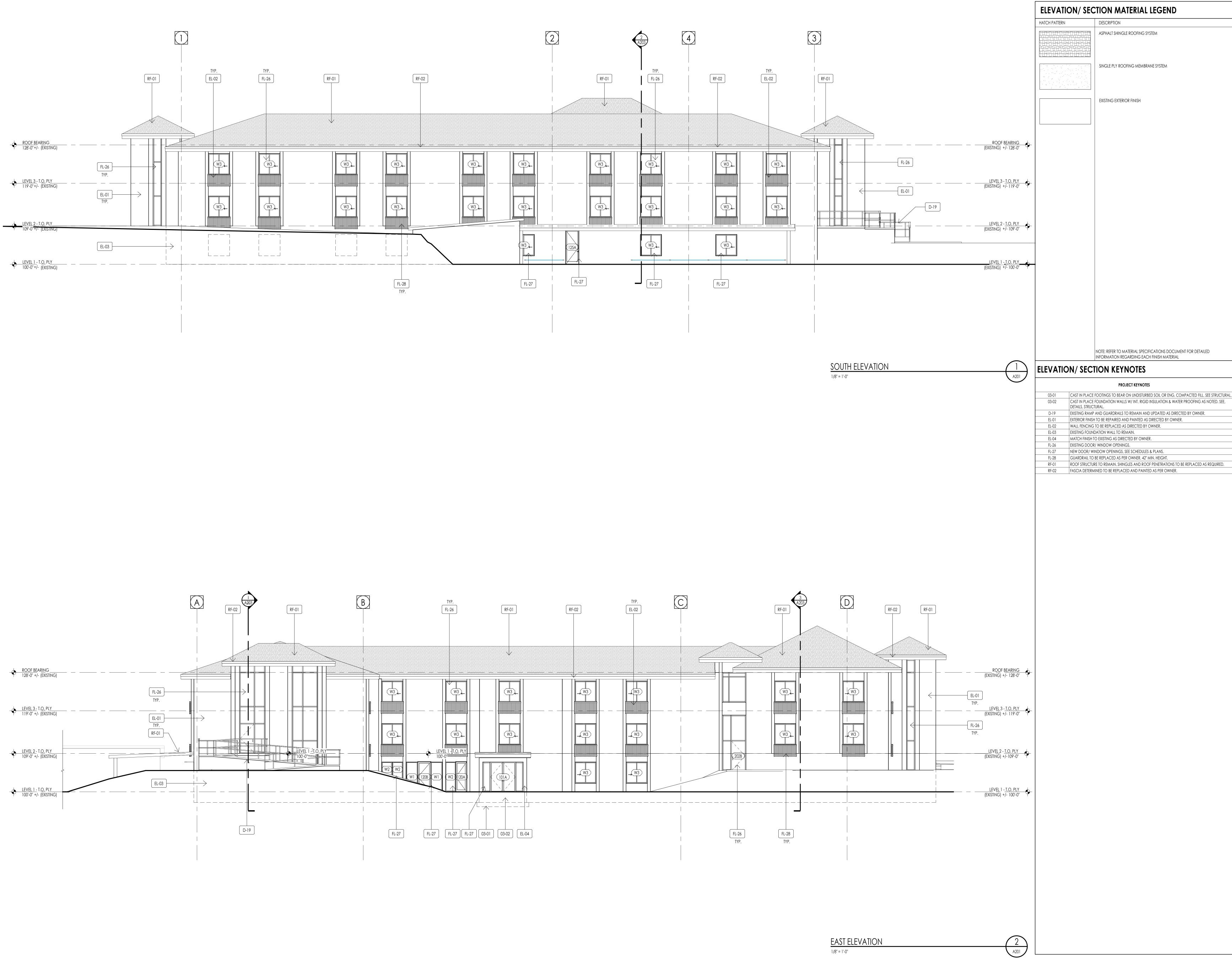


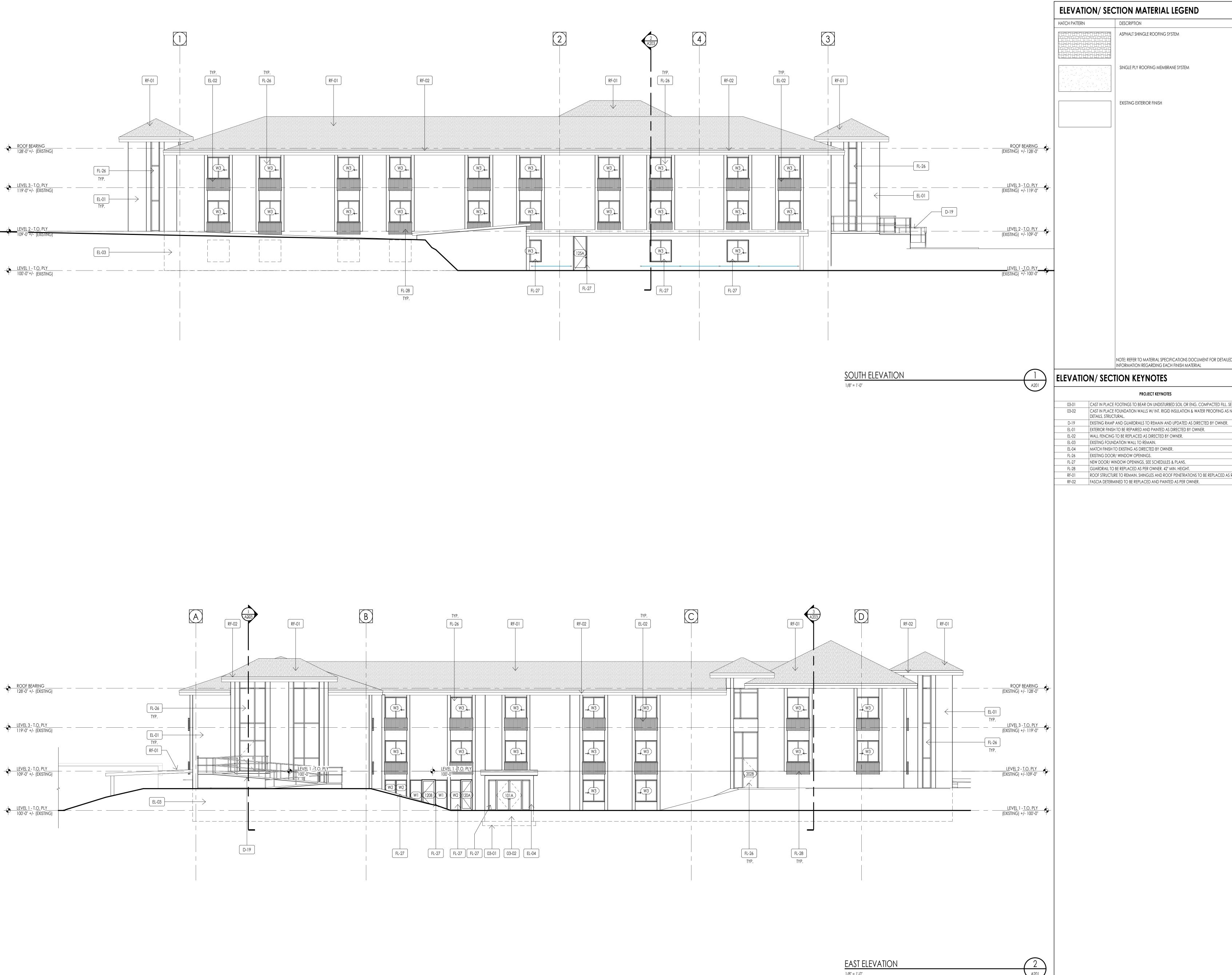


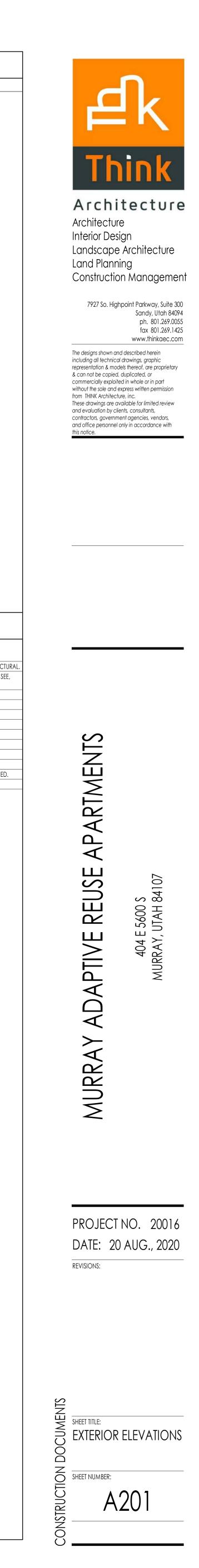






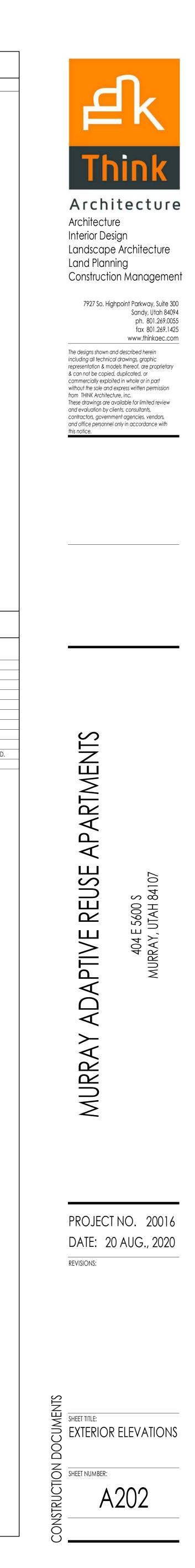




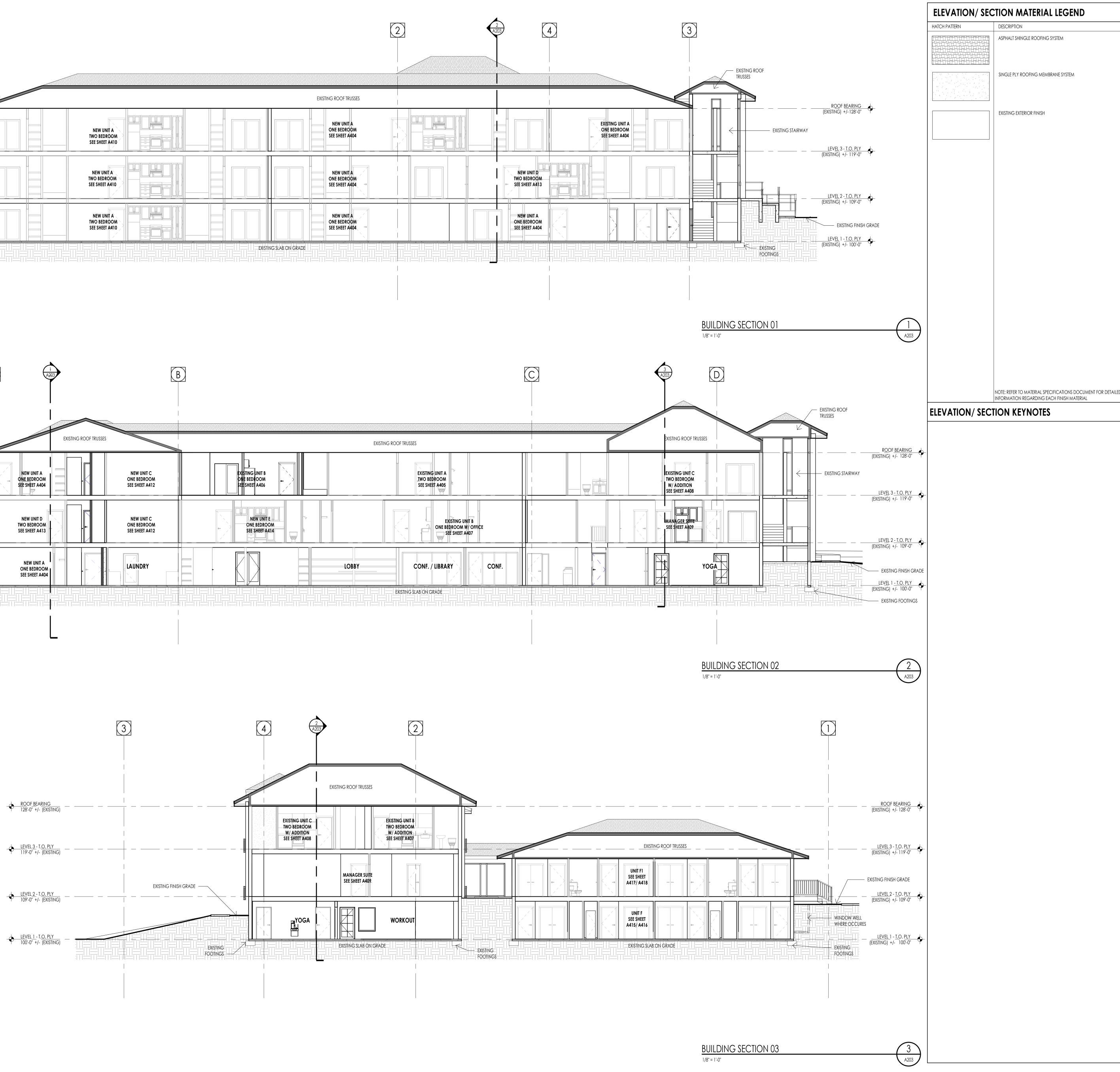


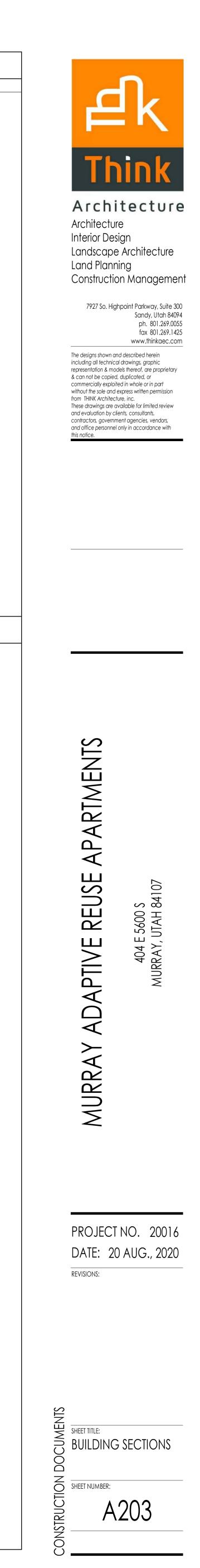


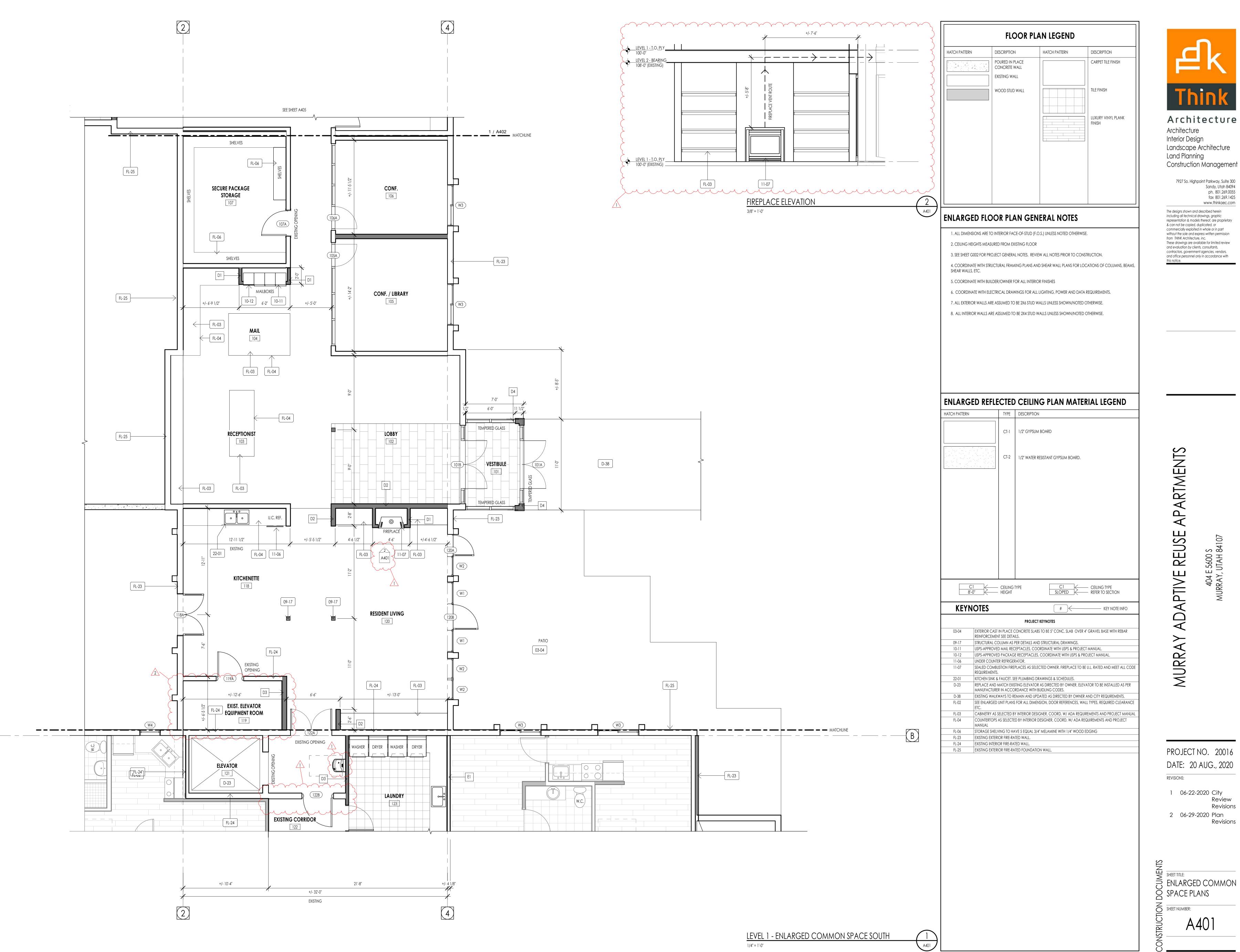


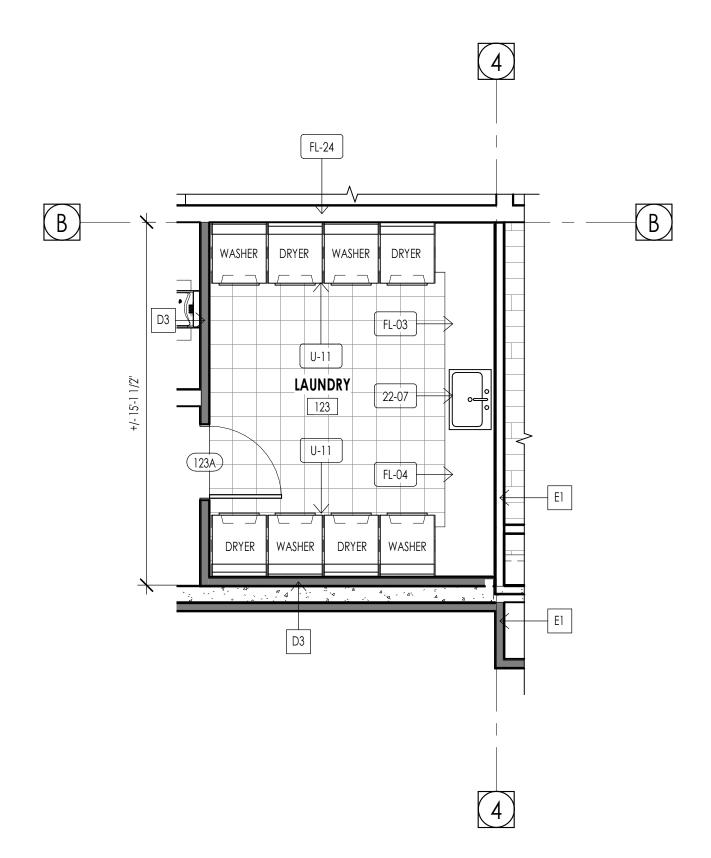




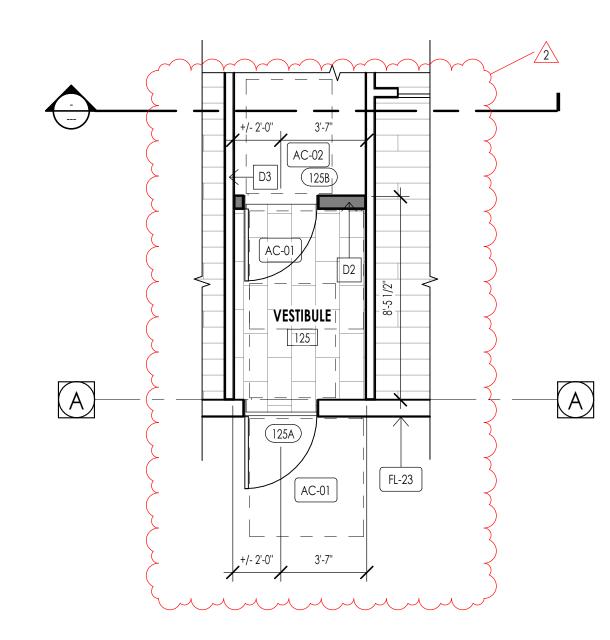




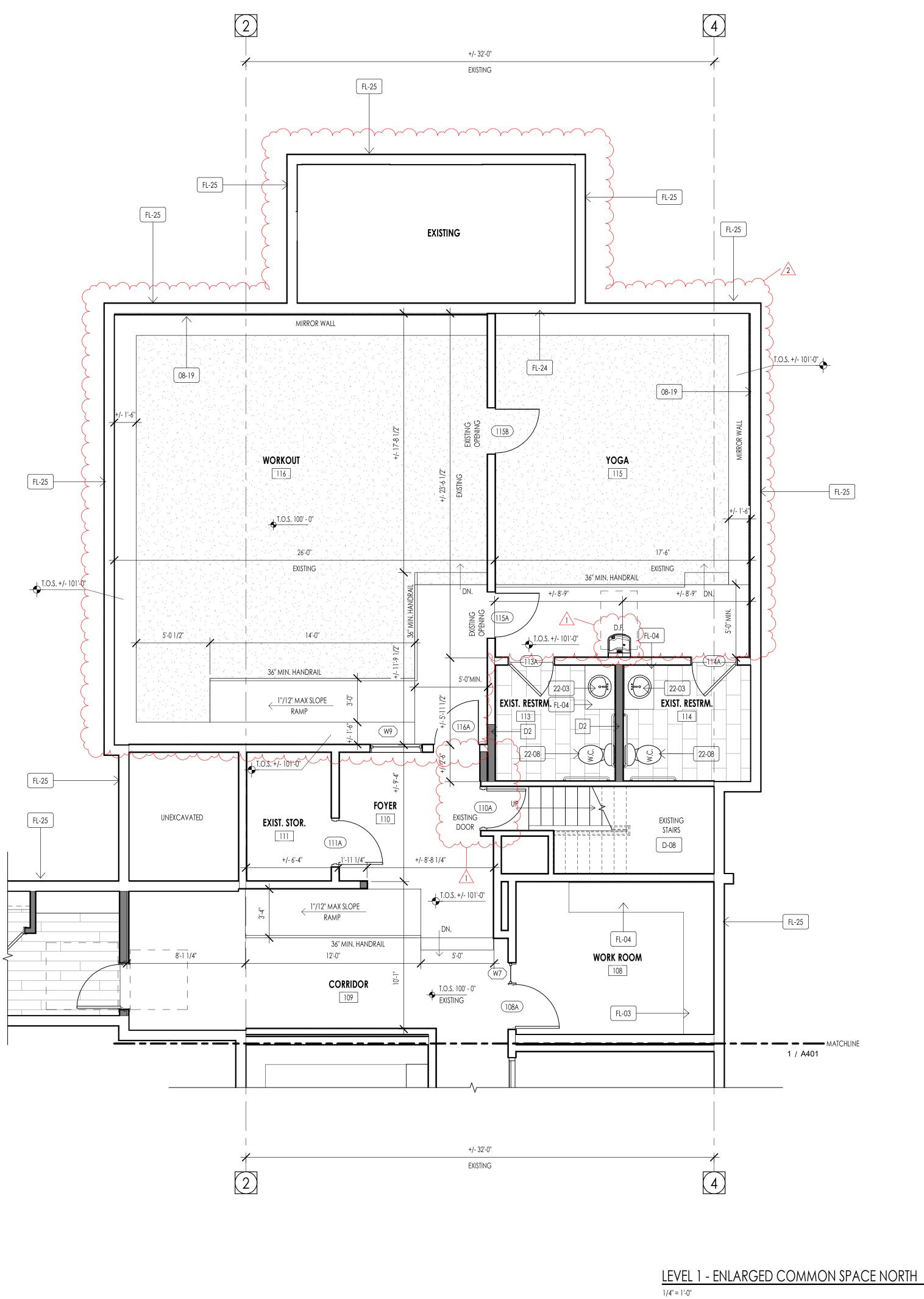




LEVEL 1 - ENLARGED LAUNDRY PLAN 1/4" = 1'-0"



LEVEL 1 - ENLARGED VESTIBULE



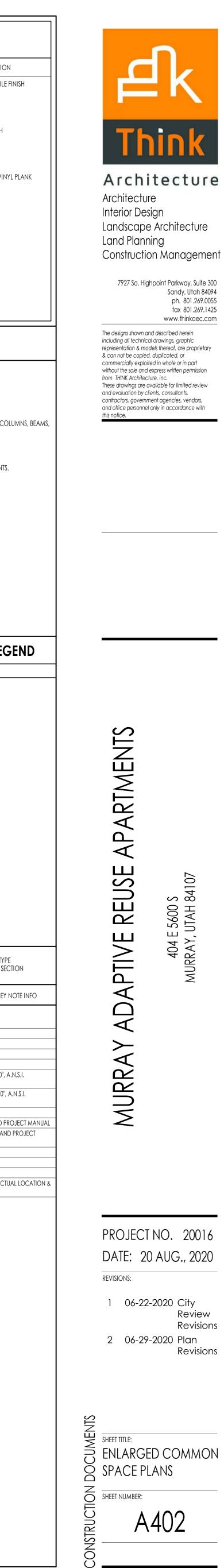
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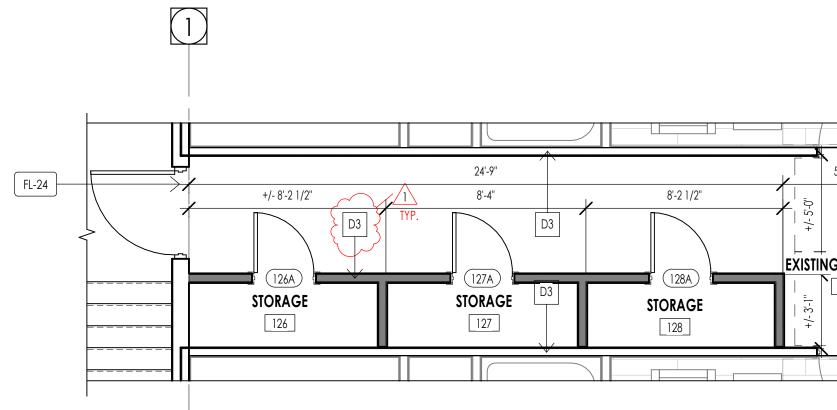


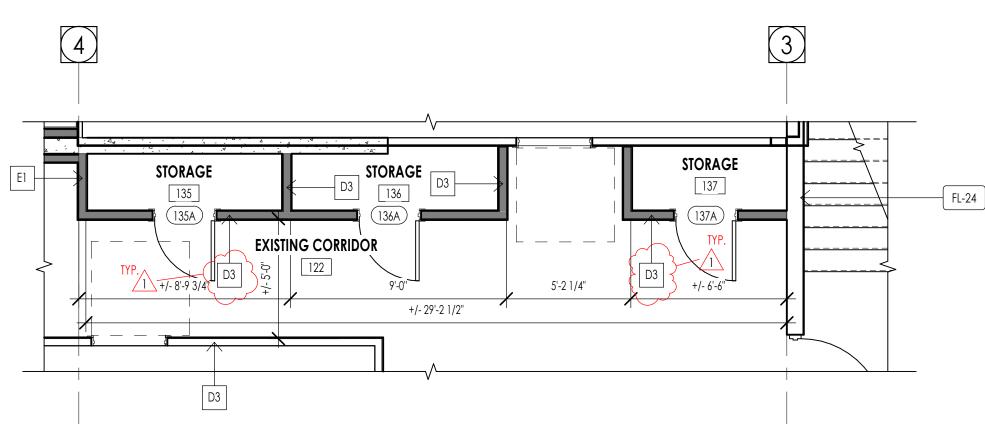
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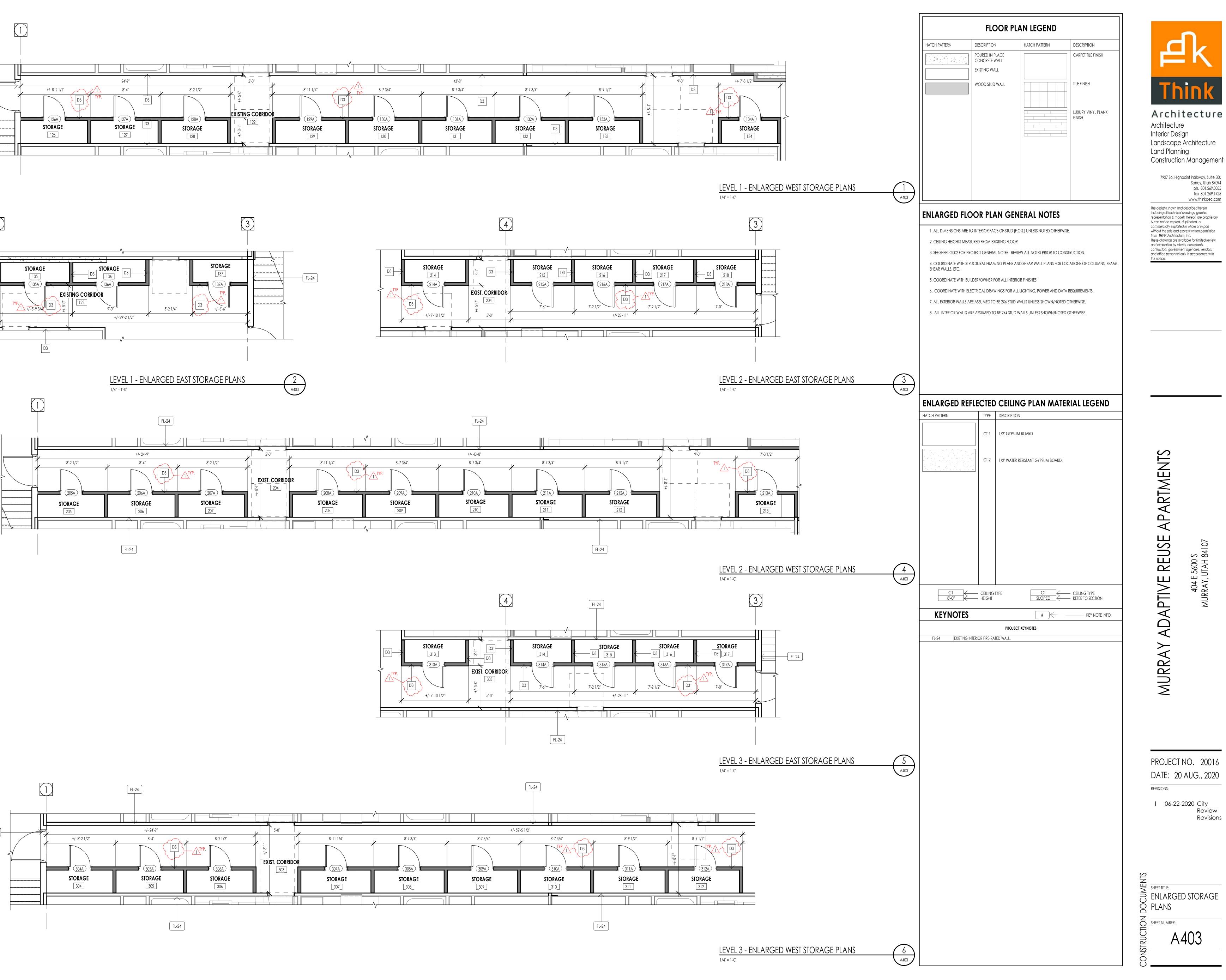
		FLO	OR PLAN	I LEGEND	
HATCH PATTERI	N	DESCRIPTION		ATCH PATTERN	DESCRIPTION
	F	OURED IN PL/	ACE [CARPET TILE FIN
	4	CONCRETE WA			
		vood stud v	/ALL F		
					FINISH
ENLARG	ED FLOC	OR PLA	N GENER	AL NOTES	5
1. ALL DIMEN	SIONS ARE TO IN	NTERIOR FACE	-of-stud (f.o.s.)	UNLESS NOTED OTH	ERWISE.
2. CEILING H	IEIGHTS MEASUR	ed from exis	TING FLOOR		
3. SEE SHEET	G002 FOR PROJE	ECT GENERAL	NOTES. REVIEW A	ll notes prior to	CONSTRUCTION.
4. COORDIN SHEAR WALL		TURAL FRAMIN	ig plans and sh	EAR WALL PLANS FC	DR LOCATIONS OF COLU
5. COORDIN	IATE WITH BUILDE	R/OWNER FO	R ALL INTERIOR FII	NISHES	
6. COORDIN	NATE WITH ELECT	RICAL DRAWI	NGS FOR ALL LIGH	ITING, POWER AND	DATA REQUIREMENTS.
				SUNLESS SHOWN/NG	
8. ALL INTER	IOR WALLS ARE /	assumed to e	3E 2X4 STUD WALL	S UNLESS SHOWN/N	oted otherwise.
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	ED REFL	· · ·	CEILING DESCRIPTION	PLAN MA	TERIAL LEGI
	ED REFL	· · ·			TERIAL LEGI
	ED REFL	TYPE	DESCRIPTION		TERIAL LEGI
	ED REFL	TYPE	DESCRIPTION 1/2" GYPSUM BO		
		CT-1	DESCRIPTION 1/2" GYPSUM BO	ARD	
	ED REFL	CT-1	DESCRIPTION 1/2" GYPSUM BO	ARD	
		CT-1	DESCRIPTION 1/2" GYPSUM BO	ARD	
	ED REFL	CT-1	DESCRIPTION 1/2" GYPSUM BO	ARD	
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		CT-1	DESCRIPTION 1/2" GYPSUM BO	ARD	
ENLARG HATCH PATTERN		CT-1	DESCRIPTION 1/2" GYPSUM BO	ARD	
HATCH PATTERN		CT-1	DESCRIPTION 1/2" GYPSUM BO. 1/2" WATER RESIS	ARD	2D.
HATCH PATTERN		TYPE CT-1 CT-2	DESCRIPTION 1/2" GYPSUM BO. 1/2" WATER RESIS	ARD FANT GYPSUM BOAF	
HATCH PATTERN		TYPE CT-1 CT-2 CT-2	DESCRIPTION 1/2" GYPSUM BO. 1/2" WATER RESIS	ARD FANT GYPSUM BOAF	RD.
HATCH PATTERN	C1	TYPE CT-1 CT-2 CT-2	DESCRIPTION 1/2" GYPSUM BO. 1/2" WATER RESIS	ARD FANT GYPSUM BOAF	RD.
HATCH PATTERN		CT-1 CT-2 CT-2 CT-2 CT-2 CT-2 CT-2 CT-2	DESCRIPTION 1/2" GYPSUM BO 1/2" WATER RESIS 1/2" WATER RESIS PE PE PE LED AS PER OWNE	ARD FANT GYPSUM BOAF	RD.
HATCH PATTERN	C1 -O' SOTES GLASS MIRRO BATHROOM L/ UTILITY SINK & WATER CLOSE	CT-1 CT-2 CT-2 CT-2 CT-2 CT-2 CT-2 CT-2 CT-2	DESCRIPTION 1/2" GYPSUM BO 1/2" WATER RESIS 1/2" WATER RESIS PE PE PE PE LED AS PER OWNE UCET. SEE PLUMBII LUMBING DRAWIN IG DRAWINGS & S	ARD IANT GYPSUM BOAF IANT GYPSUM BOAF SLOPED # MOTES R/ MANUFACTURER, I NG DRAWINGS & SCI GS. CHEDULES.	RD. CEILING TYPE REFER TO SECTI KEY NO SEE DETAILS. HEDULES.
HATCH PATTERN	C1 '-0" JOTES GLASS MIRRO BATHROOM LA UTILITY SINK & WATER CLOSE ENTRY CLEARA A117.1-2009, T	CT-1 CT-2 CT-2 CT-2 CT-2 CT-2 CT-2 CT-2 CT-2	DESCRIPTION 1/2" GYPSUM BO 1/2" WATER RESIS 1/2" WATER RESIS PE PE PE PE PE PE UCET. SEE PLUMBII LUMBING DRAWIN IG DRAWINGS & S LING UNIT/BUILDIN B.C., 1105.	ARD IANT GYPSUM BOAF IANT GY	RD. CEILING TYPE CEILING TYPE REFER TO SECTI KEY NO SEE DETAILS. HEDULES.
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HATCH PATTERN	C1 '-0'' JOTES GLASS MIRRO BATHROOM L/ UTILITY SINK & WATER CLOSE ENTRY CLEAR/ A117.1-2009, T ENTRY CLEAR/ A117.1-2009, T ENTRY CLEAR/ A117.1-2009, T ENTRY CLEAR/ A117.1-2009, T EXISTING STAIR CABINETRY AS	CT-1 CT-2 CT-2 CT-2 CT-2 CT-2 CT-2 CT-2 CT-2	DESCRIPTION 1/2" GYPSUM BO 1/2" WATER RESIS 1/2" WATER RESIS 1/2" WATER RESIS PE PE PE PE PE PE PE LED AS PER OWNE UCET. SEE PLUMBII LUMBING DRAWIN IG DRAWINGS & S LING UNIT/BUILDIN B.C., 1105. LING UNIT/BUILDIN B.C., 1105. ING UNIT/BUILDIN B.C., 1105.	ARD IANT GYPSUM BOAF IANT GY	RD. CEILING TYPE CEILING TYPE REFER TO SECTI KEY NC SEE DETAILS. HEDULES. H, PULL SIDE 54"X 60", A.N H, PUSH SIDE 48"X 60", A.N REQUIREMENTS AND PRO
HATCH PATTERN	C1 -O" SOTES GLASS MIRRO BATHROOM LA UTILITY SINK & WATER CLOSE ENTRY CLEARA A117.1-2009, T ENTRY CLEARA A117.1-2009, T EXISTING STAIR CABINETRY AS COUNTERTOPS	CT-1 CT-2 CT-2 CT-2 CT-2 CT-2 CT-2 CT-2 CT-2	DESCRIPTION 1/2" GYPSUM BO. 1/2" WATER RESIS 1/2" WATER RESIS 1/2" WATER RESIS PE PE PE PE PE PE PE CONTRACT REP PE CONTRACT R	ARD IANT GYPSUM BOAF IANT GY	KD. KD. KD. KD. KD. KD. KEY NC KEY NC
HATCH PATTERN	C1 C1 C1 C1 C1 C1 C1 C3 C3 C3 C3 C3 C4 C4 C4 C4 C4 C4 C4 C4 C4 C4	CT-1 CT-2 CT-2 CT-2 CT-2 CT-2 CT-2 CT-2 CT-2	DESCRIPTION 1/2" GYPSUM BO 1/2" WATER RESIS 1/2" WATER RESIS PE PE PE PE PE PE C PROJECT KEY LED AS PER OWNE UCET. SEE PLUMBII LUMBING DRAWIN IG DRAWINGS & S LING UNIT/BUILDIN B.C., 1105. LING UNIT/BUILDIN B.C., 1105. LING UNIT/BUILDIN B.C., 1105. D WALL.	ARD IANT GYPSUM BOAF IANT GY	RD. CEILING TYPE CEILING TYPE REFER TO SECTI KEY NC SEE DETAILS. HEDULES. H, PULL SIDE 54"X 60", A.N H, PUSH SIDE 48"X 60", A.N REQUIREMENTS AND PRO

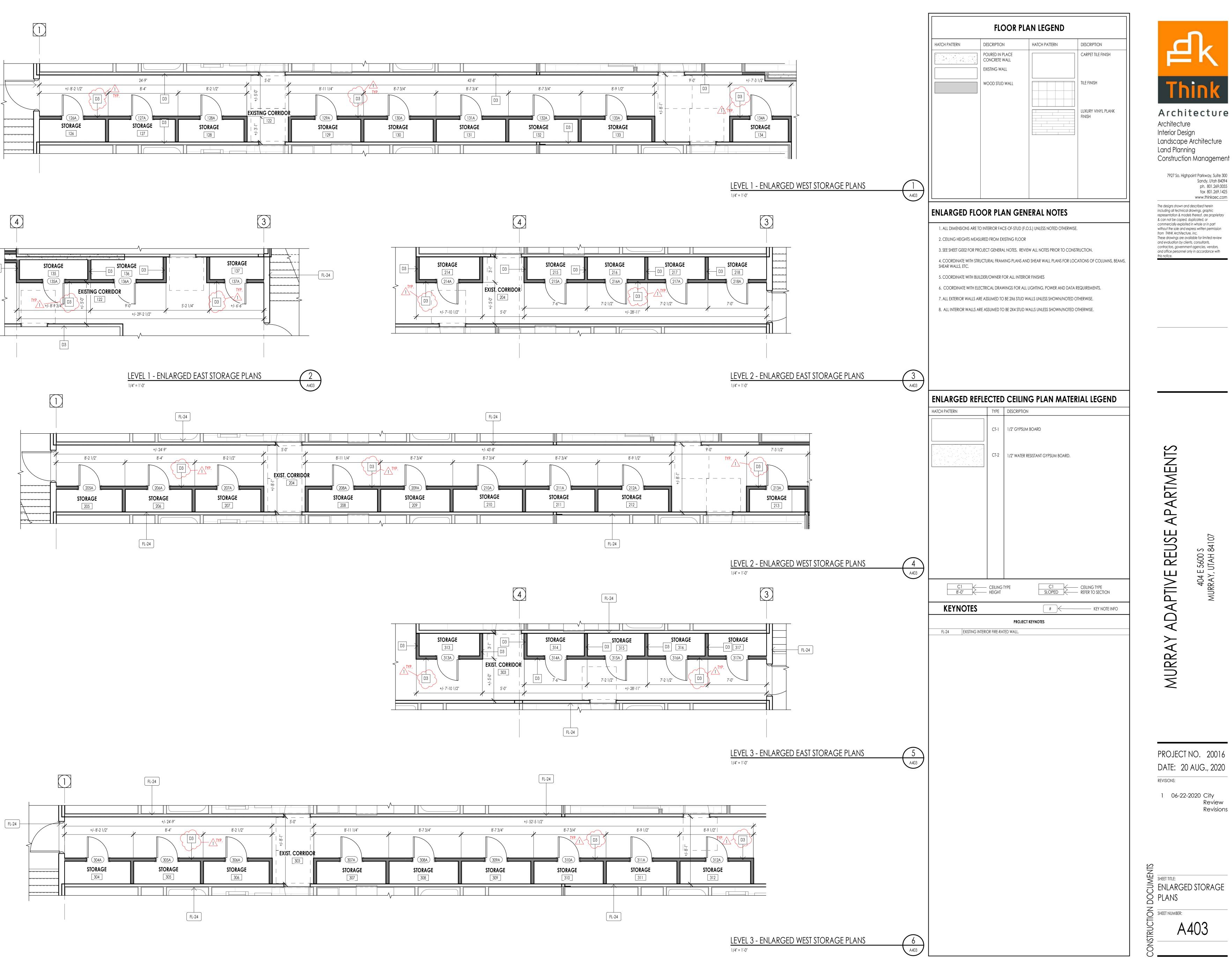




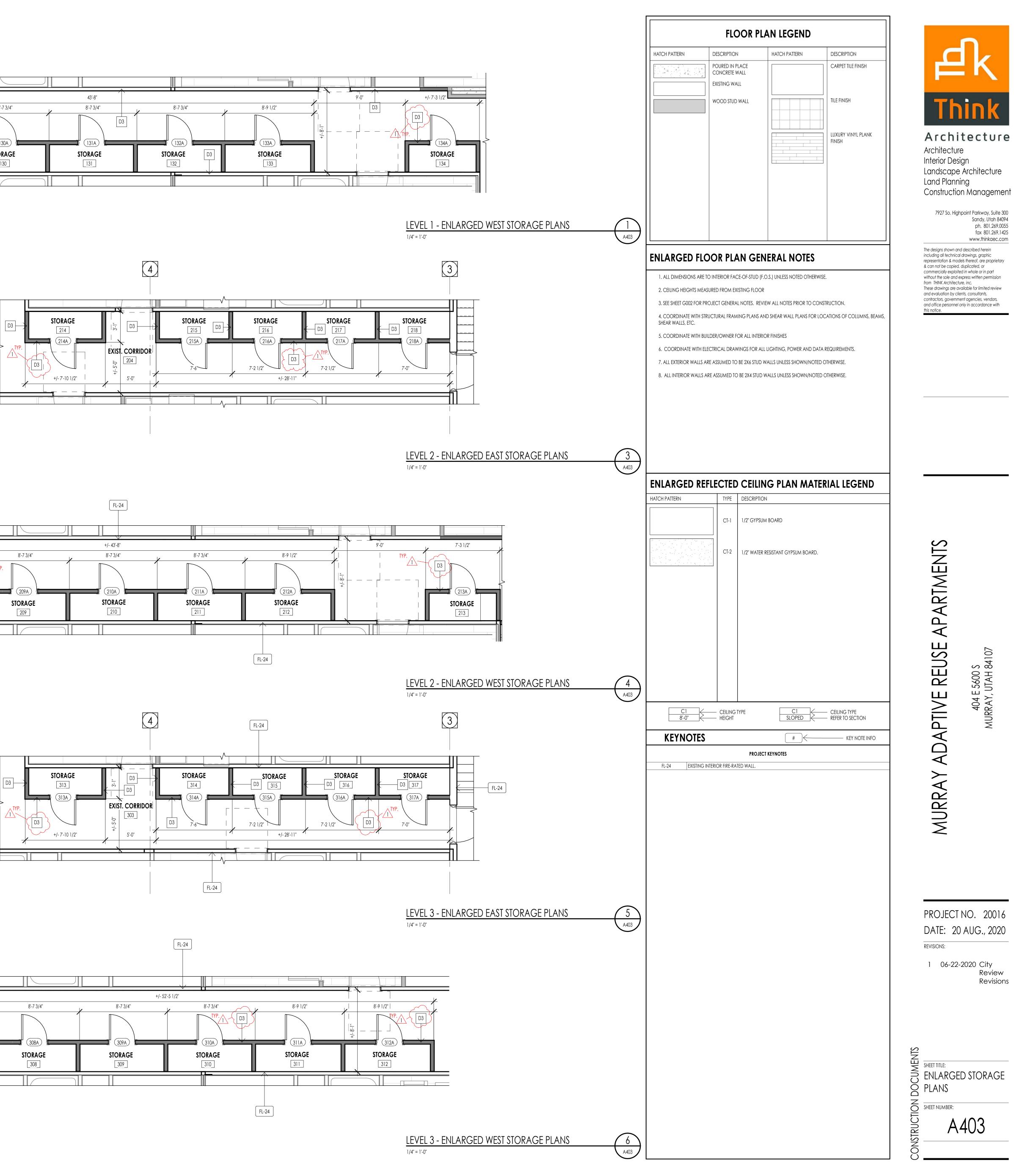


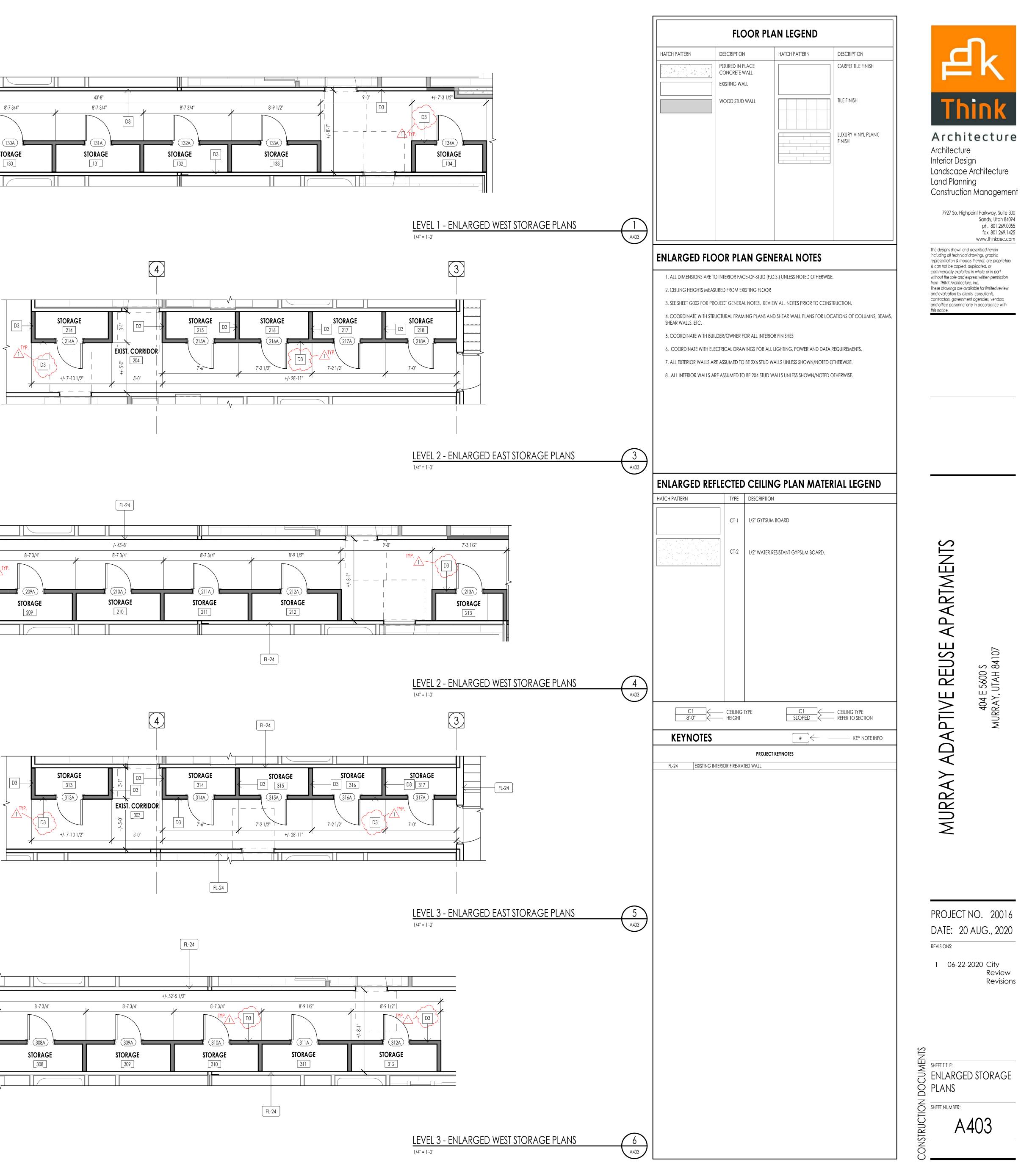


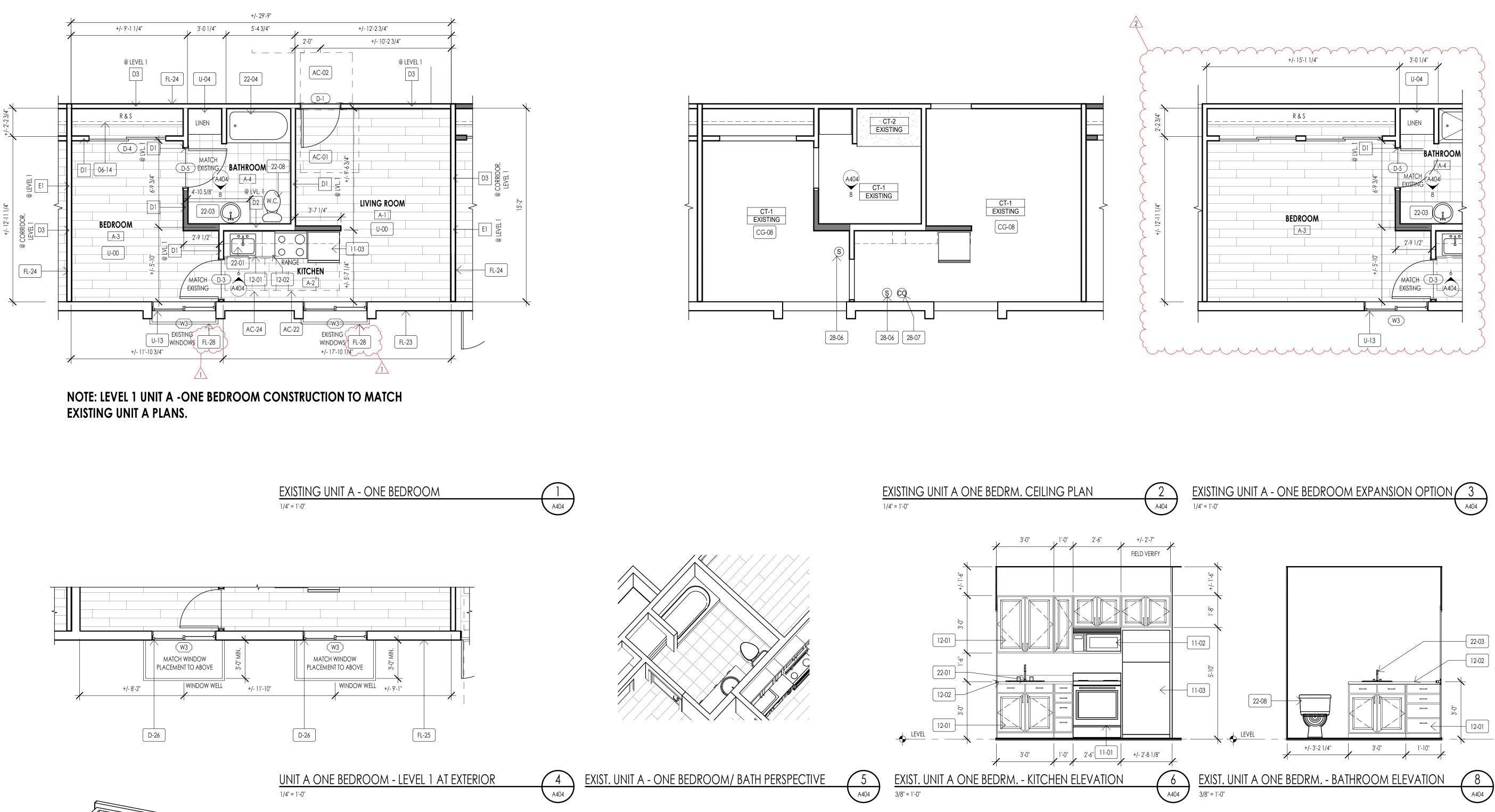


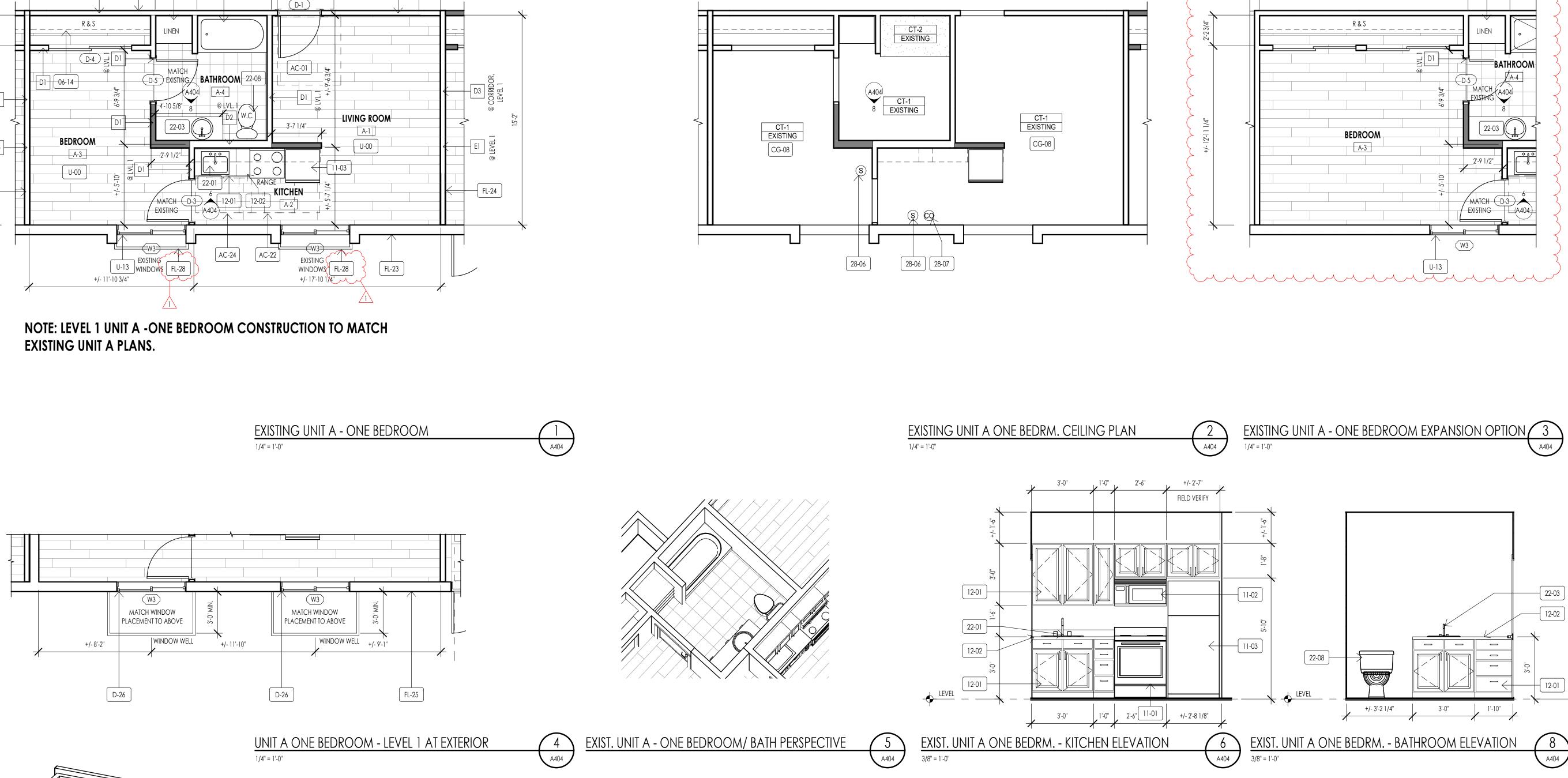


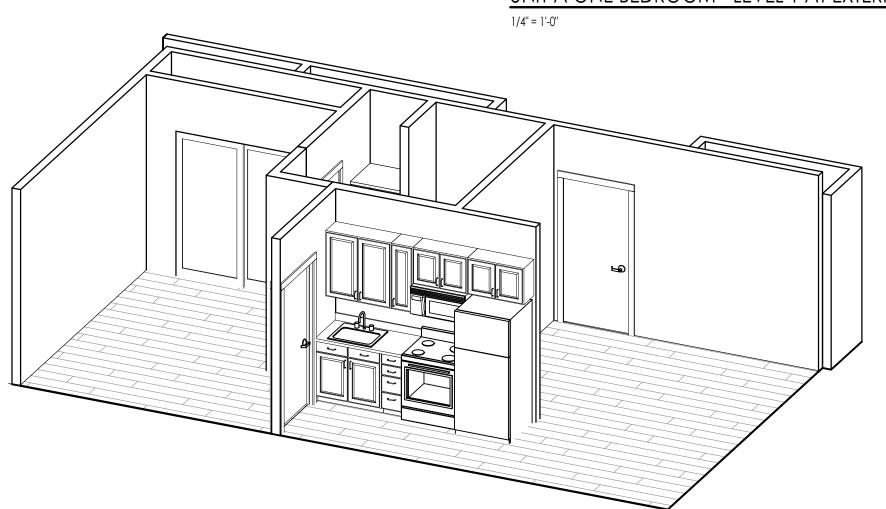
		\wedge				
5'-0"		\wedge	43'-8"			
	8'-11 1/4"	8'-7 3/4"	8'-7 3/4"	8'-7 3/4"	8'-9 1/2"	
122	STORAGE	STORAGE	STORAGE	STORAGE D3	STORAGE	
	129	_130	_131		_133_	
		v				









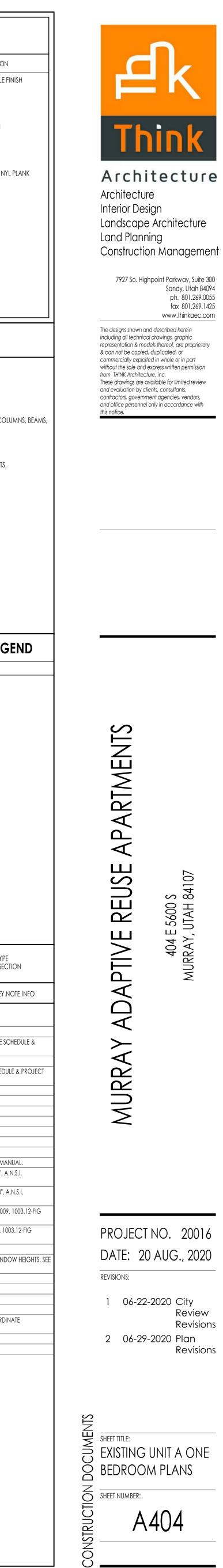


EXIST. UNIT A - ONE BEDROOM PERSPECTIVE

EI	NLARGED FLOC	OR PLAN LEGEN	ID
HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
	POURED IN PLACE CONCRETE WALL		CARPET TILE FIN
	EXISTING WALL/ NEW INTERIOR WHERE SPECIFIED		TILE FINISH
	wood stud wall		
			LUXURY VINYL F FINISH
(<u>;</u>			
NLARGED FLC	OR PLAN GEN	ERAL NOTES	
1. ALL DIMENSIONS ARE TO	D INTERIOR FACE-OF-STUD (F.O	.S.) UNLESS NOTED OTHERWISE.	
2. CEILING HEIGHTS MEAS	ured from existing floor		
3. SEE SHEET G002 FOR PRO	DJECT GENERAL NOTES. REVIEW	W ALL NOTES PRIOR TO CONST	RUCTION.
4. COORDINATE WITH STRU SHEAR WALLS, ETC.	JCTURAL FRAMING PLANS AND) SHEAR WALL PLANS FOR LOC	ATIONS OF COLUN
5. COORDINATE WITH BUIL	DER/OWNER FOR ALL INTERIO	r finishes	
6. COORDINATE WITH ELE	CTRICAL DRAWINGS FOR ALL L	IGHTING, POWER AND DATA R	REQUIREMENTS.
7. ALL EXTERIOR WALLS AR	RE ASSUMED TO BE 2X6 STUD WA	alls unless shown/noted o	THERWISE.
8. ALL INTERIOR WALLS AF	re assumed to be 2X4 stud w,	alls unless shown/noted c	otherwise.

ENLARGED REFLECTED CEILING PLAN MATERIAL LEGEND

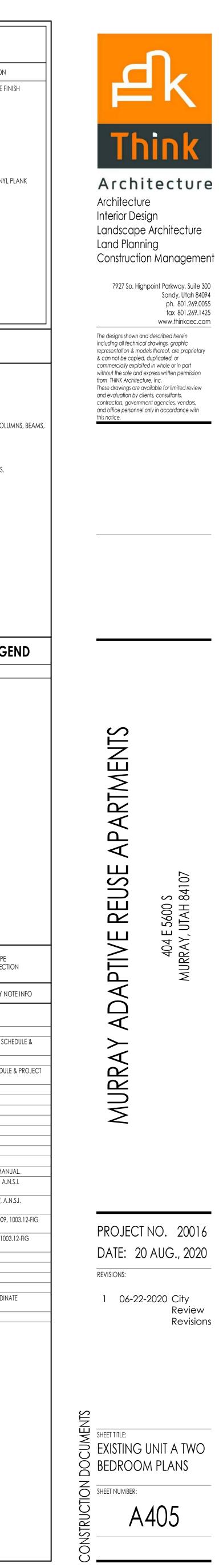
-			CT-1 CT-2	1/2" GYPSUM BOAF 1/2" WATER RESISTA	RD INT GYPSUM BOARD.	
			CT-2	1/2" WATER RESISTA	.NT GYPSUM BOARD.	
-						
-						
-						
		<u>-0"</u>	CEILING T HEIGHT	IYPE	C1 SLOPED	— CEILING TYPE — REFER TO SEC
	KEYN	NOTES			#	KEY I
Γ				PROJECT KEYN	OTES	
	06-14	SHELVING AND	CLOTHES R	ODS. SEE DETAILS.		
	11-01	30" 4 BURNER R PROJECT MAN		N WITH FRONT CENTRA	AL CONTROLS. ENERGY	STAR RATED. SEE S
E	11-02	MICROWAVEC	VEN. ENER		CHEDULE & PROJECT M.	
	11-03	28" - 30" WIDE R MANUAL.	EFRIGERAT	OR/FREEZER, FIELD VER	RIFY SIZE. ENERGY STAR I	RATED. SEE SCHEDU
	12-01		ETRY AS PER	OWNERS DETAILS & SE	ELECTIONS.	
	12-02			NERS DETAILS & SELEC		
┢	22-01			E PLUMBING DRAWIN	GS & SCHEDULES. G DRAWINGS & SCHEDU	II FS.
	22-04				. SEE PLUMBING DRAWI	
	22-08			ING DRAWINGS & SCH		T
\vdash	28-06				DRAWINGS & PROJEC	
	AC-01				: FRONT APPROACH, PI	JLL SIDE 54"X 60", A
┢	AC-02		NCE TO DW	ELLING UNIT/BUILDING	: FRONT APPROACH, PI	JSH SIDE 48"X 60", /
	AC-22	A117.1-2009, TB KITCHEN FIXTUR 1003.12.1.1; I.B.	E PARALLEL	APPROACH CLEAR FL	.OOR SPACE, 30"X 48", /	A.N.S.I. A117.1-2009
	AC-24		ARALLEL AP	PROACH CLEAR FLOC	DR SPACE, 30"X 48", A.N	.SI. A117.1-2009, 10
L	CG-08				ND MECHANICAL REQU	IREMENTS.
	D-26	CUT OPENING T SCHEDULES.	HROUGH E	XISTING WALL AS INDI	CATED. MATCH TO EXIS	TING DOOR/ WIND
$\left \right $	FL-23	EXISTING EXTER	OR FIRE-RA	TED WALL.		
	FL-24	EXISTING INTERI	-			
┢	FL-25 FL-28			TED FOUNDATION WA ED AS PER OWNER. 42		
F	U-00	CONTRACTOR	Shall Revie	EW INTERIOR DRAWING	GS FOR ALL FLOOR FINIS	HES AND COORDI
	U-04			TED G-SHEETS DETAILS	NER TYP	
┢	U-13		-		ESCUE PER IBC 2015, SE	CTION 1030.

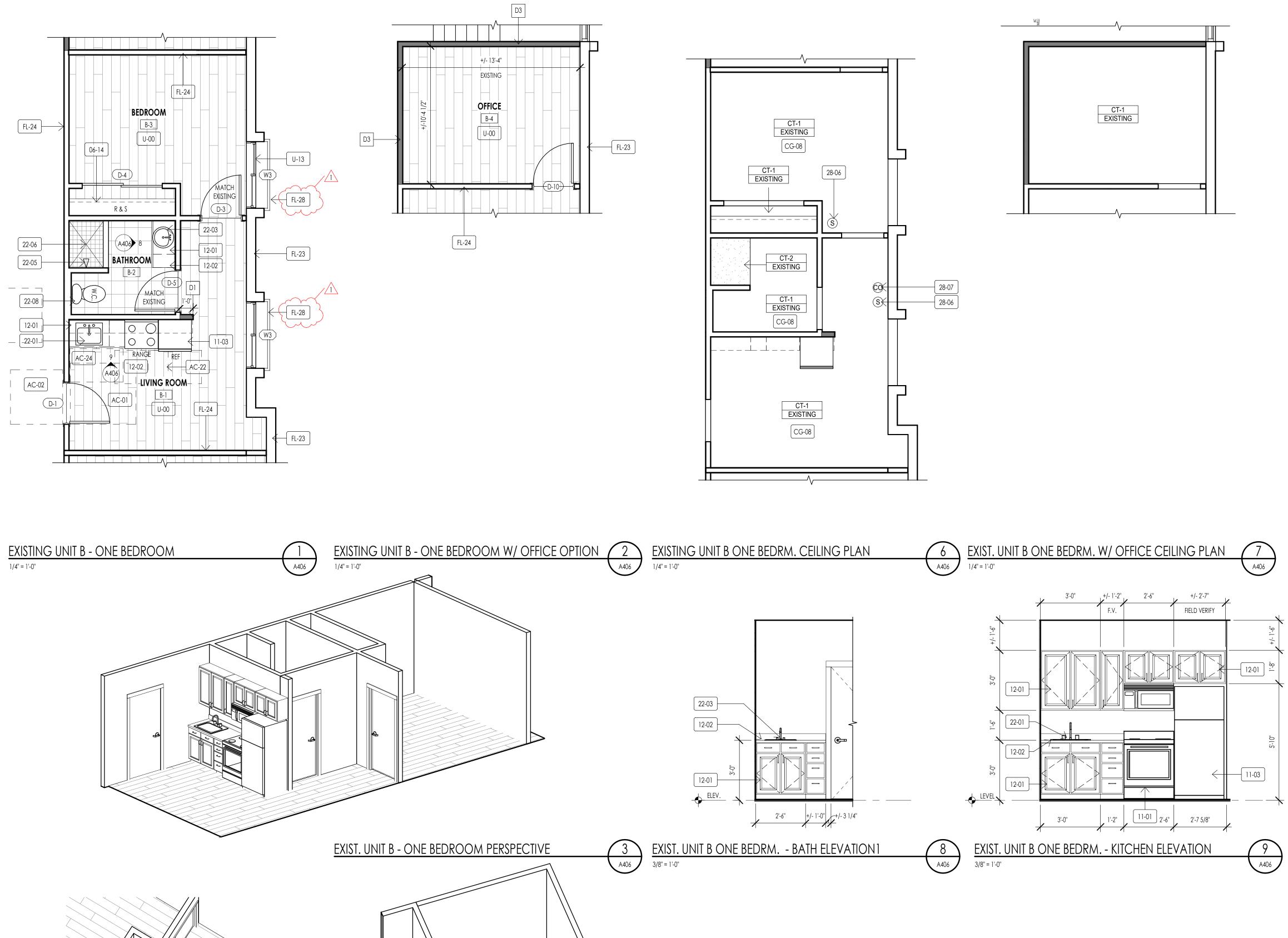


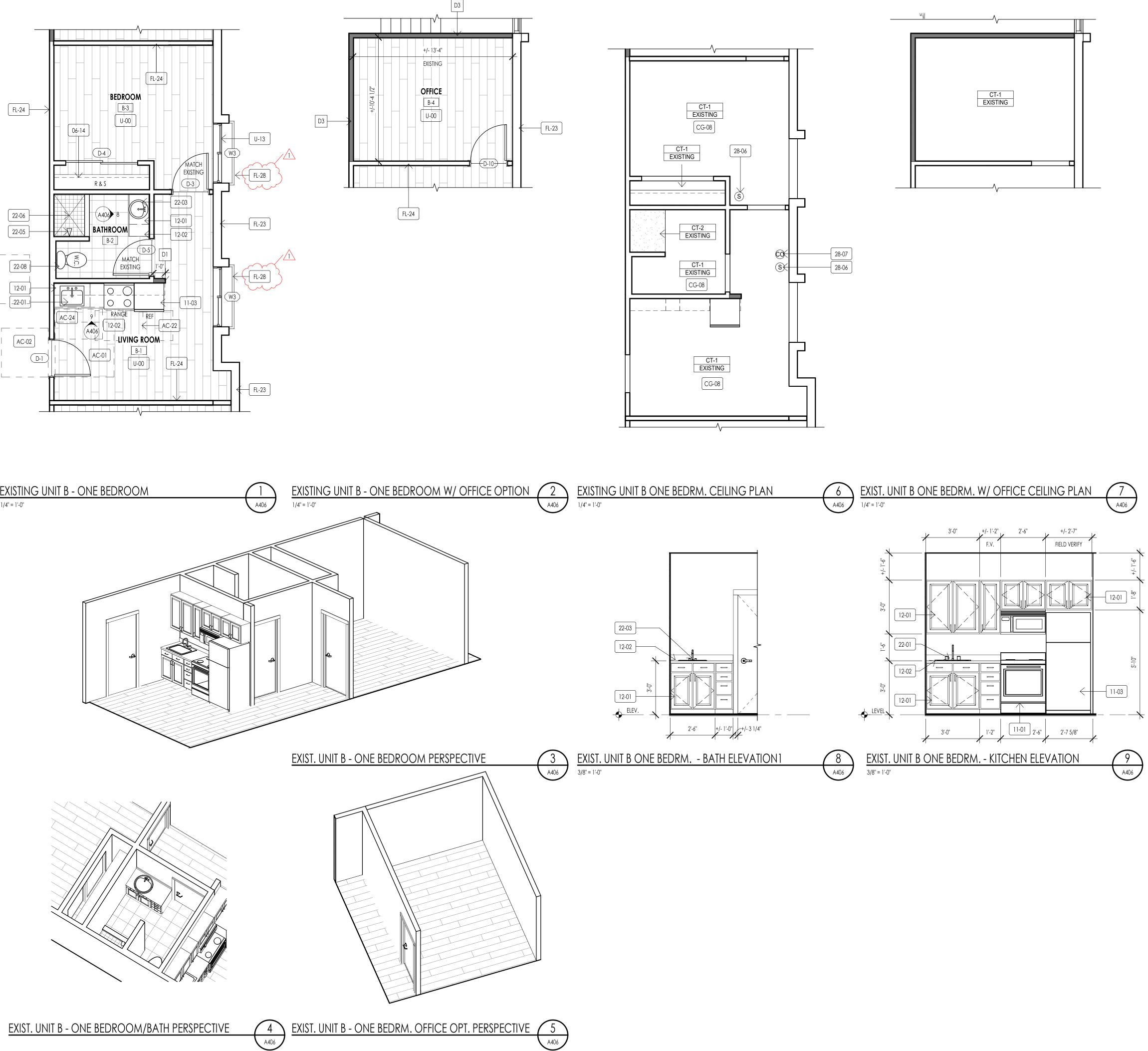


HATCH PATTERN	D	escription	1	HATCH PATTERN	DESCRIPTION
	- 7	OURED IN P CONCRETE V	-		CARPET TILE F
		XISTING WA NTERIOR WH	ILL/ NEW HERE SPECIFIED		
	w	vood stud	WALL		
					FINISH
) FLOC	OR PLA	AN GEN	ERAL NOTES	
1. ALL DIMENSIO	INS ARE TO IN	ITERIOR FAC	CE-OF-STUD (F.O	.s.) unless noted otherw	ISE.
2. CEILING HEIGI				N ALL NOTES PRIOR TO COI	NSTRUCTION.
	WITH STRUCT) Shear Wall Plans for L	
5. COORDINATE		R/OWNER F	or all interiof	R FINISHES	
				IGHTING, POWER AND DAT	
				alls unless shown/notee alls unless shown/notee	
) REFLI	ECTED		G PLAN MATE	RIAL LEG
IATCH PATTERN		TYPE	DESCRIPTION		
		CT-1	1/2" GYPSUM	BOARD	
	×-,, , , , , , , , , , , , , , , , , , ,	CT-1	1/2" GYPSUM	BOARD	
		CT-1 CT-2		BOARD ESISTANT GYPSUM BOARD.	
C1 8'-0"			1/2" WATER RE		— CEILING TYPE — REFER TO SEC
	→ → → → → → →	CT-2	1/2" WATER RE	ESISTANT GYPSUM BOARD.	
KEYNC		CT-2 - CEILING - HEIGHT	1/2" WATER RE	ESISTANT GYPSUM BOARD.	
8'-0" KEYNC 06-14 S 11-01 3	HELVING AND	CT-2 CT-2 CEILING CEILING CEILING CEILING CEILING CEILING CEILING CEILING CEILING CEILING	1/2" WATER RE	ESISTANT GYPSUM BOARD.	Key i
8'-0" KEYNC 06-14 S 11-01 3 P 11-02 M	HELVING ANE 0" 4 BURNER F ROJECT MAN AICROWAVE (CT-2 CT-2 CEILING	1/2" WATER RE	ESISTANT GYPSUM BOARD.	STAR RATED. SEE S
8'-0" KEYNC 06-14 S 11-01 3 P 11-02 M 11-03 2 M 12-01 B	HELVING ANE 0" 4 BURNER F ROJECT MAN AICROWAVE (8" - 30" WIDE F ANUAL. UILT IN CABIN	CT-2 CT-2 CEILING - CEILING - HEIGHT - HEIGHT - HEIGHT - HEIGHT - HEIGHT - HEIGHT - HEIGHT - CEILING - HEIGHT - HEIGHT - CEILING - CEILI	1/2" WATER RE	ESISTANT GYPSUM BOARD.	STAR RATED. SEE S
8'-0' KEYNC 06-14 S 11-01 3 P 11-02 M 11-02 M 11-03 2 M 12-01 B 12-02 C 22-01 K	HELVING AND 0" 4 BURNER R ROJECT MAN 4ICROWAVE (8" - 30" WIDE R 4ANUAL. UILT IN CABIN COUNTERTOPS ITCHEN SINK 8	CT-2 CT-2 CT-2 CEILING - CEILING - HEIGHT COUL - HEIGHT - HEIGH	1/2" WATER RE	ESISTANT GYPSUM BOARD.	STAR RATED. SEE SU ANUAL. RATED. SEE SCHEDU
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8'-0'' KEYNC 06-14 S 11-01 3 P 11-02 M 11-03 2 M 12-01 B 12-02 C 22-01 K 22-03 B 22-04 T 22-05 T 22-08 W	HELVING AND O" 4 BURNER R ROJECT MAN AICROWAVE (8" - 30" WIDE R ANUAL. UILT IN CABIN COUNTERTOPS ITCHEN SINK & ATHROOM LA YPICAL TUB FI YPICAL SHOW VATER CLOSET	CT-2 CT-2 CT-2 CEILING - CEILING - HEIGHT - HEIGHT - HEIGHT - HEIGHT - HEIGHT - CEILING - HEIGHT - CEILING - HEIGHT - CEILING - HEIGHT - HEIGHT - CEILING - CEILING - HEIGHT - HEIGHT - CEILING - CEILING - HEIGHT - CEILING - HEIGHT - HEIGHT - CEILING - HEIGHT - HEIGHT - CEILING - HEIGHT - HEIGHT - CEILING - CEILING - HEIGHT - CEILING - HEIGHT - CEILING - CEILING - HEIGHT - CEILING - HEIGHT - CEILING - CEILING - CEILING - HEIGHT - CEILING - CEILIN	1/2" WATER RE	ESISTANT GYPSUM BOARD. C1 SLOPED # KEYNOTES S. ENTRAL CONTROLS. ENERGY SEE SCHEDULE & PROJECT M D VERIFY SIZE. ENERGY STAR S & SELECTIONS. SELECTIONS. AWINGS & SCHEDULES. MBING DRAWINGS & SCHEDI ISHES. SEE PLUMBING DRAWI RAWINGS, SCHEDULES & PRO & SCHEDULES.	STAR RATED. SEE SCHEDU ANUAL. RATED. SEE SCHEDU JLES. NGS. DJECT MANUAL.
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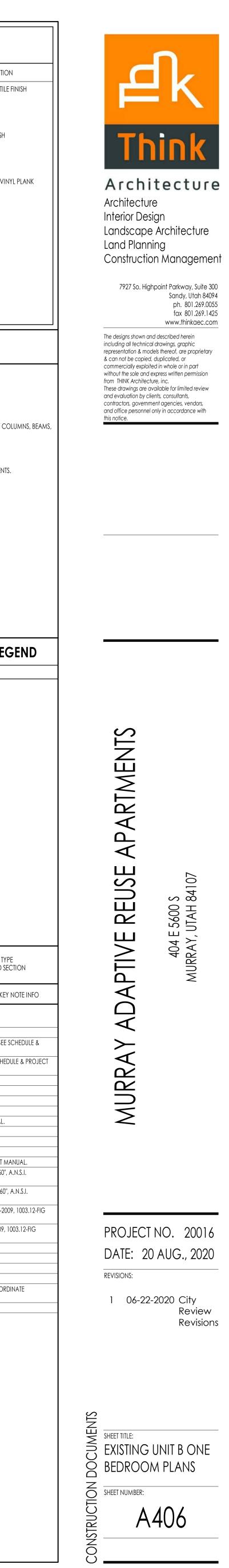
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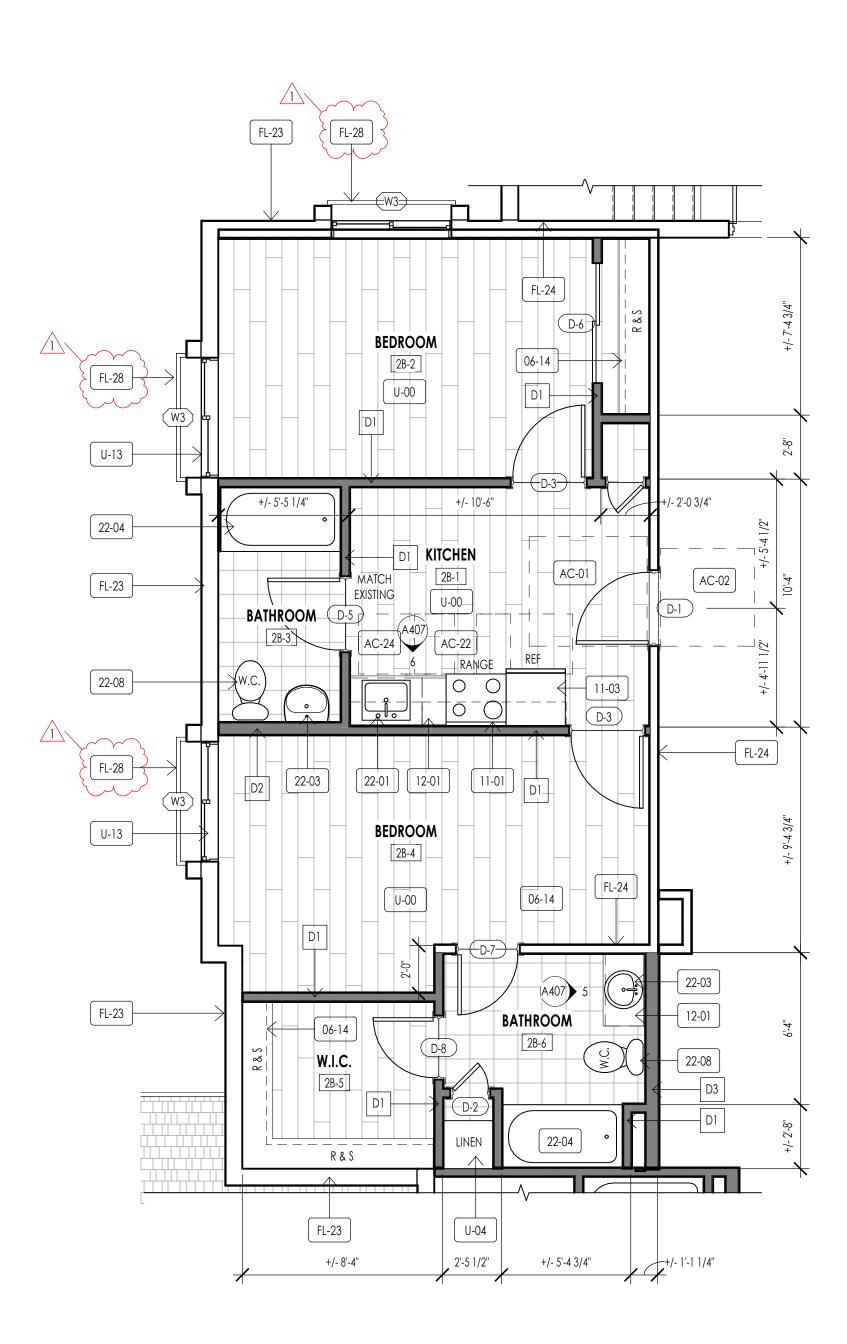


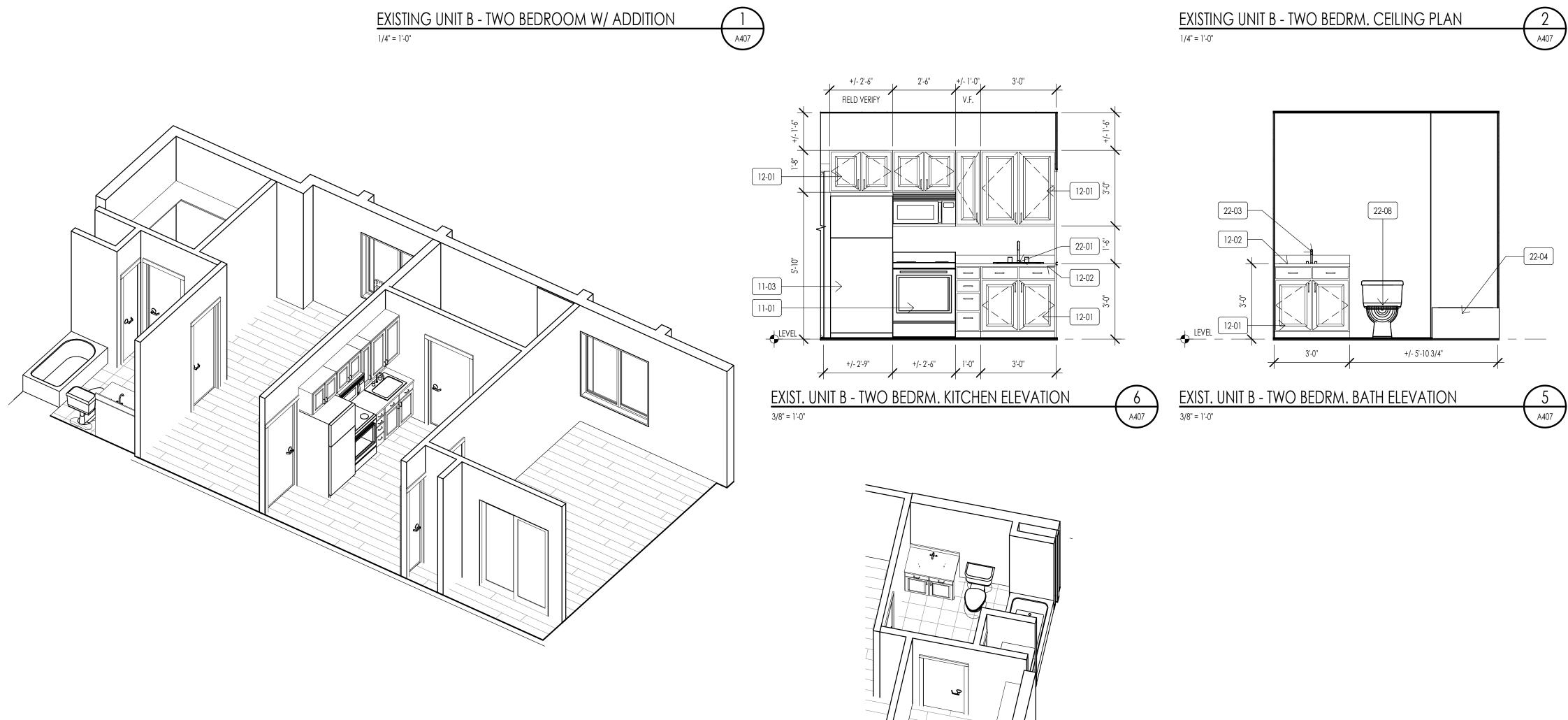


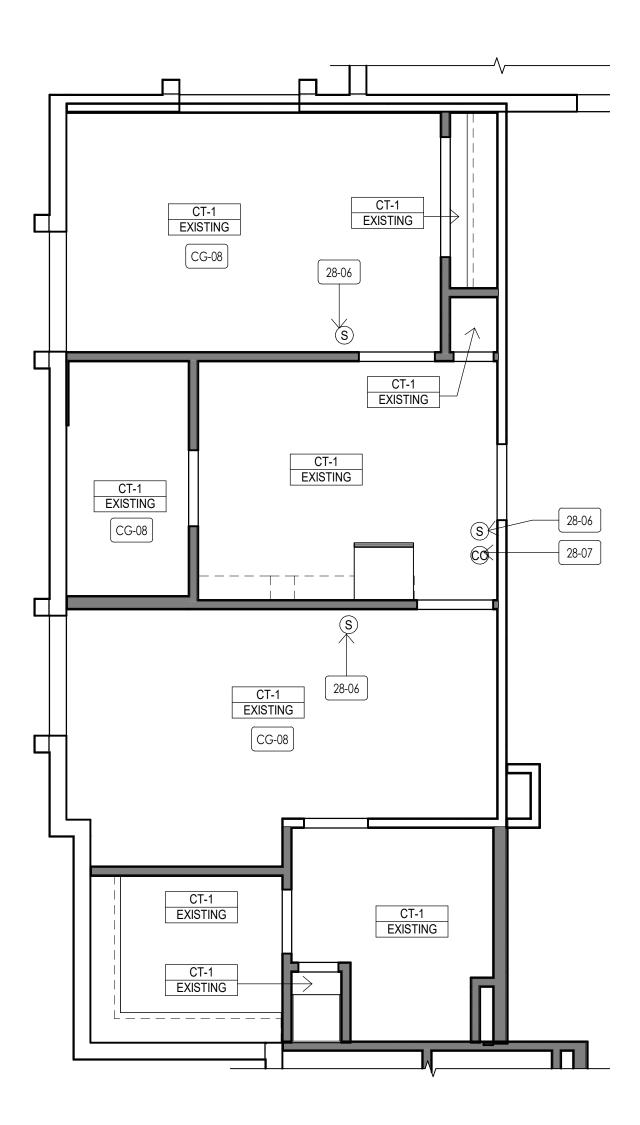


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KEYNOT	ES			#	Key
			PROJECT	KEYNOTES	
11-01 30" 4	4 BURNER F	RANGE/OVE	RODS. SEE DETAIL EN WITH FRONT C	S. ENTRAL CONTROLS. ENER	GY STAR RATED. SEE S
11-03 28" -	JECT MAN - 30" WIDE F NUAL.		OR/FREEZER, FIEL	.D VERIFY SIZE. ENERGY STA	AR RATED. SEE SCHED
12-01 BUIL	t in Cabin		R OWNERS DETAIL	LS & SELECTIONS. SELECTIONS.	
				AWINGS & SCHEDULES. MBING DRAWINGS & SCHI	EDULES.
				DRAWINGS, SCHEDULES & 1/8" PER FOOT TO DRAIN.	PROJECT MANUAL.
28-06 HAR	D WIRED S	MOKE DETE		RICAL DRAWINGS & PROJ	
AC-01 ENTR	RY CLEARA	NCE TO DW	/ELLING UNIT/BUI	OR. SEE ELECTRICAL DRAV LDING: FRONT APPROACH	
AC-02 ENTR	RY CLEARA	NCE TO DW	; I.B.C., 1105. /ELLING UNIT/BUI ; I.B.C., 1105.	LDING: FRONT APPROACH	I, PUSH SIDE 48"X 60",
AC-22 KITC	HEN FIXTUR		L APPROACH CLI	EAR FLOOR SPACE, 30"X 48	8", A.N.S.I. A117.1-200
AC-24 KITC	HEN SINK F		PPROACH CLEAR	R FLOOR SPACE, 30"X 48", A	A.N.SI. A117.1-2009, 1
FL-23 EXIS	TING EXTER	RIOR FIRE-RA	ATED WALL.	IER AND MECHANICAL RE	QUIREMENTS.
FL-28 GUA	RDRAIL TC		ED AS PER OWN	ER. 42" MIN. HEIGHT.	
TRAI	nsitions p	ER ASSOCIA	ATED G-SHEETS DE		
EGR	LIJ WIND(J IN REQUIRE	UI UK EMEKGEN	ICY RESCUE PER IBC 2015,	JECHON IUJU.



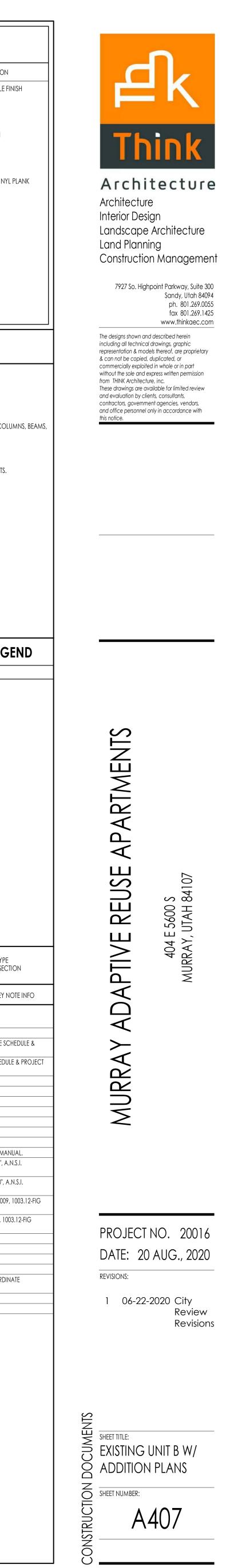


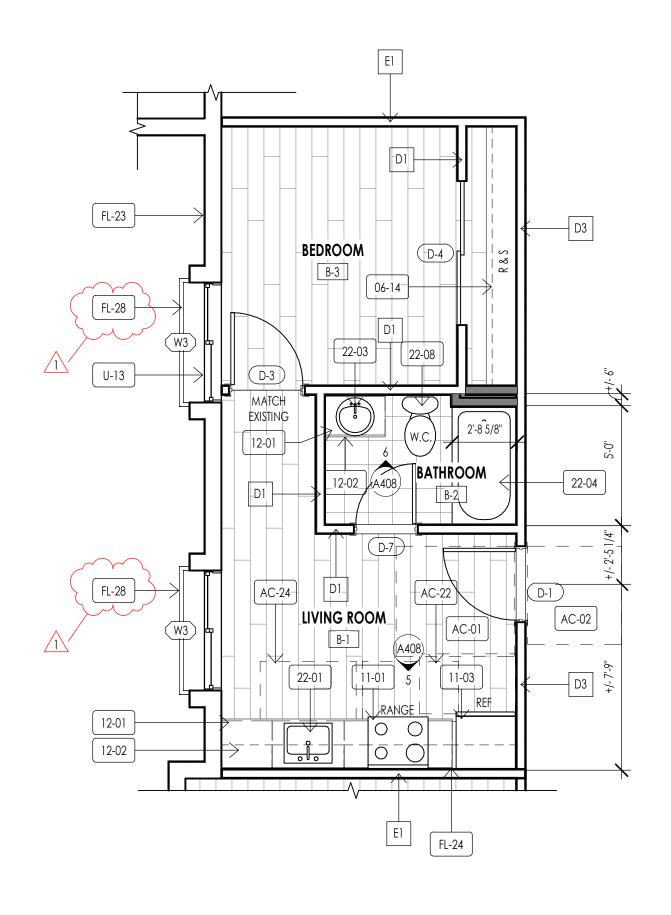




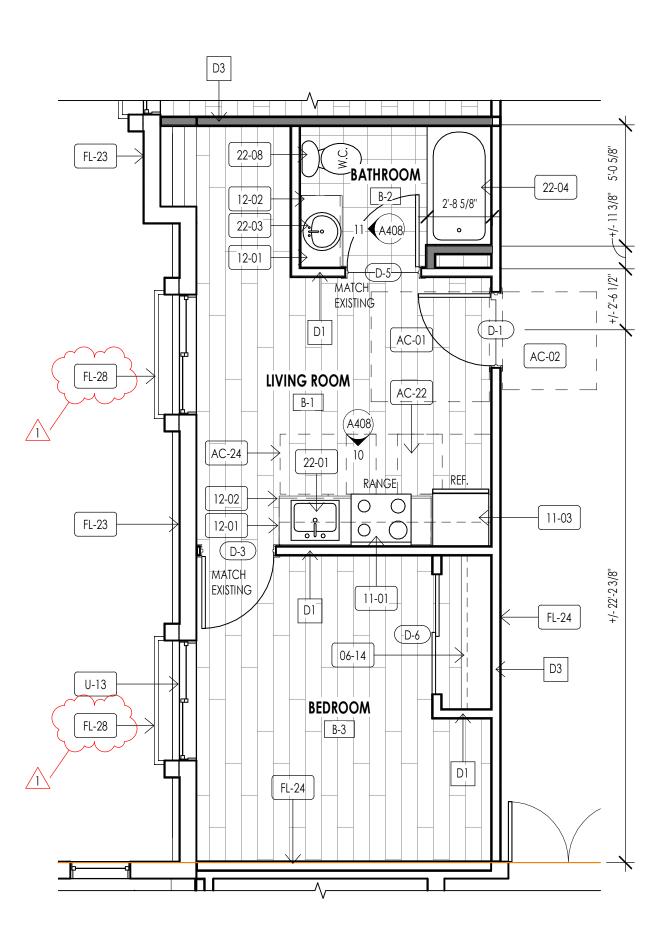


	EN	LARGE	D FLOC	OR PLAN LEC	GEND
		DESCRIPTION POURED IN PI CONCRETE W EXISTING WAI INTERIOR WHI	LACE /ALL LL/ NEW ERE SPECIFIED		DESCRIPTION CARPET TILE
1. ALL DIMENS 2. CEILING HE 3. SEE SHEET G 4. COORDINA SHEAR WALLS 5. COORDINA 6. COORDINA 7. ALL EXTERIO	SIONS ARE TO IN IGHTS MEASUR 5002 FOR PROJE TE WITH STRUC ETC. TE WITH BUILDE ATE WITH BLECT DR WALLS ARE A	NTERIOR FAC ED FROM EXI ECT GENERAL TURAL FRAMI ER/OWNER FO RICAL DRAW	E-OF-STUD (F.C. STING FLOOR L NOTES. REVIE ING PLANS AND DR ALL INTERIC 'INGS FOR ALL BE 2X6 STUD W	ERAL NOTES	RWISE. CONSTRUCTION. R LOCATIONS OF CO DATA REQUIREMENTS. DTED OTHERWISE.
ENLARGI HATCH PATTERN	ED REFL	ECTED TYPE CT-1 CT-2	DESCRIPTION		
C 8'-1 KEYN	<u>)"</u>	- CEILING T - HEIGHT	YPE	C1 SLOPED #	CEILING TYPE
06-14 11-01 11-03 12-01 12-02 22-01 22-03 22-04 22-08 28-06 28-07 AC-01 AC-02 AC-22 AC-24 CG-08 FL-23 FL-24 FL-28 U-00 U-04 U-13	30" 4 BURNER PROJECT MAN 28" - 30" WIDE MANUAL. BUILT IN CABIN COUNTERTOPS KITCHEN SINK BATHROOM L/ TYPICAL TUB FI WATER CLOSE HARD WIRED S HARD WIRED S HARD WIRED S HARD WIRED O ENTRY CLEAR/ A117.1-2009, T ENTRY CLEAR/ A117.1	RANGE/OVEN IUAL. REFRIGERATC IETRY AS PER S, AS PER OW & FAUCET. SE AVATORY & F XTURES, SURR T. SEE PLUMB MOKE DETEC CARBON MOI MOKE TO DWE BL. 404.2.3.1; ANCE TO DWE BL. 404.2.3.1; RE PARALLEL ANCE TO DWE BL. 404.2.3.1; RE PARALLEL C., 1106.5.2. FARALLEL AP .C., 1106.5.2. TO BE DETER RIOR FIRE-RAT D BE REPLACE SHALL REVIE SHALL REVIE ER ASSOCIAT	DDS. SEE DETAIL WITH FRONT C DR/FREEZER, FIEL OWNERS DETAIL NERS DETAILS & E PLUMBING DF AUCET. SEE PLU ROUND, AND FIN ING DRAWINGS CTOR. SEE ELECT NOXIDE DETECT ELLING UNIT/BUI I.B.C., 1105. ELLING UNIT/BUI I.B.C., 1105. APPROACH CLEAF RMINED BY OWN TED WALL. ED WALL. ED WALL. ED WALL. ED WALL. ED WALL. ED G.SHEETS D COORDINATE W	ENTRAL CONTROLS. ENER D VERIFY SIZE. ENERGY ST LS & SELECTIONS. SELECTIONS. RAWINGS & SCHEDULES. MBING DRAWINGS & SCH JISHES. SEE PLUMBING DR & SCHEDULES. RICAL DRAWINGS & PRO OR. SEE ELECTRICAL DRA LDING: FRONT APPROAC LDING: FRONT APPROAC EAR FLOOR SPACE, 30"X 48", NER AND MECHANICAL RI VER AND MECHANICAL RI LER. 42" MIN. HEIGHT. AWINGS FOR ALL FLOOR ETAILS	AR RATED. SEE SCHEDU HEDULES. AWINGS. JECT MANUAL. WINGS & PROJECT MA H, PULL SIDE 54"X 60", A H, PUSH SIDE 48"X 60", A

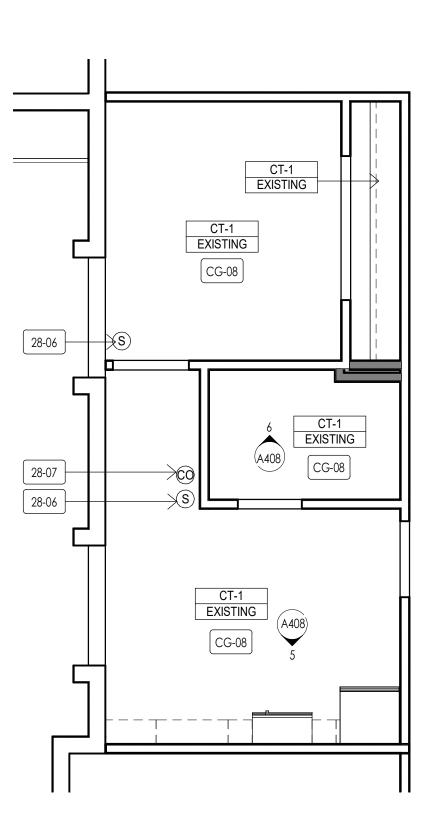


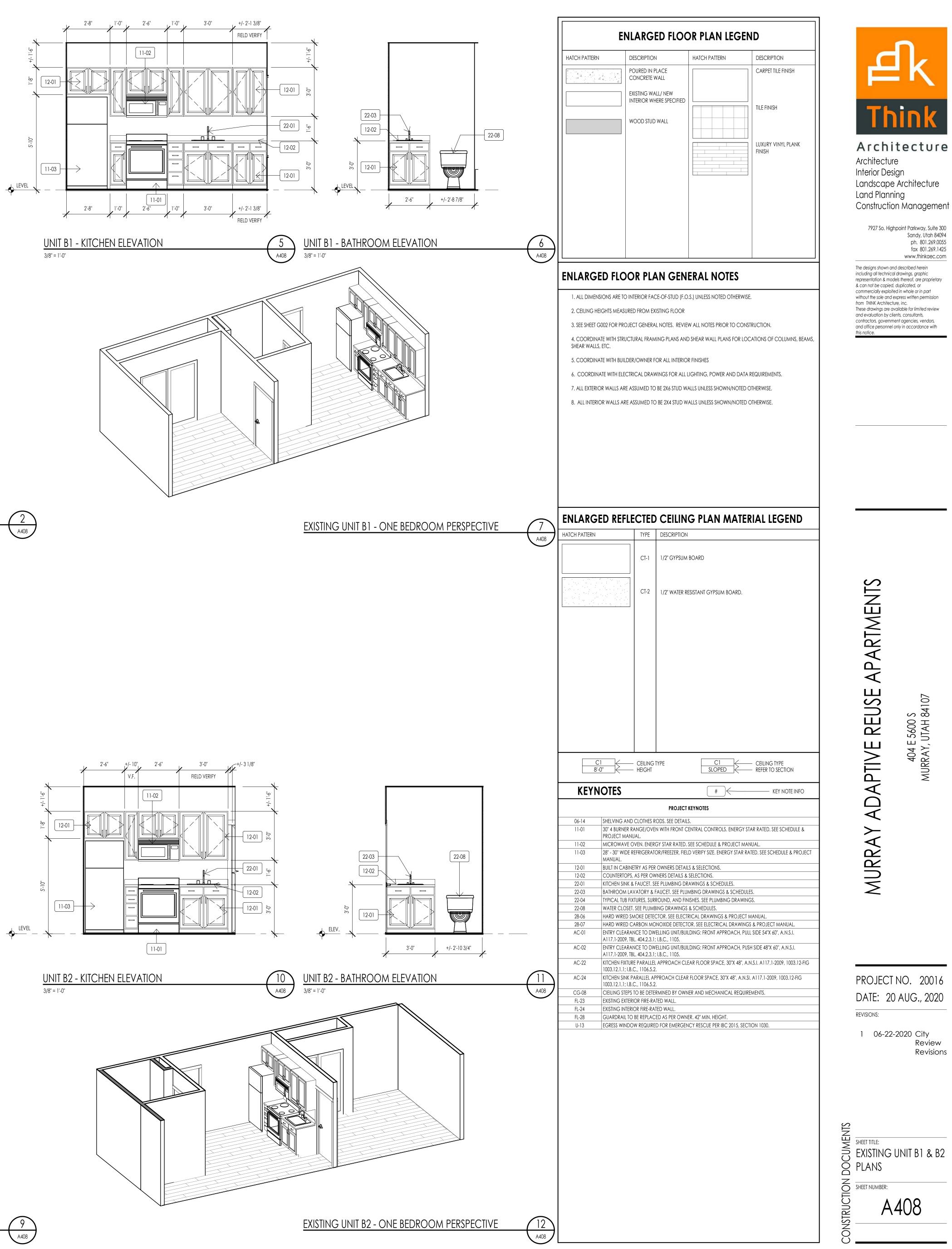


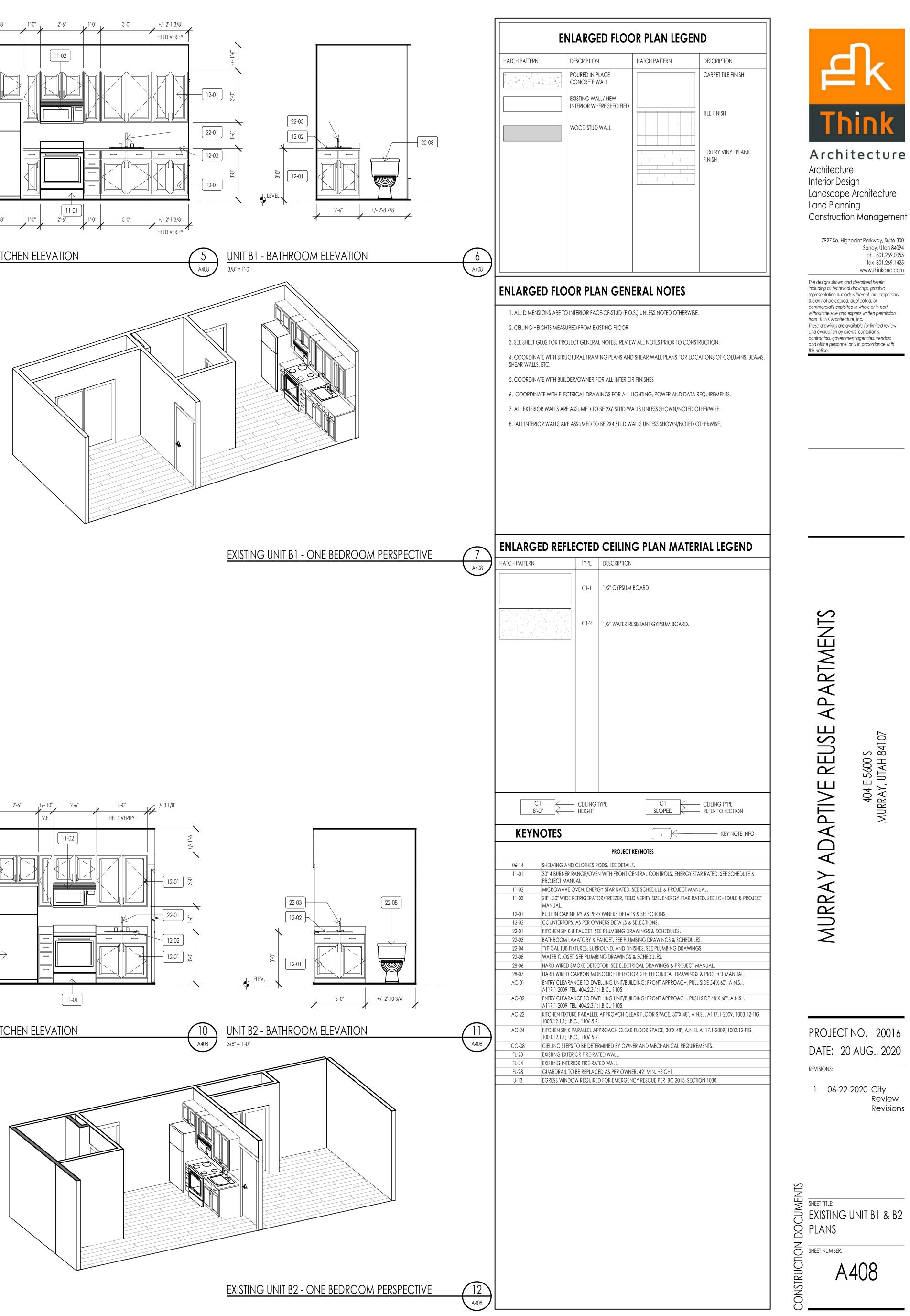




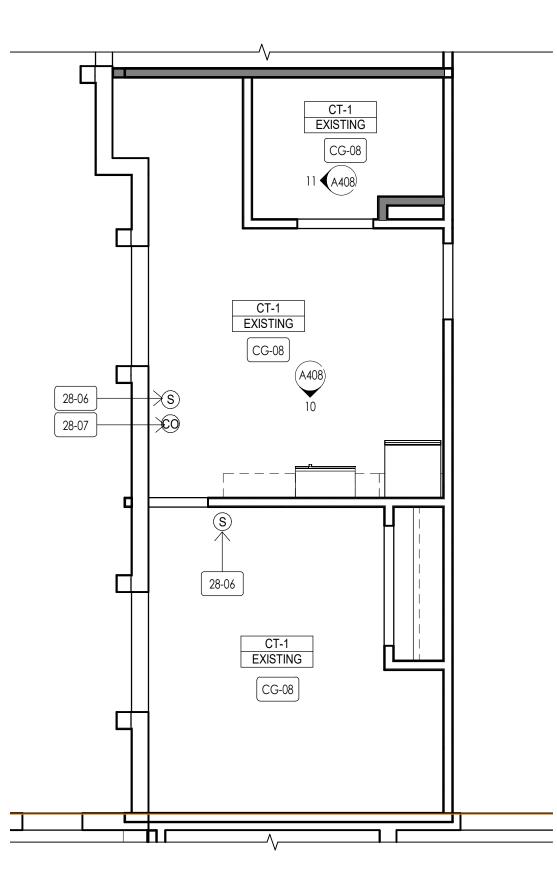


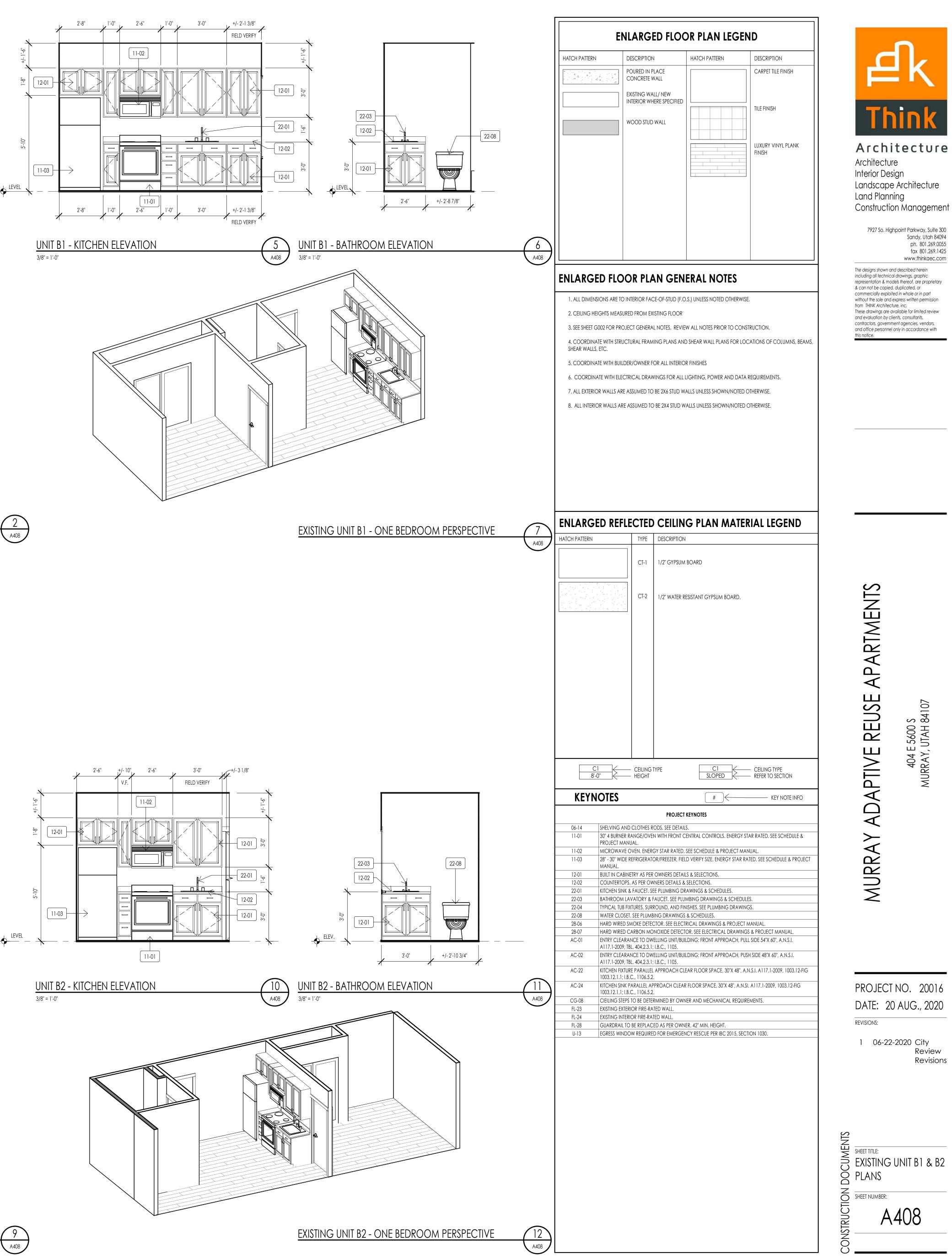


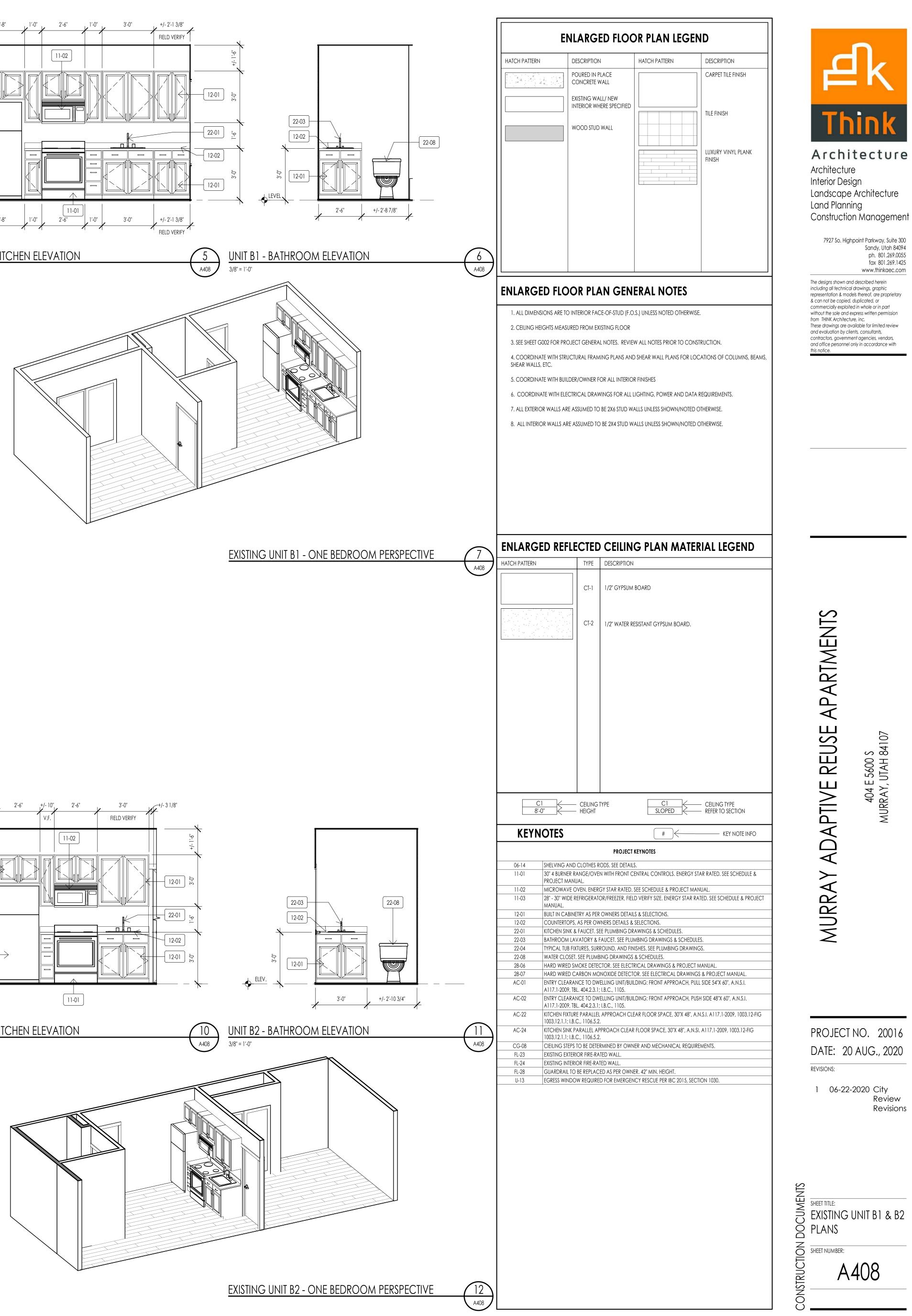


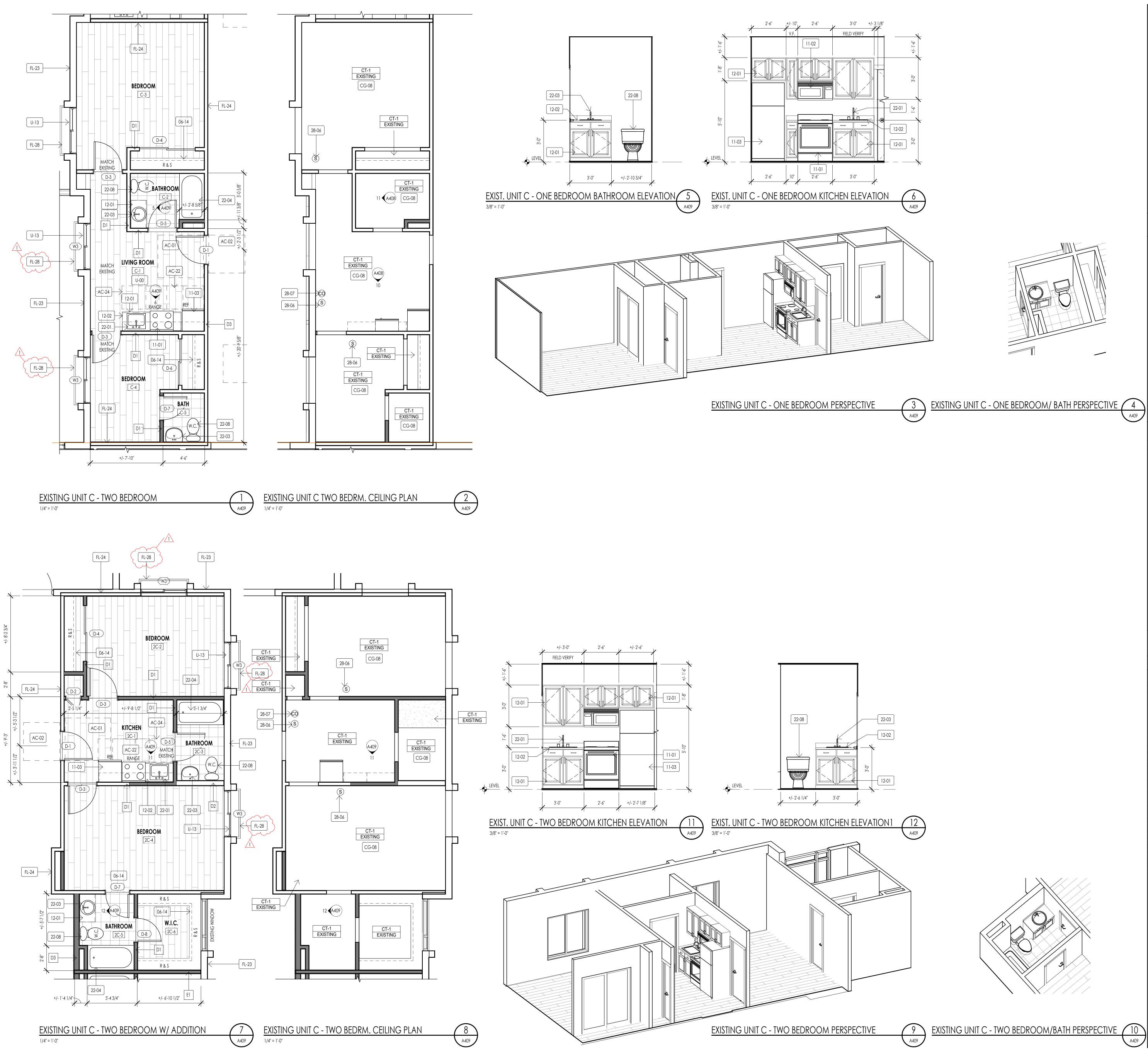


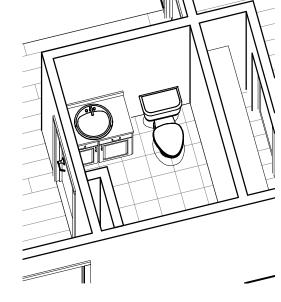
EXISTING UNIT B1 ONE BEDRM. CEILING PLAN	
1/4" = 1'-0"	







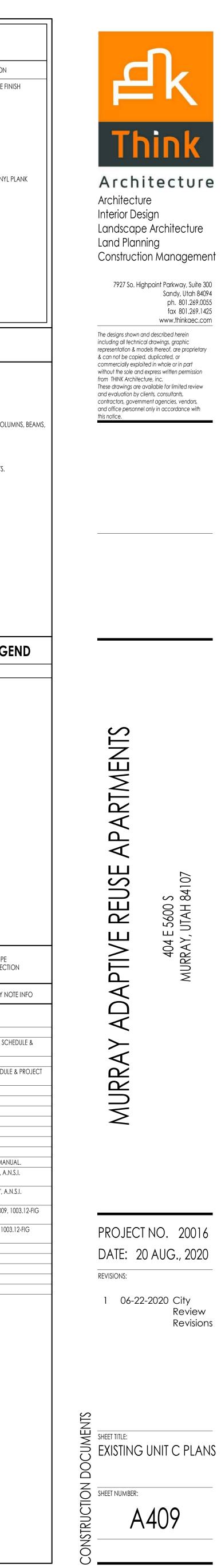


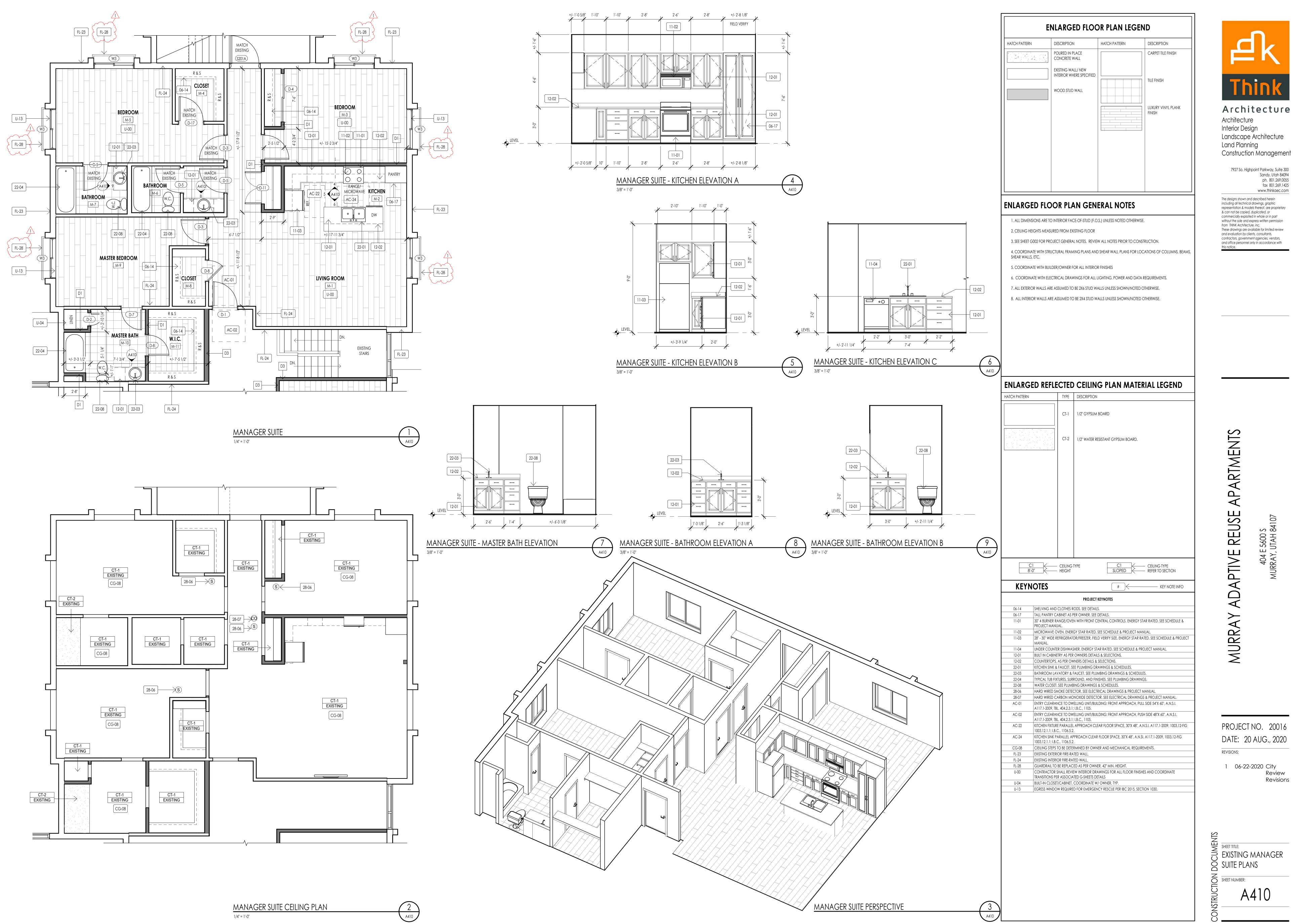


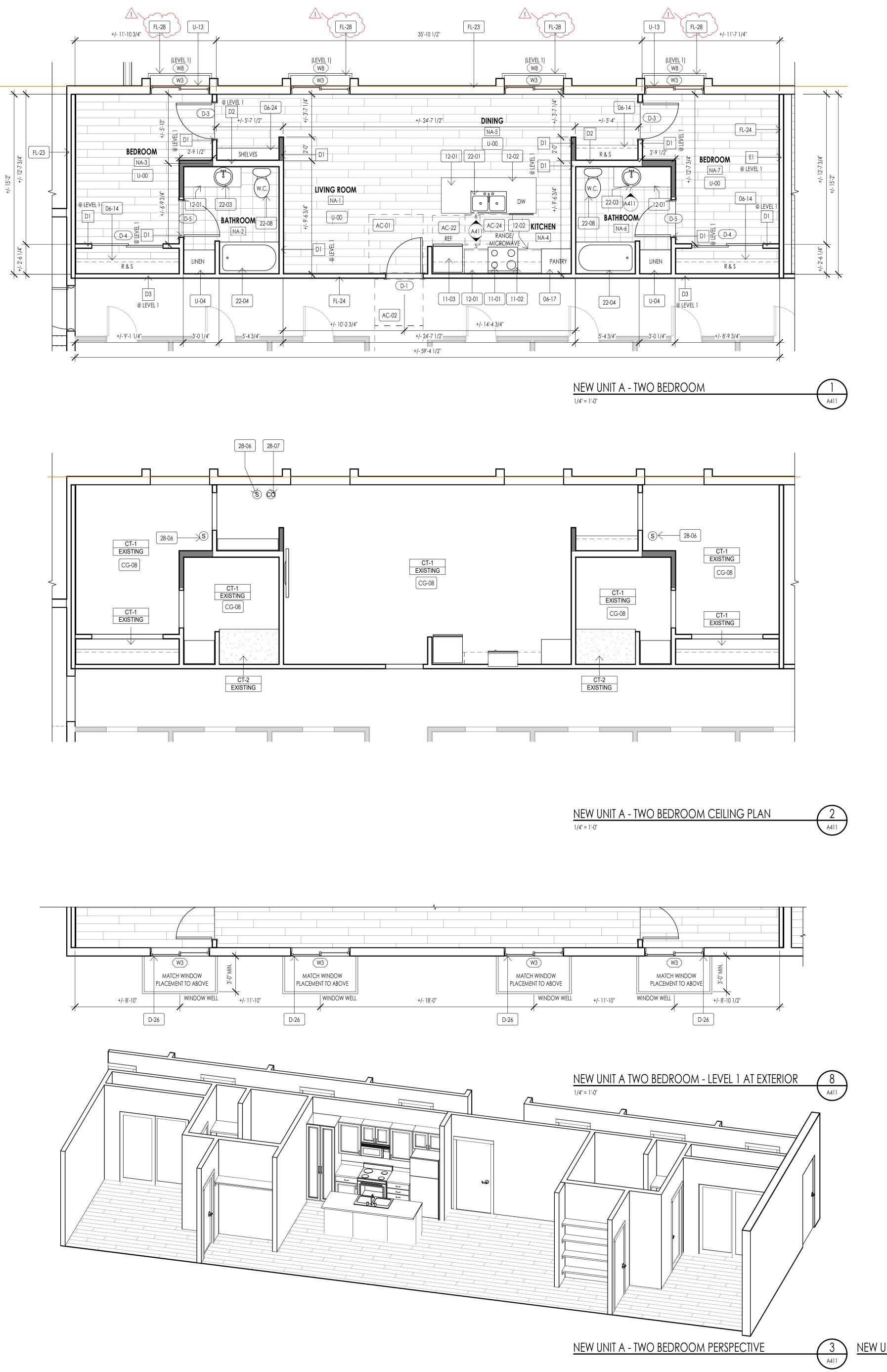
El	NLARGED FLOC	OR PLAN LEGEN	D
HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
	POURED IN PLACE CONCRETE WALL EXISTING WALL/ NEW INTERIOR WHERE SPECIFIED WOOD STUD WALL		CARPET TILE F
ENLARGED FLC	OR PLAN GEN	ERAL NOTES	
1. ALL DIMENSIONS ARE TO	D INTERIOR FACE-OF-STUD (F.O	.s.) UNLESS NOTED OTHERWISE.	

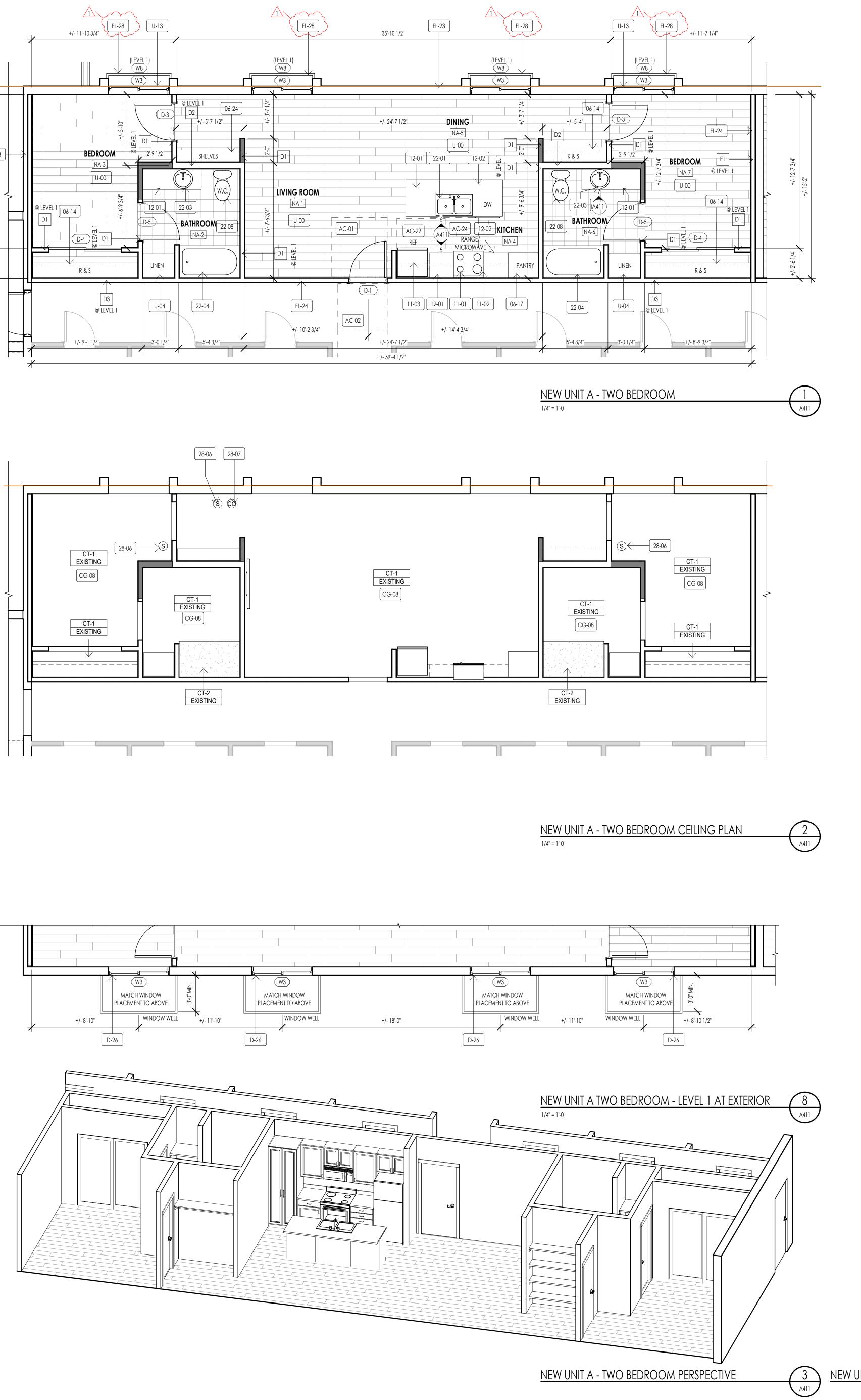
- 2. CEILING HEIGHTS MEASURED FROM EXISTING FLOOR
- 3. SEE SHEET G002 FOR PROJECT GENERAL NOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
- 4. COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
- 5. COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES
- 6. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
- 7. ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
- 8. ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.

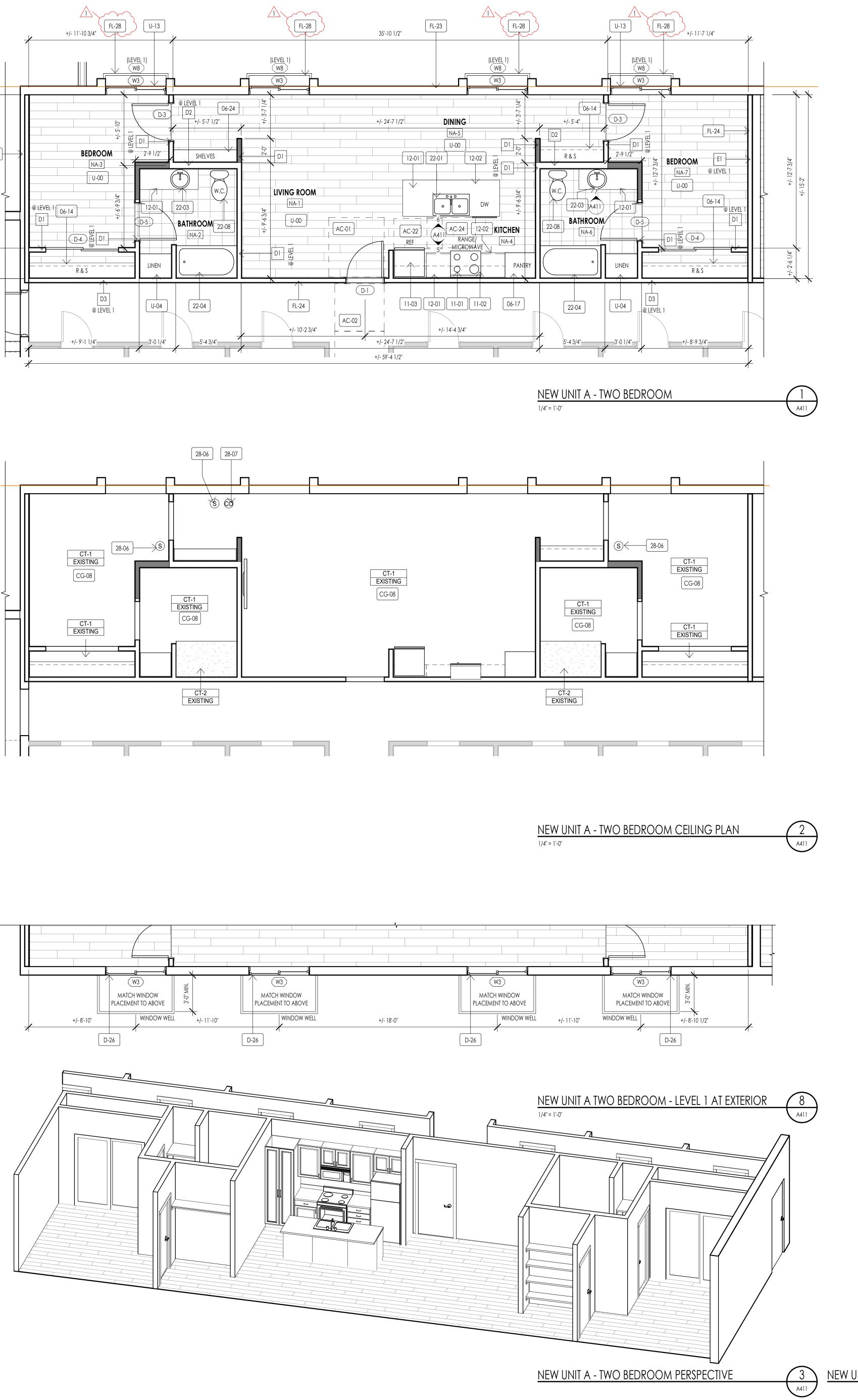
		TYPE	DESCRIPTION
		CT-1	1/2" GYPSUM BOARD
		CT-2	1/2" WATER RESISTANT GYPSUM BOARD.
	C1 3'-0"	CEILING HEIGHT	TYPE C1 CEILING TYPE SLOPED REFER TO SECT
KEYI	NOTES		# KEY N
			PROJECT KEYNOTES
06-14			20DS. SEE DETAILS. IN WITH FRONT CENTRAL CONTROLS. ENERGY STAR RATED. SEE SC
11-02			GY STAR RATED. SEE SCHEDULE & PROJECT MANUAL.
11-02			OR/FREEZER, FIELD VERIFY SIZE. ENERGY STAR RATED. SEE SCHEDUL
10.01	MANUAL.		
12-01			R OWNERS DETAILS & SELECTIONS. VNERS DETAILS & SELECTIONS.
22-01			EE PLUMBING DRAWINGS & SCHEDULES.
22-03	BATHROOM LA	VATORY &	FAUCET. SEE PLUMBING DRAWINGS & SCHEDULES.
22-04			ROUND, AND FINISHES. SEE PLUMBING DRAWINGS.
22-08			BING DRAWINGS & SCHEDULES.
28-06		-	CTOR. SEE ELECTRICAL DRAWINGS & PROJECT MANUAL.
28-07 AC-01			DNOXIDE DETECTOR. SEE ELECTRICAL DRAWINGS & PROJECT MAN /ELLING UNIT/BUILDING: FRONT APPROACH, PULL SIDE 54"X 60", A.
	A117.1-2009, TB		
AC-02			/ELLING UNIT/BUILDING: FRONT APPROACH, PUSH SIDE 48"X 60", A
	A117.1-2009, TB		
AC-22			LAPPROACH CLEAR FLOOR SPACE, 30"X 48", A.N.S.I. A117.1-2009,
AC-24	1003.12.1.1; I.B.		 PPROACH CLEAR FLOOR SPACE, 30"X 48", A.N.SI. A117.1-2009, 100
AC-24	1003.12.1.1; I.B.		
CG-08			RMINED BY OWNER AND MECHANICAL REQUIREMENTS.
FL-23	EXISTING EXTER	OR FIRE-RA	TED WALL.
	EXISTING INTERI	OR FIRE-RA	TED WALL.
FL-24	GUARDRAIL TO	BE REPLAC	ED AS PER OWNER. 42" MIN. HEIGHT.
FL-24 FL-28			D FOR EMERGENCY RESCUE PER IBC 2015, SECTION 1030.

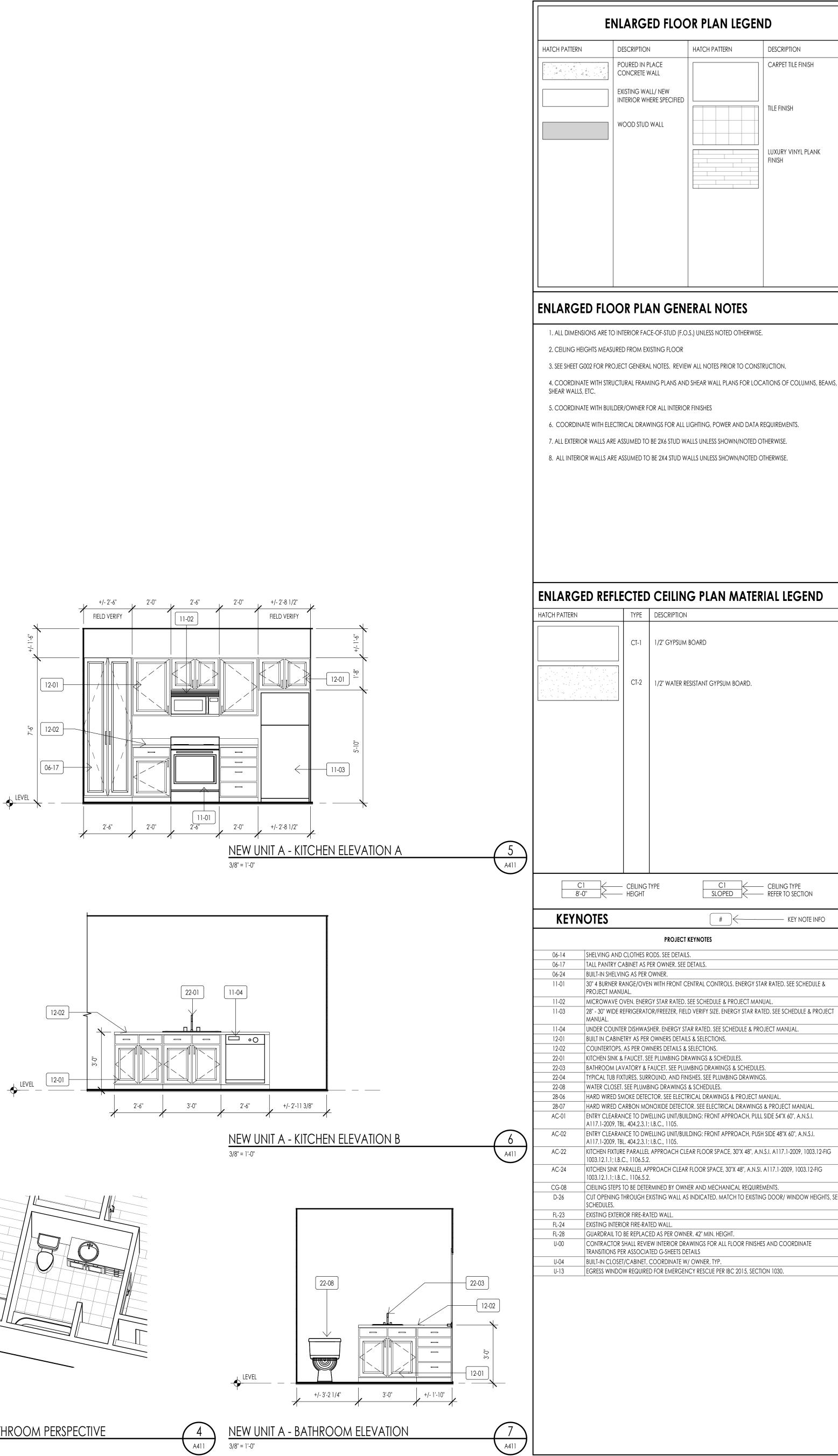


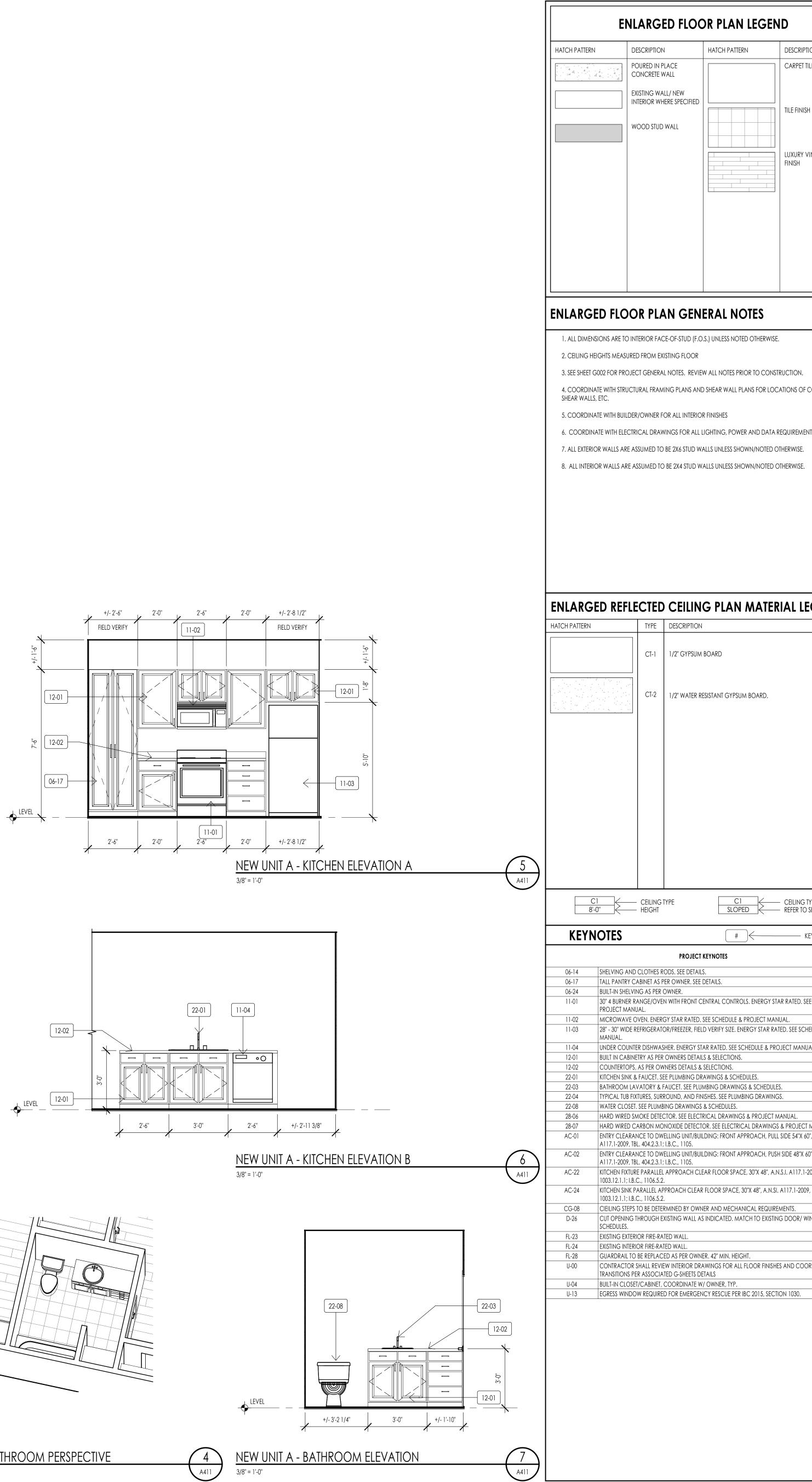


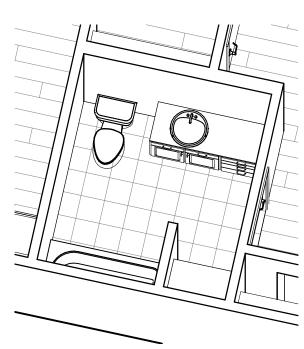


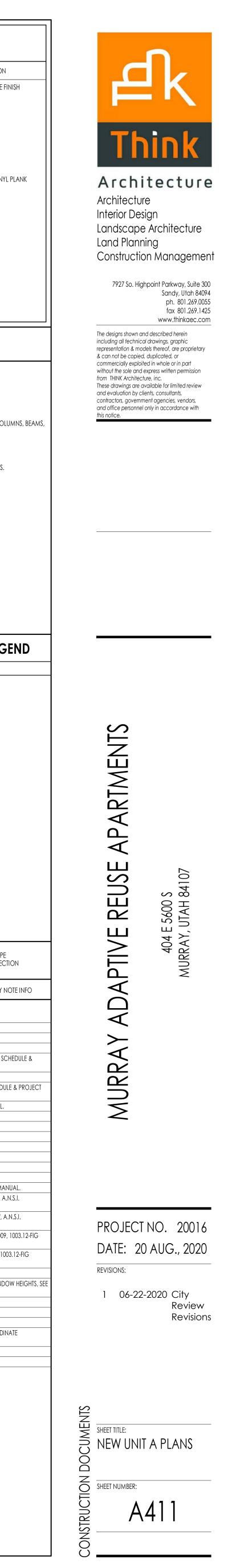


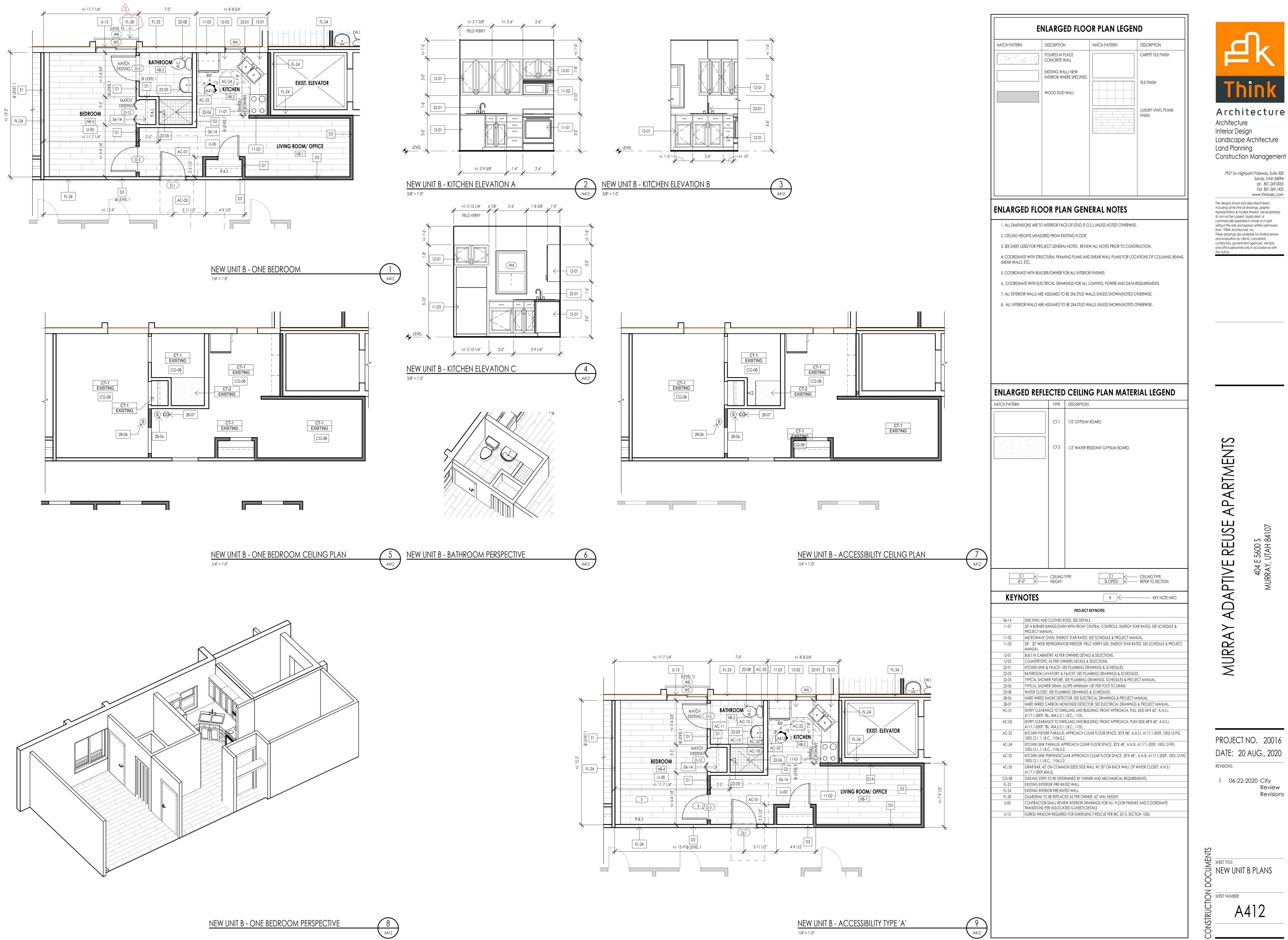


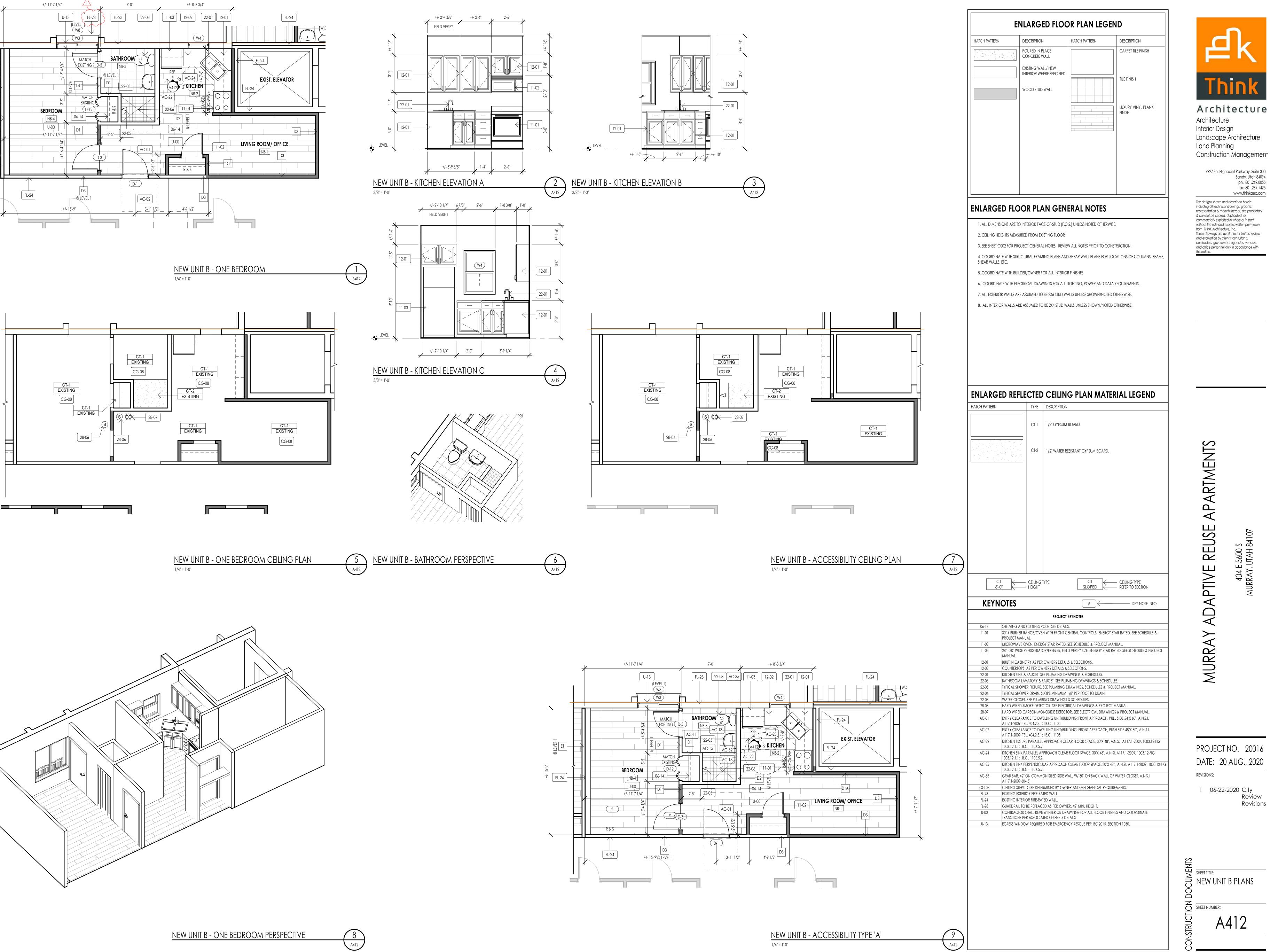


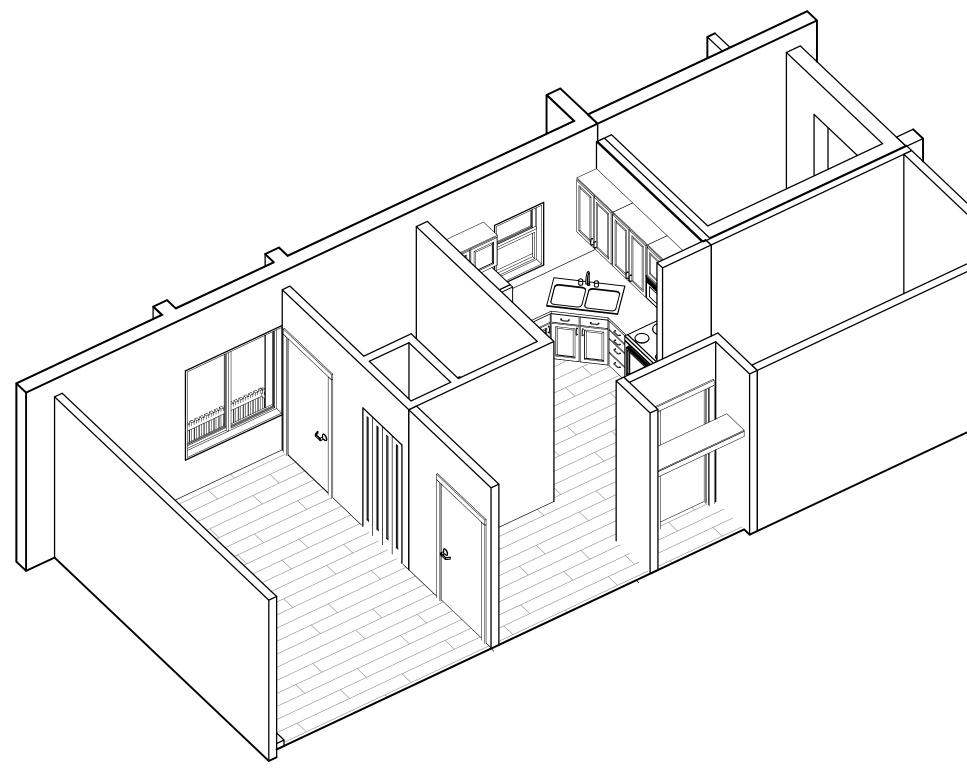


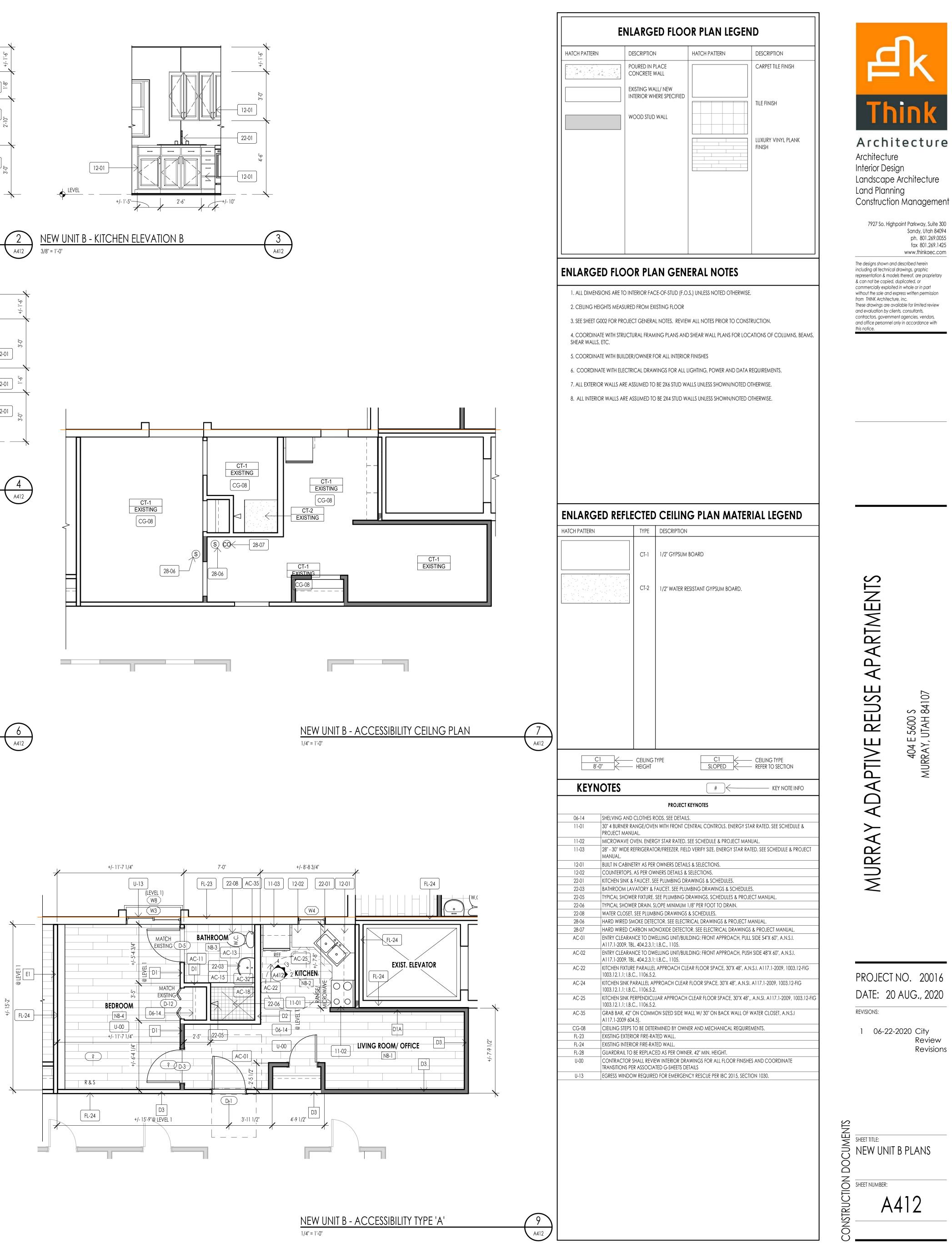


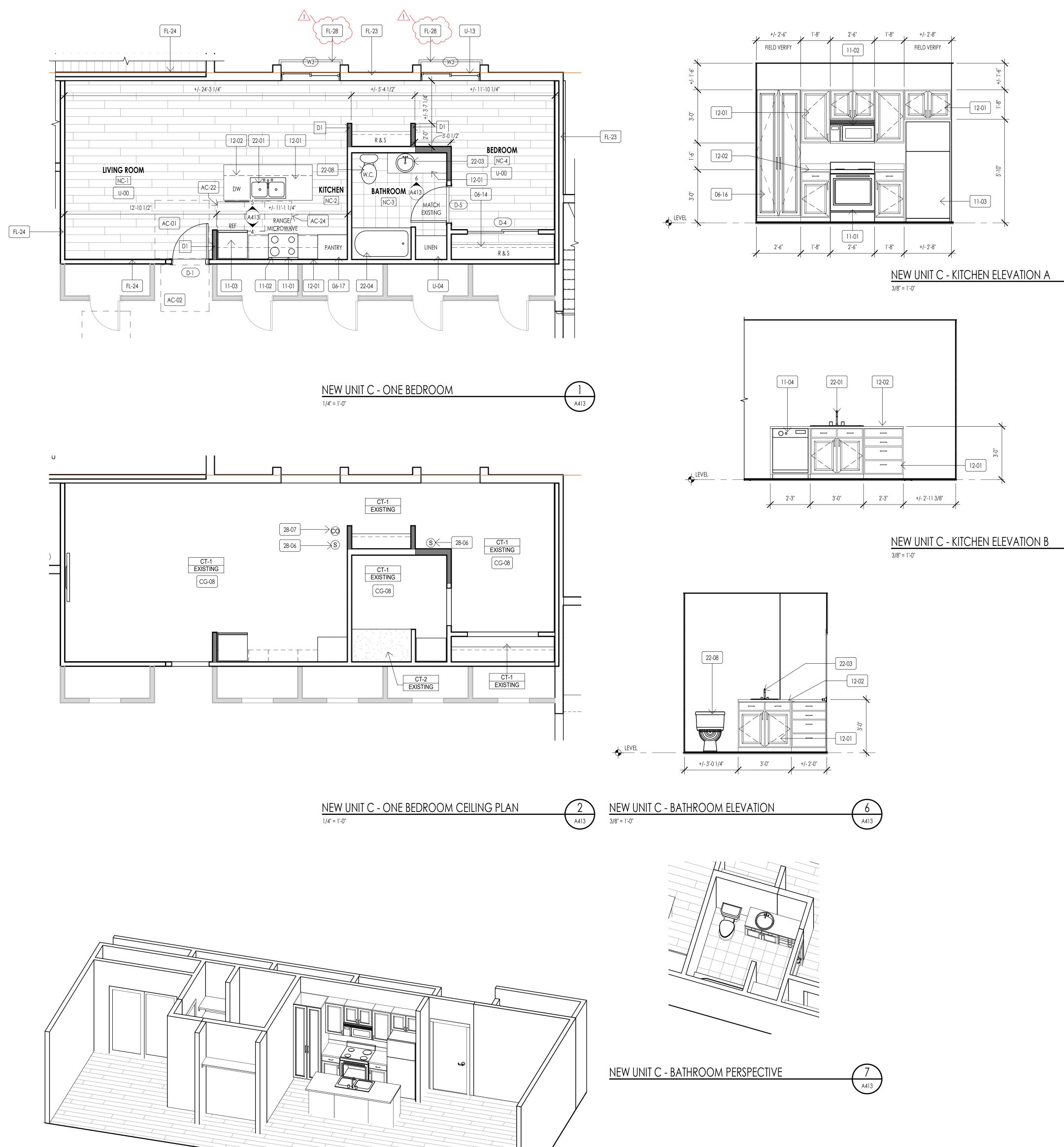


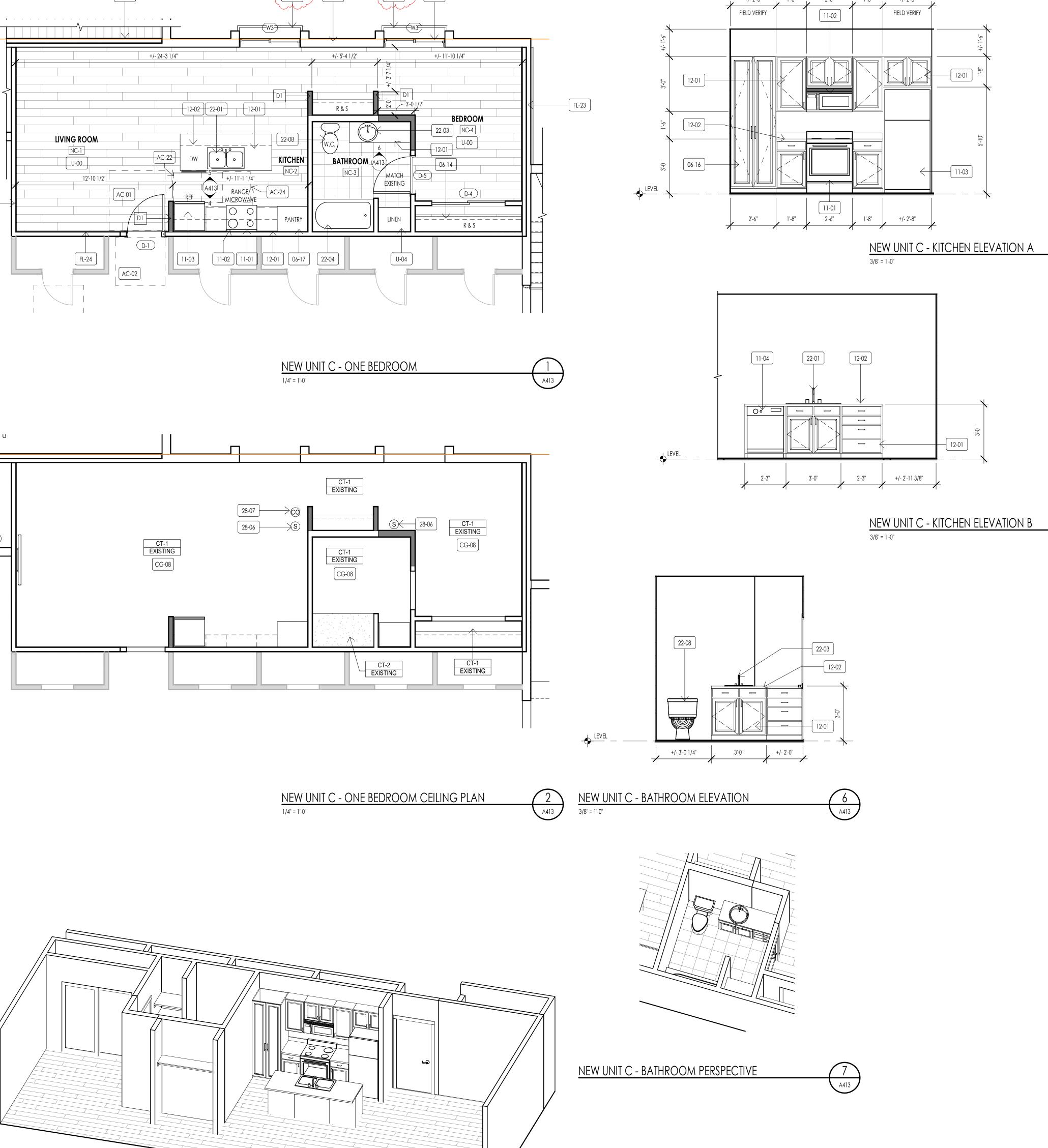


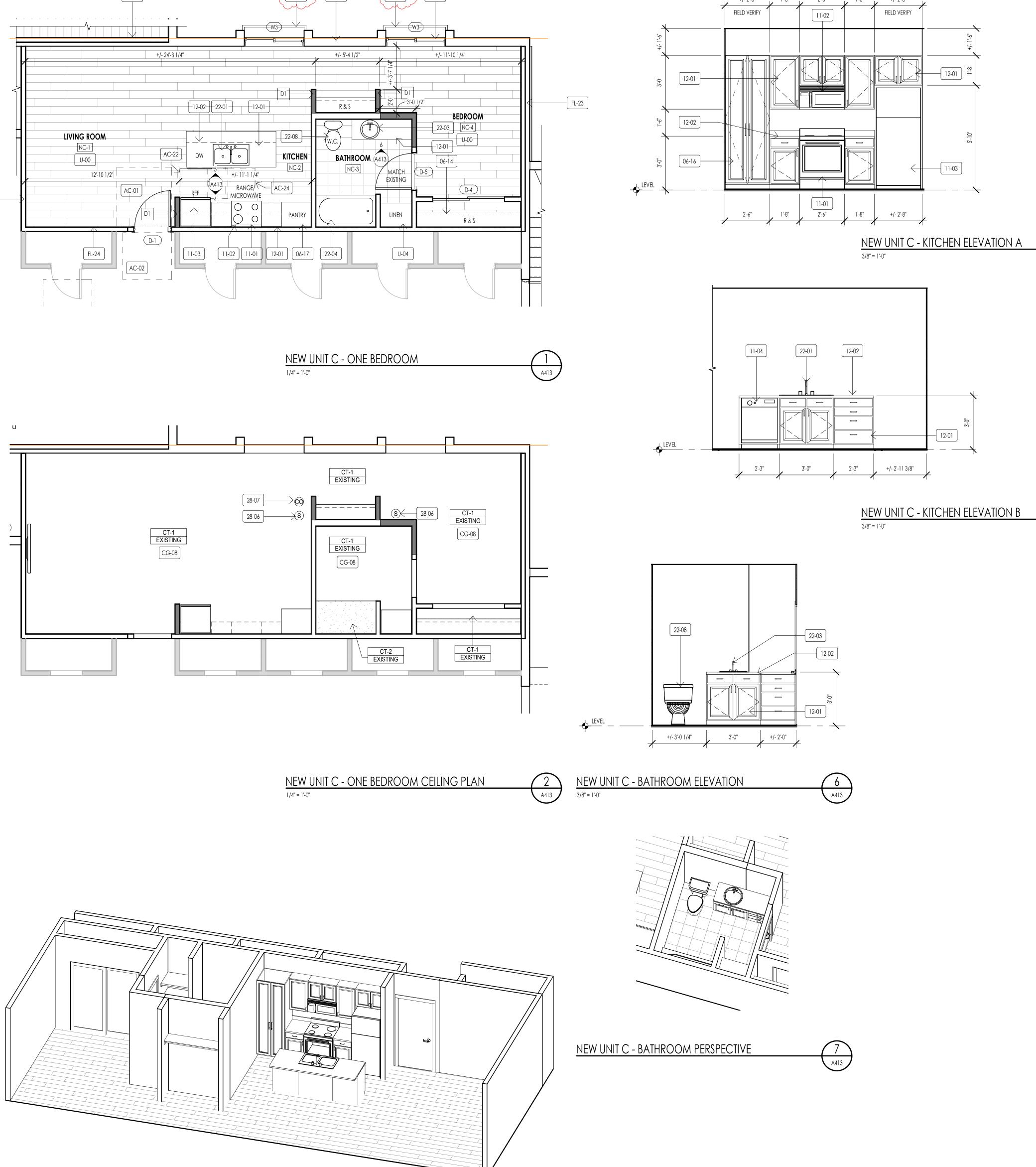












<u>A413</u>

HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
	POURED IN PLACE CONCRETE WALL		CARPET TILE F
	EXISTING WALL/ NEW INTERIOR WHERE SPECIFIED		TILE FINISH
	wood stud wall		
			LUXURY VINY FINISH
ENLARGED FLC	OR PLAN GEN	ERAL NOTES	
1. ALL DIMENSIONS ARE TO) INTERIOR FACE-OF-STUD (F.O	.S.) UNLESS NOTED OTHERWISE.	
2. CEILING HEIGHTS MEAS	ured from existing floor		
3. SEE SHEET G002 FOR PRO	oject general notes. Revie	W ALL NOTES PRIOR TO CONST	RUCTION.

- 4. COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
- 5. COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES

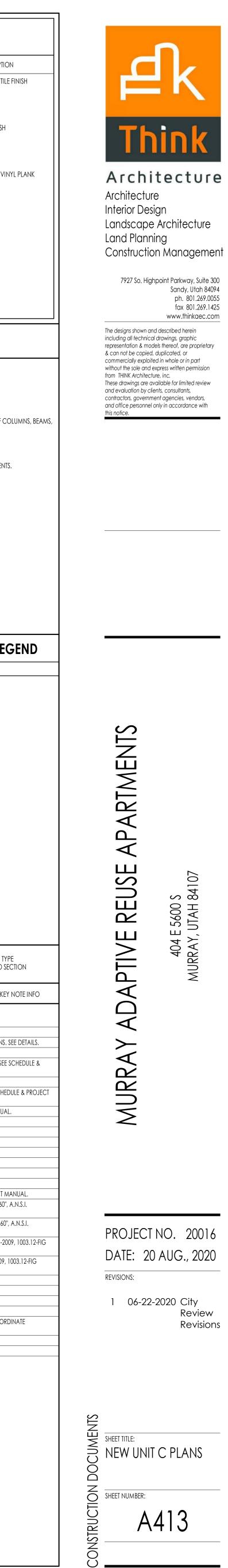
4 A413

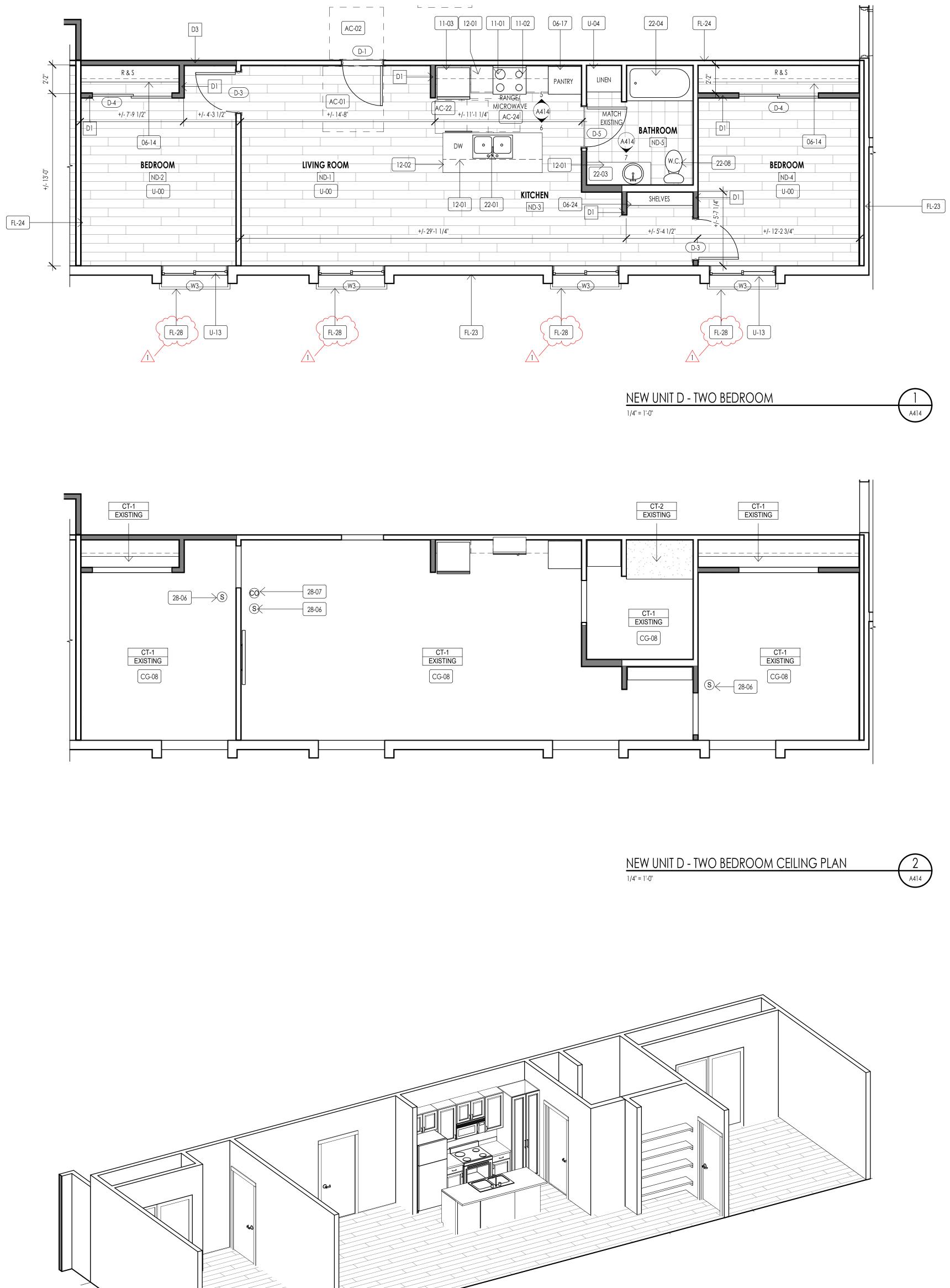
5 A413

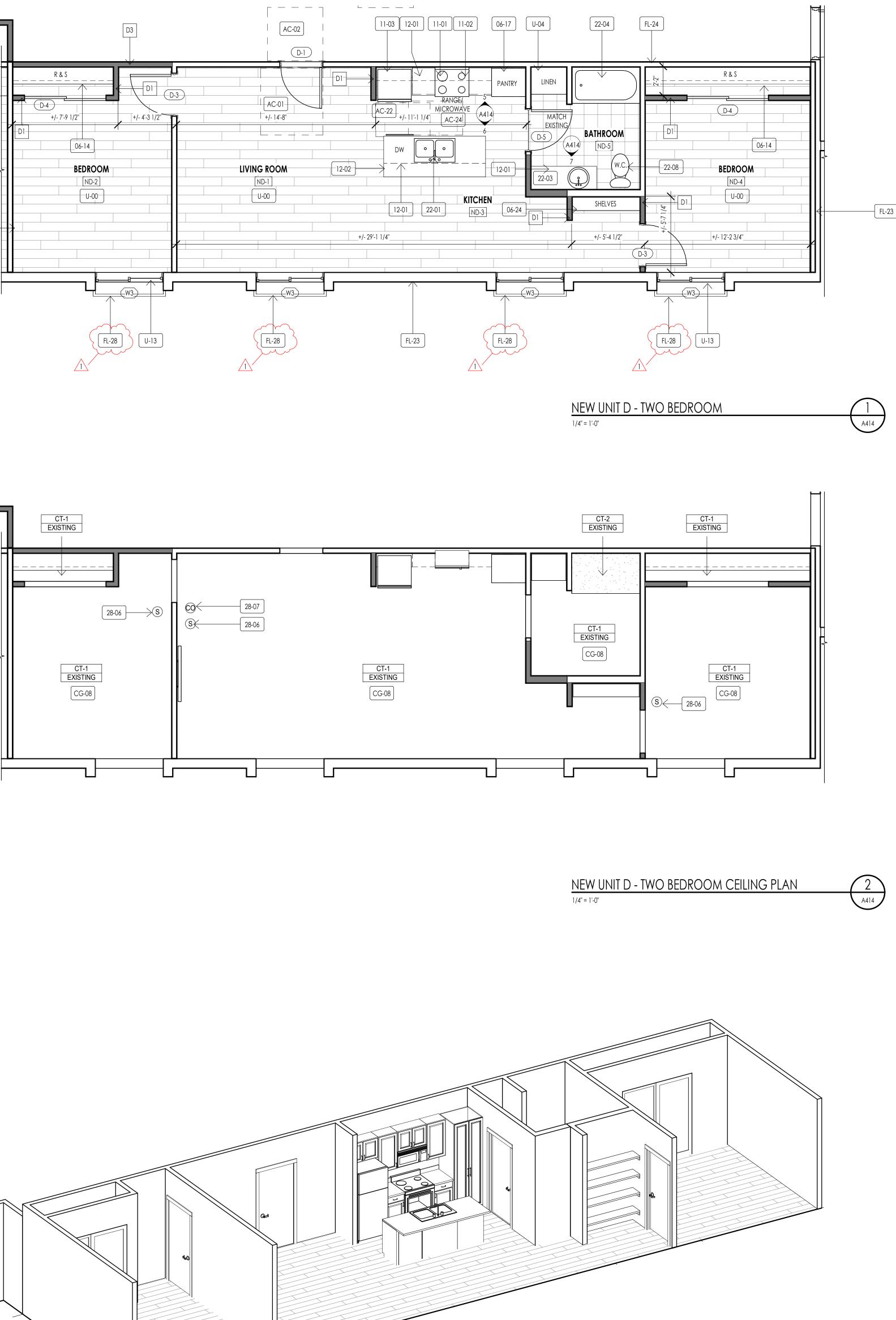
- 6. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
- 7. ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
- 8. ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.

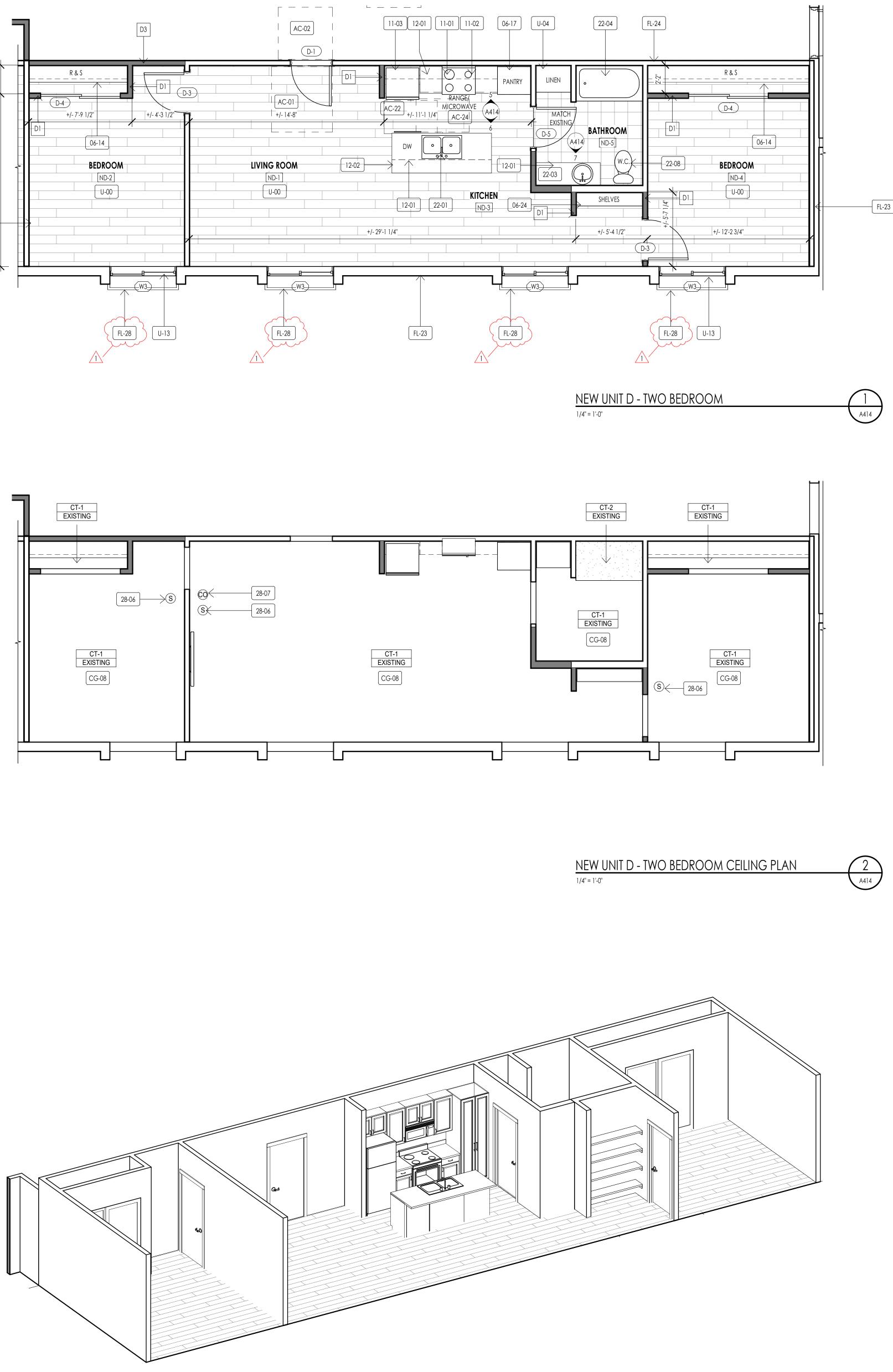
ENLARGED REFLECTED CEILING PLAN MATERIAL LEGEND

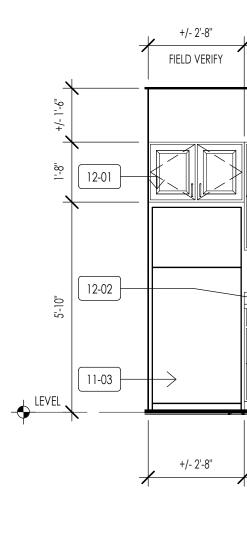
HATCH PATTERN		TYPE	DESCRIPTION		
		CT-1	1/2" GYPSUM BOARI)	
		CT-2	1/2" WATER RESISTAN	NT GYPSUM BOARD.	
C 8'-(CEILING ⁻ HEIGHT	IYPE	C1 SLOPED	 CEILING TYPE REFER TO SEC
	`````````````````````````````````			· · · · · · · · · · · · · · · · · · ·	
KEYN	OTES			#	KEY N
			PROJECT KEYNO	TES	
06-14	SHELVING AND	CLOTHES R	ods. see details.		
06-16	TALL CABINET TO	O HAVE STA	CKED OVEN/ MICROW		IENT FOR PANS. SE
06-17	_				
	TALL PANTRY CABINET AS PER OWNER. SEE DETAILS. 30" 4 BURNER RANGE/OVEN WITH FRONT CENTRAL CONTROLS. ENERGY STAR RATED. SEE SC PROJECT MANUAL. MICROWAVE OVEN. ENERGY STAR RATED. SEE SCHEDULE & PROJECT MANUAL. 28" - 30" WIDE REFRIGERATOR/FREEZER, FIELD VERIFY SIZE. ENERGY STAR RATED. SEE SCHEDU MANUAL.				
11-02	PROJECT MANUAL. MICROWAVE OVEN. ENERGY STAR RATED. SEE SCHEDULE & PROJECT MANUAL. 28" - 30" WIDE REFRIGERATOR/FREEZER, FIELD VERIFY SIZE. ENERGY STAR RATED. SEE SCHEDU				
	MANUAL.				
11-04			HER. ENERGY STAR RAT		COJECT MANUAL.
12-02			NERS DETAILS & SELECT		
22-01 22-03			EE PLUMBING DRAWING FAUCET. SEE PLUMBING		LES.
22-04	TYPICAL TUB FIX	TURES, SURI	Round, and finishes.	SEE PLUMBING DRAWIN	
22-08 28-06			ING DRAWINGS & SCH		MANIIAI
28-07			NOXIDE DETECTOR. SEE		
AC-01	ENTRY CLEARAN A117.1-2009, TB		ELLING UNIT/BUILDING: I.B.C., 1105.	FRONT APPROACH, PU	LL SIDE 54"X 60", A
AC-02	ENTRY CLEARAN	ICE TO DW	ELLING UNIT/BUILDING:	FRONT APPROACH, PU	SH SIDE 48"X 60", A
AC-22	A117.1-2009, TB KITCHEN FIXTUR		APPROACH CLEAR FLC	DOR SPACE, 30"X 48", A	N.S.I. A117.1-2009
AC-24	1003.12.1.1; I.B.		PROACH CLEAR FLOOI	2 (PACE 30"Y 48" A NI	
70-24	1003.12.1.1; I.B.(				JI. ATT7.1-2007, TO
CG-08 FL-23	CIEILING STEPS		RMINED BY OWNER ANI	D MECHANICAL REQUI	REMENTS.
FL-24					
FL-28		-	ED AS PER OWNER, 42"		
U-00			EW INTERIOR DRAWING TED G-SHEETS DETAILS	S FOR ALL FLOOR FINISF	HES AND COORDIN
U-04			COORDINATE W/ OWN		
U-13	EGRESS WINDO	W REQUIRE	D FOR EMERGENCY RES	SCUE PER IBC 2015, SEC	,110N 1030.

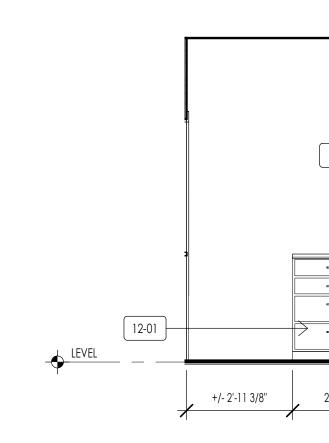


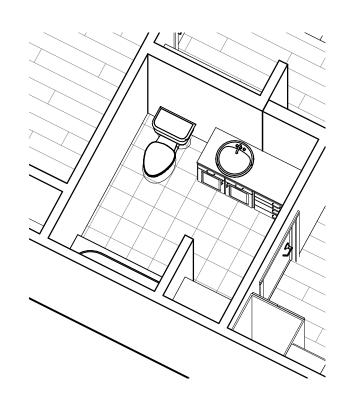


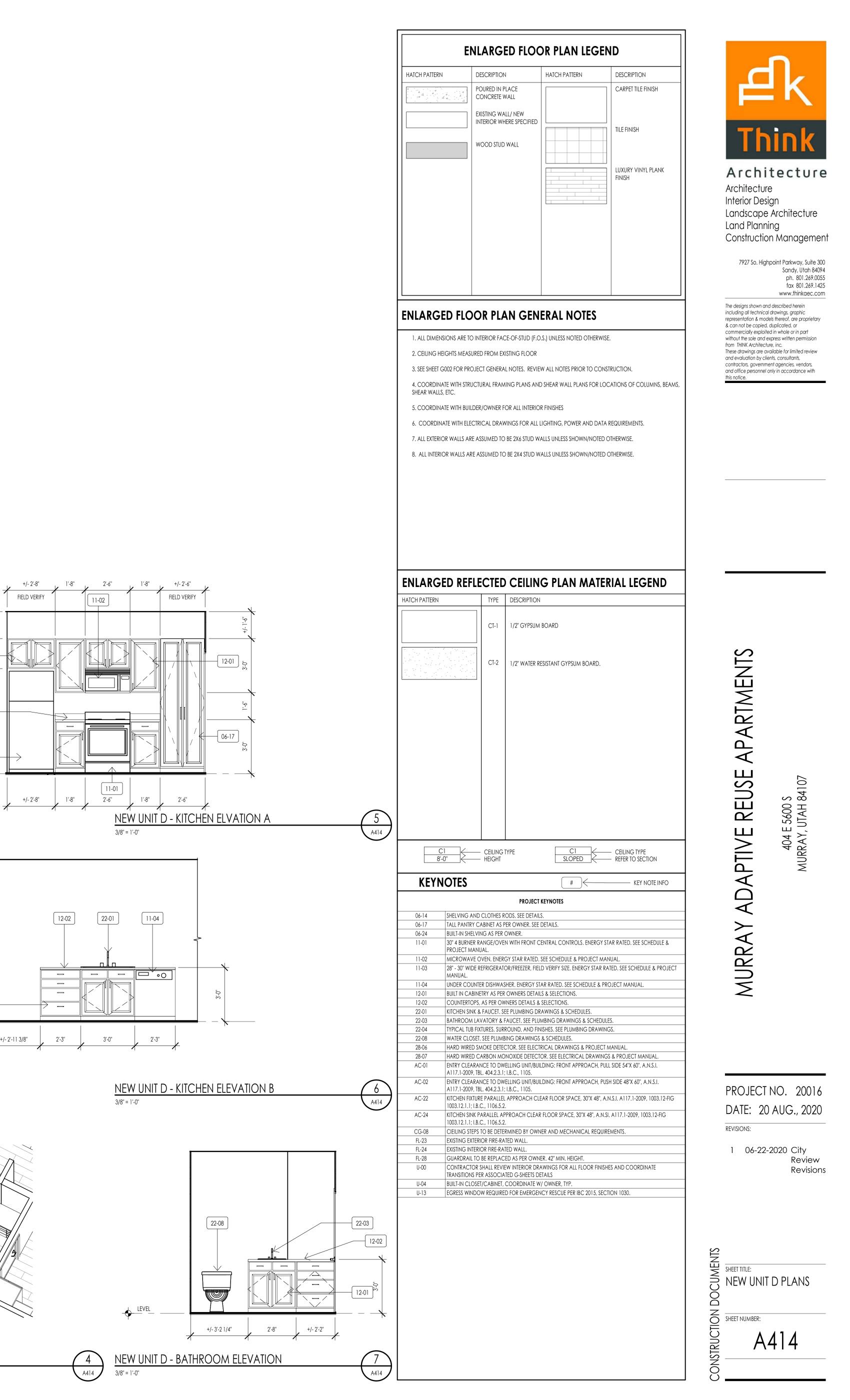


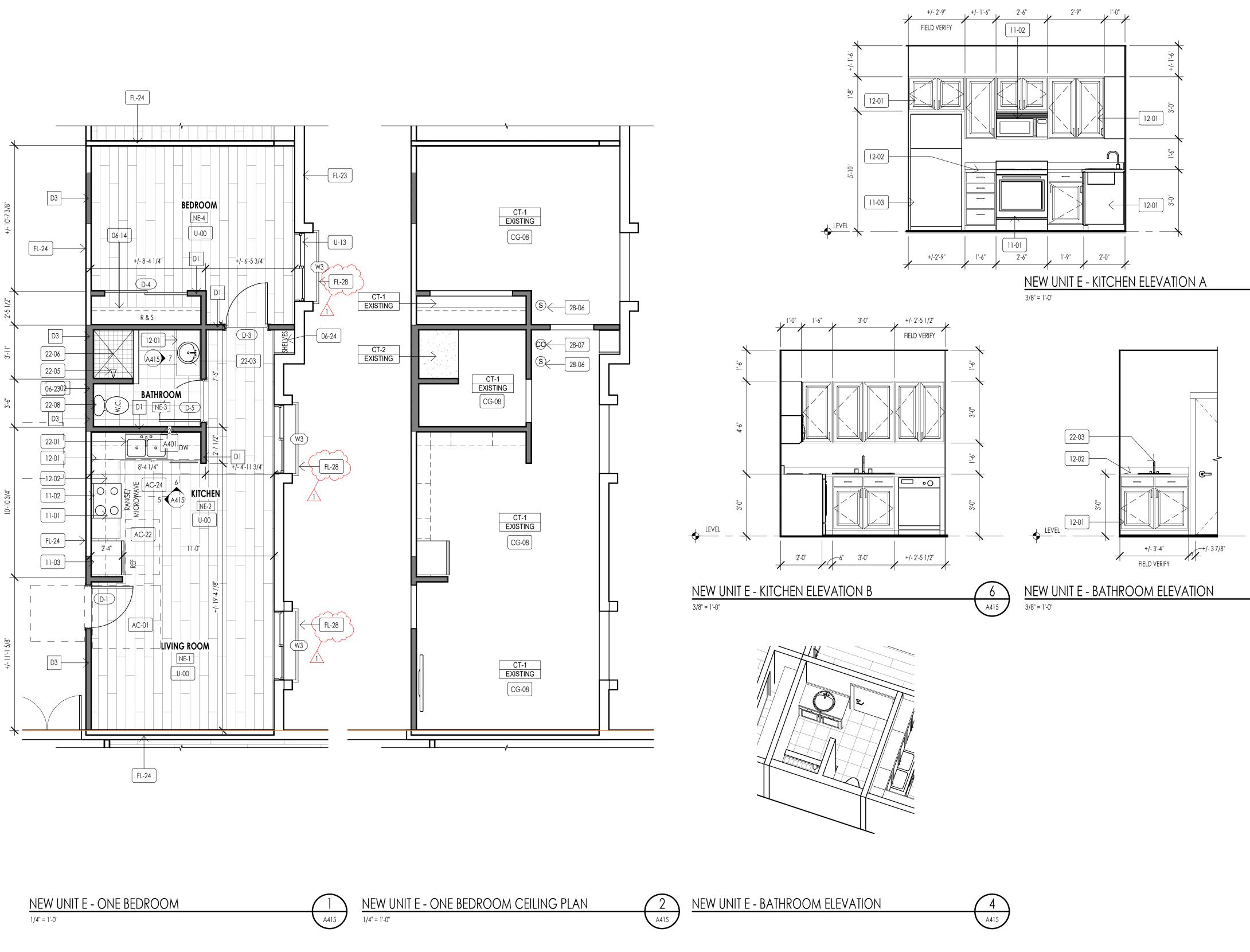


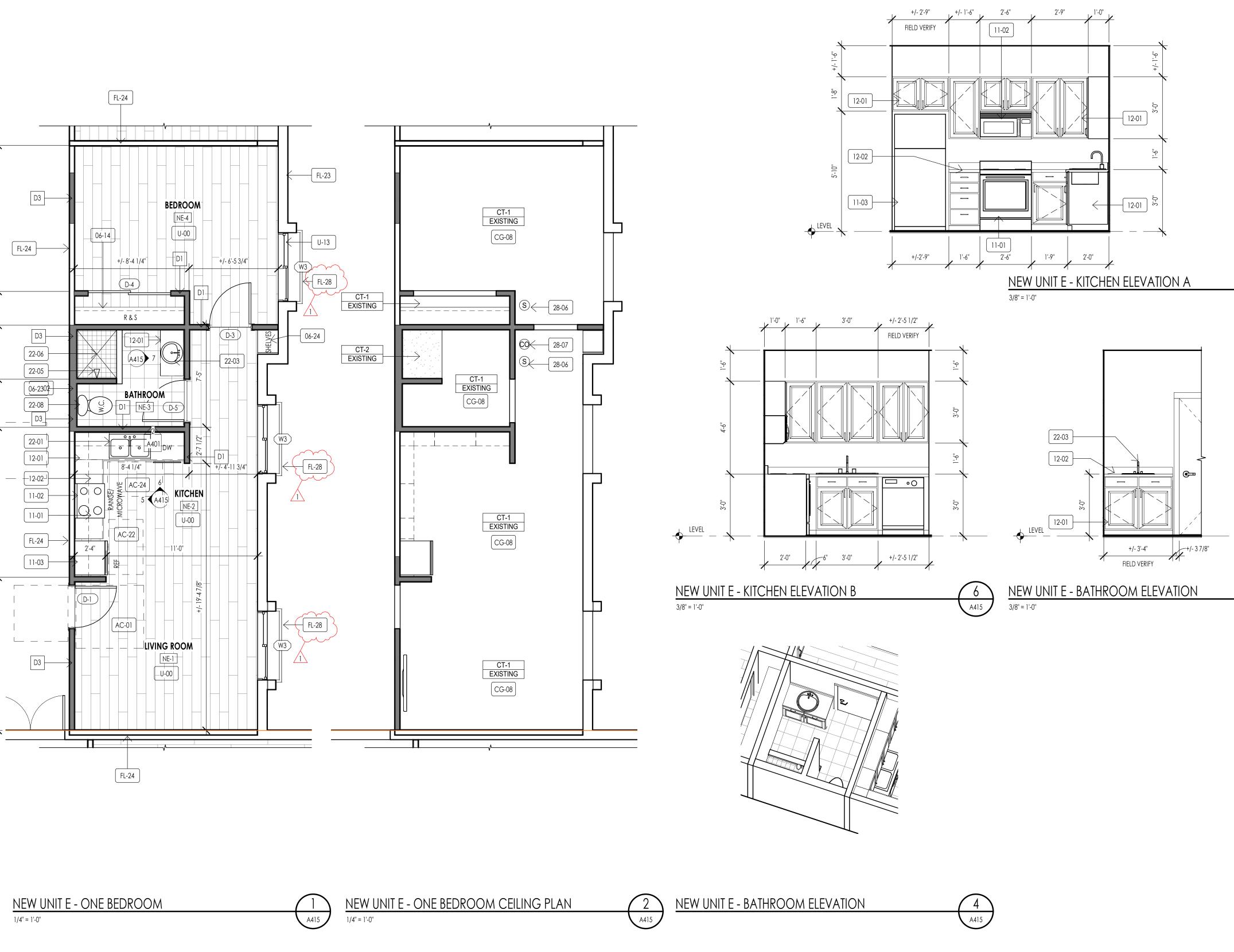


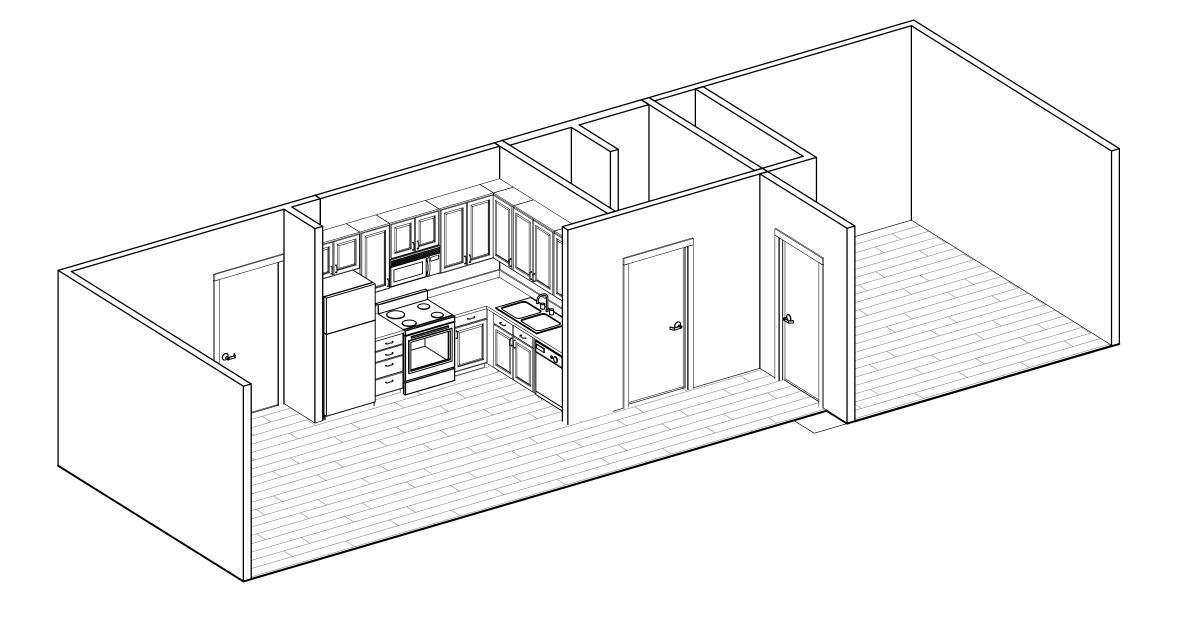












HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
	POURED IN PLACE CONCRETE WALL		CARPET TILE F
	EXISTING WALL/ NEW INTERIOR WHERE SPECIFIED		TILE FINISH
	wood stud wall		
			LUXURY VINY FINISH
ENLARGED FLC	OR PLAN GEN	ERAL NOTES	
1. ALL DIMENSIONS ARE TO	D INTERIOR FACE-OF-STUD (F.O	.s.) UNLESS NOTED OTHERWISE.	
2. CEILING HEIGHTS MEAS	ured from existing floor		
3. SEE SHEET G002 FOR PRO	OJECT GENERAL NOTES. REVIE	W ALL NOTES PRIOR TO CONST	RUCTION.

- 4. COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
- 5. COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES

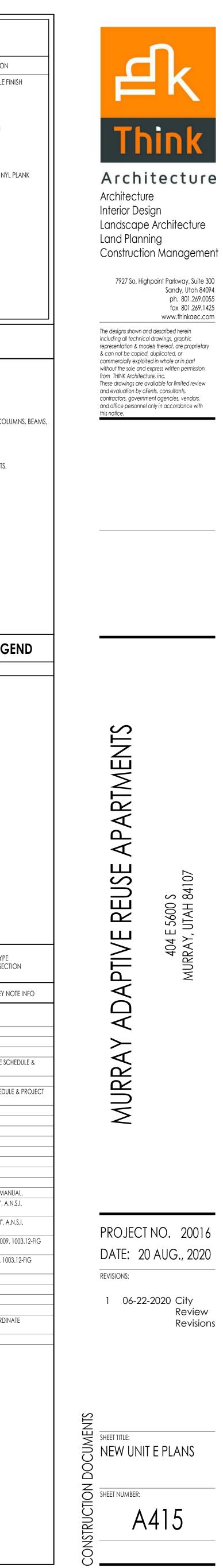
A415

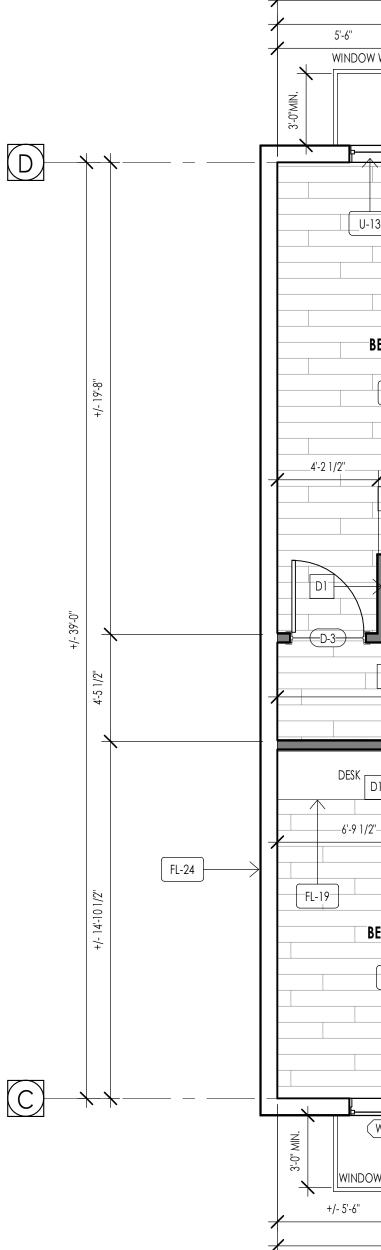
A415

- 6. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
- 7. ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
- 8. ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.

## ENLARGED REFLECTED CEILING PLAN MATERIAL LEGEND

HATCH PATTERN	IATCH PATTERN		DESCRIPTION			
		CT-1	1/2" GYPSUM BOAF	ARD		
		CI-2	1/2" WATER RESISTA	2" WATER RESISTANT GYPSUM BOARD.		
	-0"	CEILING HEIGHT	TYPE	C SLOI		CEILING TYPE     REFER TO SEC
KEYN	NOTES			#	$\supset \leftarrow$	KEY 1
			PROJECT KEYN	OTES		
06-14	SHELVING AND	CLOTHES R	ODS. SEE DETAILS.			
06-23	INSTALL 2X6 WA		DED FOR PLUMBING. SE	E PLUMBII	NG SHEETS.	
11-01	30" 4 BURNER R	ANGE/OVE	N WITH FRONT CENTRA	AL CONTR	OLS. ENERG	GY STAR RATED. SEE SC
11-02			GY STAR RATED SEE SC			MANIIAI
11-03	MICROWAVE OVEN. ENERGY STAR RATED. SEE SCHEDULE & PROJECT MANUAL. 28" - 30" WIDE REFRIGERATOR/FREEZER, FIELD VERIFY SIZE. ENERGY STAR RATED. SEE SCHEDU MANUAL.					
12-01						
12-02						
22-01 22-03			EE PLUMBING DRAWIN FAUCET. SEE PLUMBING			
22-03			SEE PLUMBING DRAWI			
22-06			LOPE MINIMUM 1/8" PI		O DRAIN.	
22-08			BING DRAWINGS & SCH CTOR. SEE ELECTRICAL		GS & PROJI	ECT MANUAL.
28-07			NOXIDE DETECTOR. SE			
AC-01	ENTRY CLEARAI A117.1-2009, TB		'ELLING UNIT/BUILDING : I.B.C., 1105.	: FRONT A	PPROACH	, PULL SIDE 54"X 60", A
AC-02	ENTRY CLEARA	NCE TO DW	ELLING UNIT/BUILDING	: FRONT A	PPROACH	, PUSH SIDE 48"X 60", A
AC-22	A117.1-2009, TB KITCHEN FIXTUR		. APPROACH CLEAR FL	.OOR SPA	CE, 30''X 48	3", A.N.S.I. A117.1-2009
AC-24	1003.12.1.1; I.B. KITCHEN SINK P		PPROACH CLEAR FLOC	DR SPACE	. 30"X 48", A	A.N.SI. A117.1-2009, 10
	1003.12.1.1; I.B.	C., 1106.5.2				
CG-08 FL-23	EXISTING EXTER		RMINED BY OWNER AN TED WALL.		ANICAL REC	JUIKEMENIS.
FL-24	EXISTING INTERI	OR FIRE-RA	TED WALL.			
FL-28 U-00		-	ED AS PER OWNER. 42 EW INTERIOR DRAWING			NISHES AND COORDI
U-13			TED G-SHEETS DETAILS D FOR EMERGENCY RE	SCUE PER	R IBC 2015	SECTION 1030
0-10					( IDC 2010,	3LCHON 1030.
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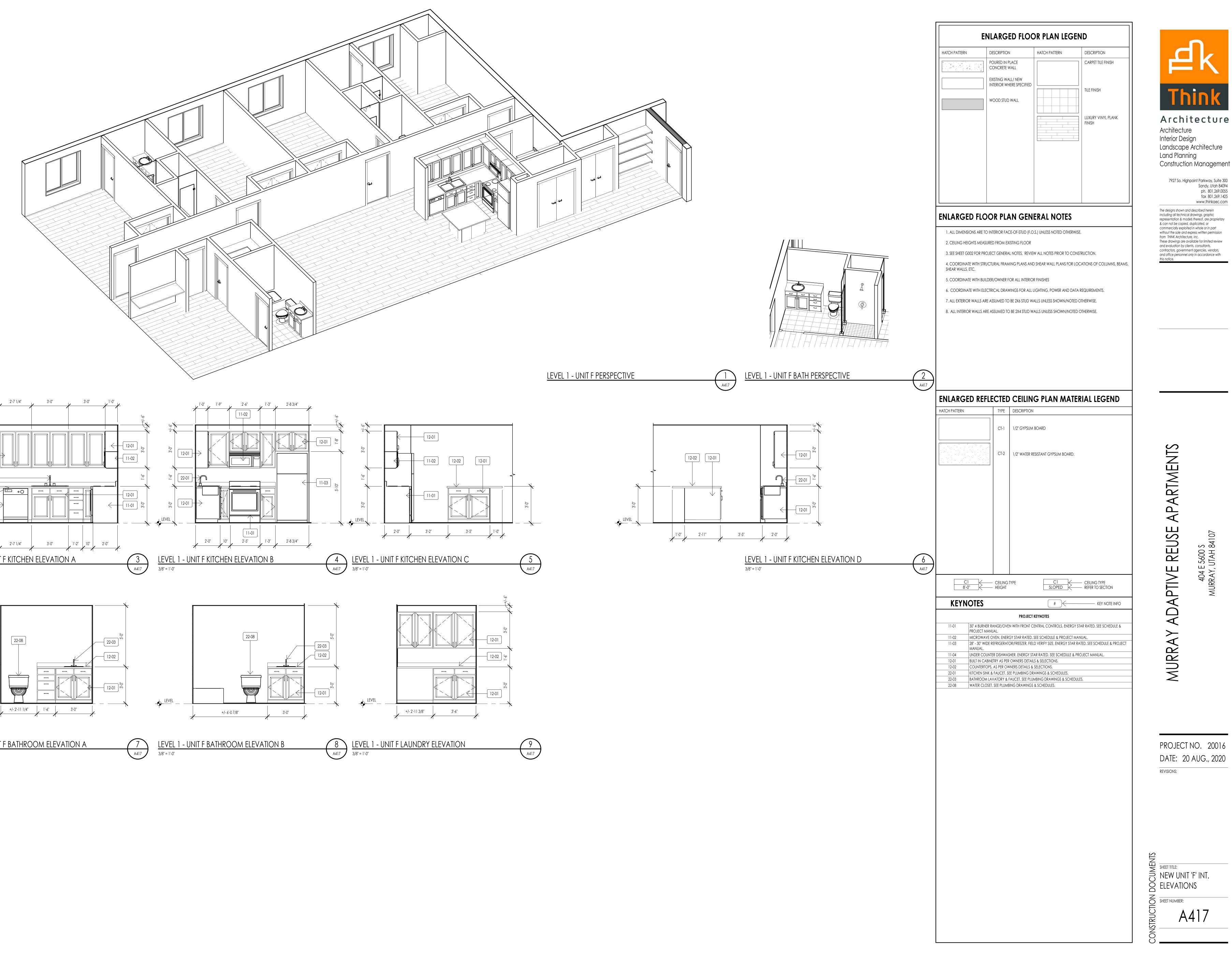


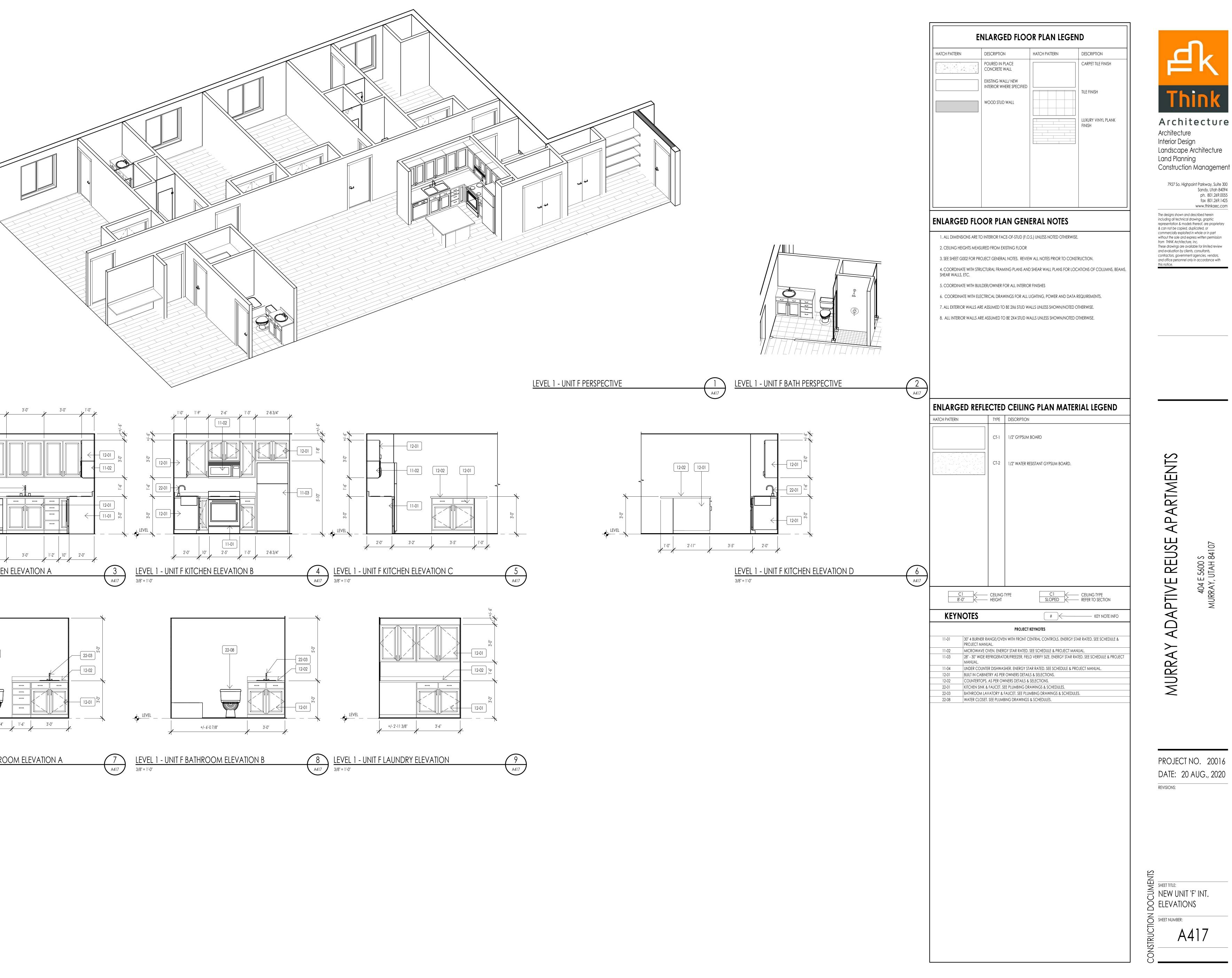


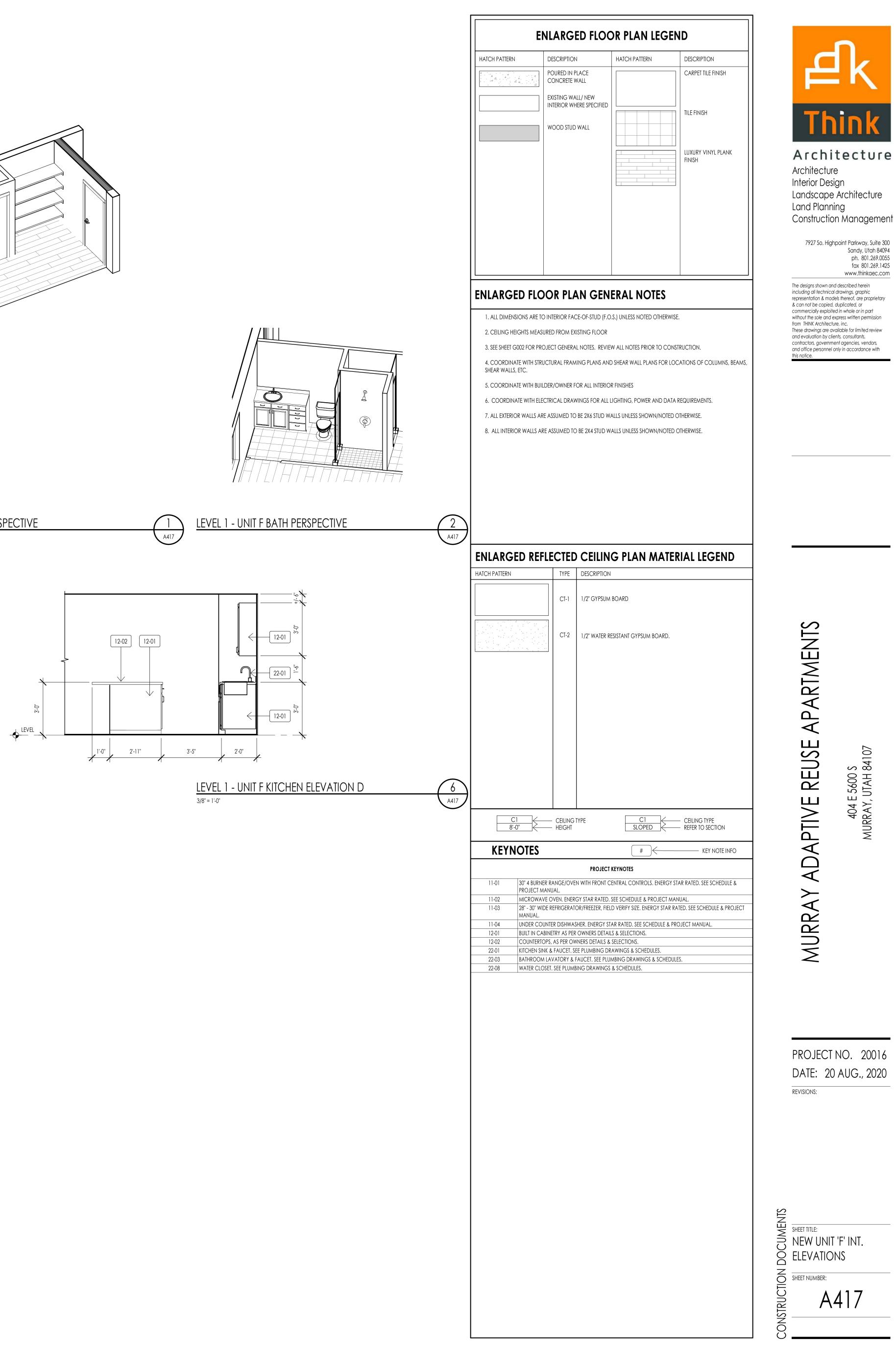


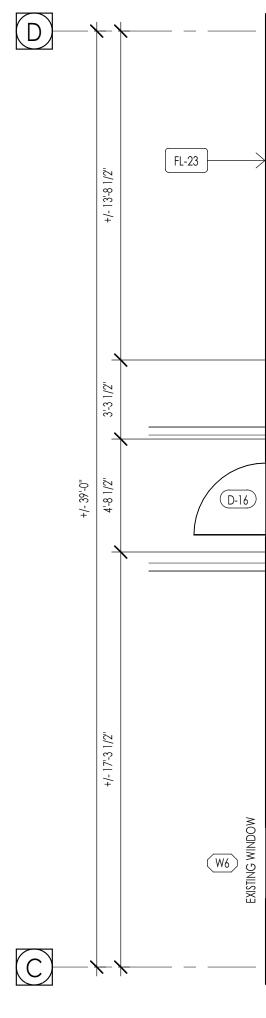
			+/- 58'-0"		
+/- 11'-3 1/2"	6'-3 1/2"	11'-3 1/2"	11'-9 1/2"	6'-3 1/2"	+/- 11'-0 1/2"
5'-9 1/2"	<u> </u>	5'-6" 5'-9 1/2"		6'-0 1/2"	3'-6 1/4" 7'-6 1/
W WELL			WINDOW WELL	FL-24	
				ż	
				30" MIN.	
W5		<u></u>	W5	°,	W5
		22-03		03 7 (A417)	D-7 0-13 0-14
-13		12-01 U-13	U-1312-		
	BATHROOM			? [_]	
	U-8			BATHROOM	
		22-08	22-		
					BEDROOM
		22-05 BEDROOM		05 CD-9	22-05 U-14
U-00 22-06		22-06 U-00	U-00 22-		22-06 U-00
06-14		06-1	4 06-14		06-14
22-08					22-08
7'-1"	3'-1 3/4"3'-1 3/4"	4'-2 1/2"7'-1"	7'-3 1/2"	_4'-6"3'-1 3/4"3'-1 3/4"	6'-9 1/2"
	X X X	D1 D1			
	BATHROOM				
(D-13)		(D-13)	(D-13)		(D-13)
	(+			D1 D-7 A417 7	
					/ — — — — — — — — — — — — — — — — — — —
D1 17'-7"	12-01 22-03 D-06	D-06	23'-7 1/2"	D1 22-03 12-0	D1 10'-3 1/2"6
		D1		22-01	
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/2"4'-6"(	D-8 CLOSET	2.			7 4 2 4 0 0 (A417) U-15
	DI		DININ		
BEDROOM		Ū-3	U-2		AC-22
	22-04	<u>م</u> ب			
		22-08			
	U-4				
U-13		12-01		······································	3'-0" 2'-5 1/8
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W5		W5	W5   W		
OW WELL		WINDOW WELL		3-0-	
	FL-24				
5'-9 1/2"		6'-6" 6'-1	y" 6'-0"	1.	+/- 34'-11"
	6'-3 1/2"	6'-6" 6'-1	y" 6'-0"	+/- 53'-5"	+/- 34'-11"







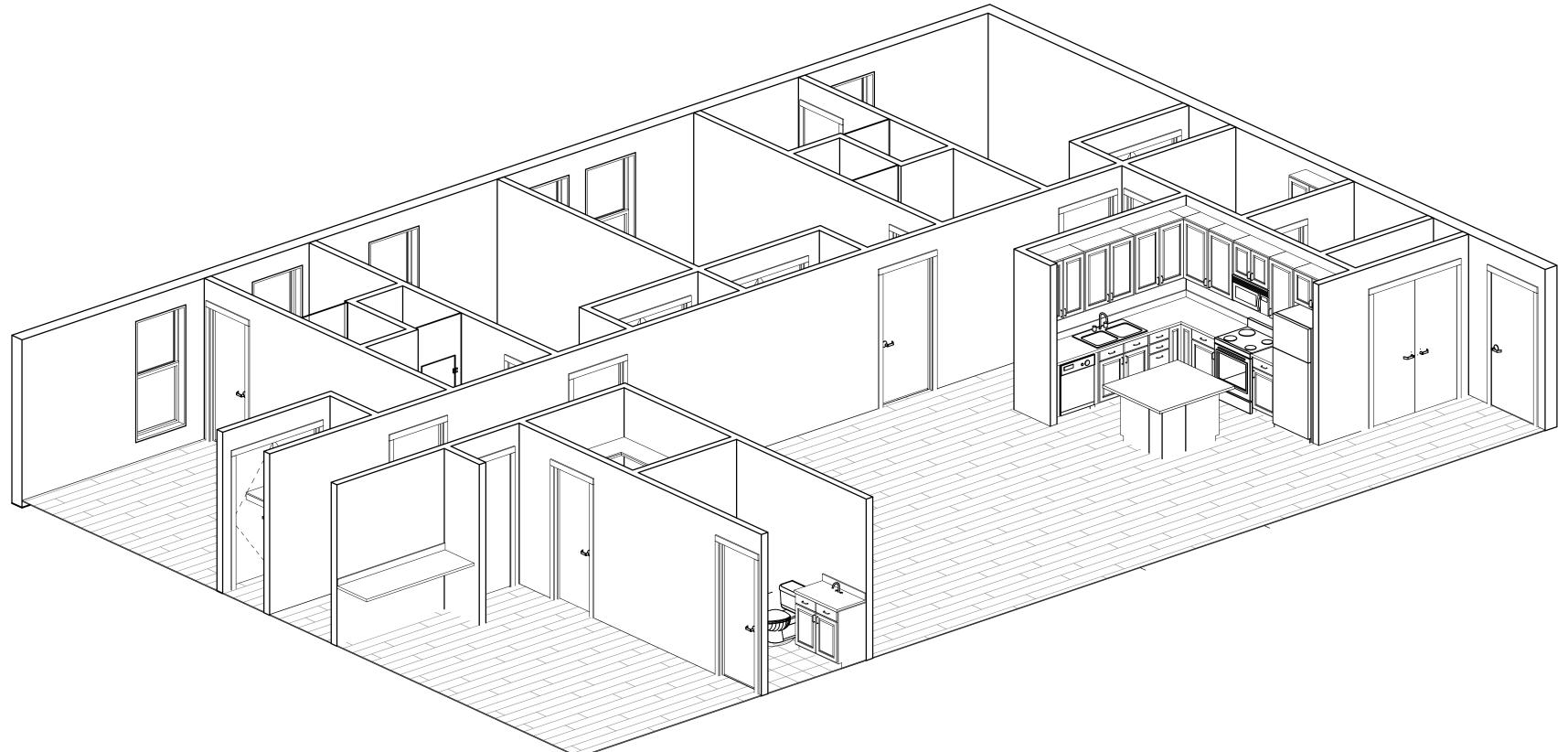




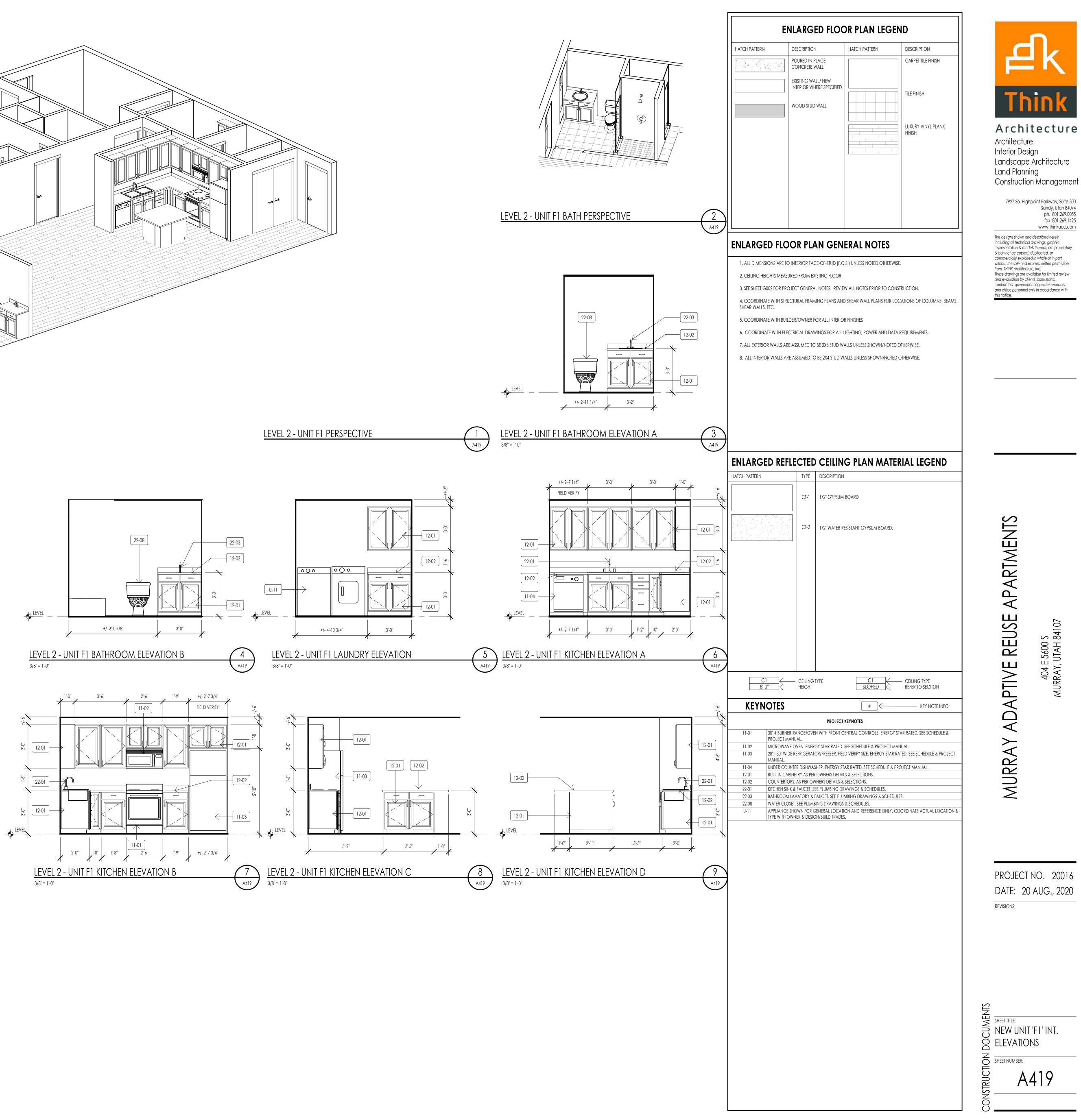
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_	/			- 58'-0"	
-	+/- 11'-3 1/2"	6'-3 1/2"	11'-3 1/2"	11'-9 1/2"	6'-3 1/2"
	(W6)	(W6)	(W6)	(W6) (W6) FL-23	
	EXISTING WINDOW	EXISTING WINDOW	EXISTING WINDOW	EXISTING WINDOW EXISTING WINDOW	EXISTIN
		╔╴╷╺┝╌╴╴┫			
> -	BEDROOM 2U-7 2U-7 22-05 06-14 D1 22-06 06-14 D1 22-08 6'-9 1/2" 4'-6" D-13	BATHROOM	22-03 12-01 U-13 D1 22-08 BEDROOM 22-05 2U-10 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-13 C-	U-13     12-01       U-13     12-01       BEDROOM     22-08       Qu-11     22-05       06-14     U-00       Qu-11     22-06       D1     D1       T-3 1/2"     4'-6"       U-13     12-01	3 A419 D-7 BATHROOM U- 2U-13 C D-9 2 2 2 2 2 2 2 2 2 2 2 2 2
	R & S D1 +/- 17'-7" D3 	12-01 22-03	D-3 R & S D-3 D-3 D-3 D-3 D-3 D-3 D-3 D-3	R & S	D.7) A419 3 0 1 D1 D1 22-03 12-01 10'-0" 12-02
		R & S CLOSET 2U-5 D1 R & S CLOSET 2U-5 D1 R & S CLOSET 2U-5 D1 R & S CLOSET 2U-5 D1 R & S CLOSET 2U-5 D1 R & S CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CLOSET CL	Image: Second	DINING 2	DW     ©     ©       KITCHEN     AC-24     A419       7     2U-1     8       W     W       11-01     11-01       11-01     11-03       4'-6"     2'-11 1/8"
-	+/- 11'-3 1/2"	6'-3 1/2"	-	EXISTING WINDOW EXISTING WINDOW	FL-2

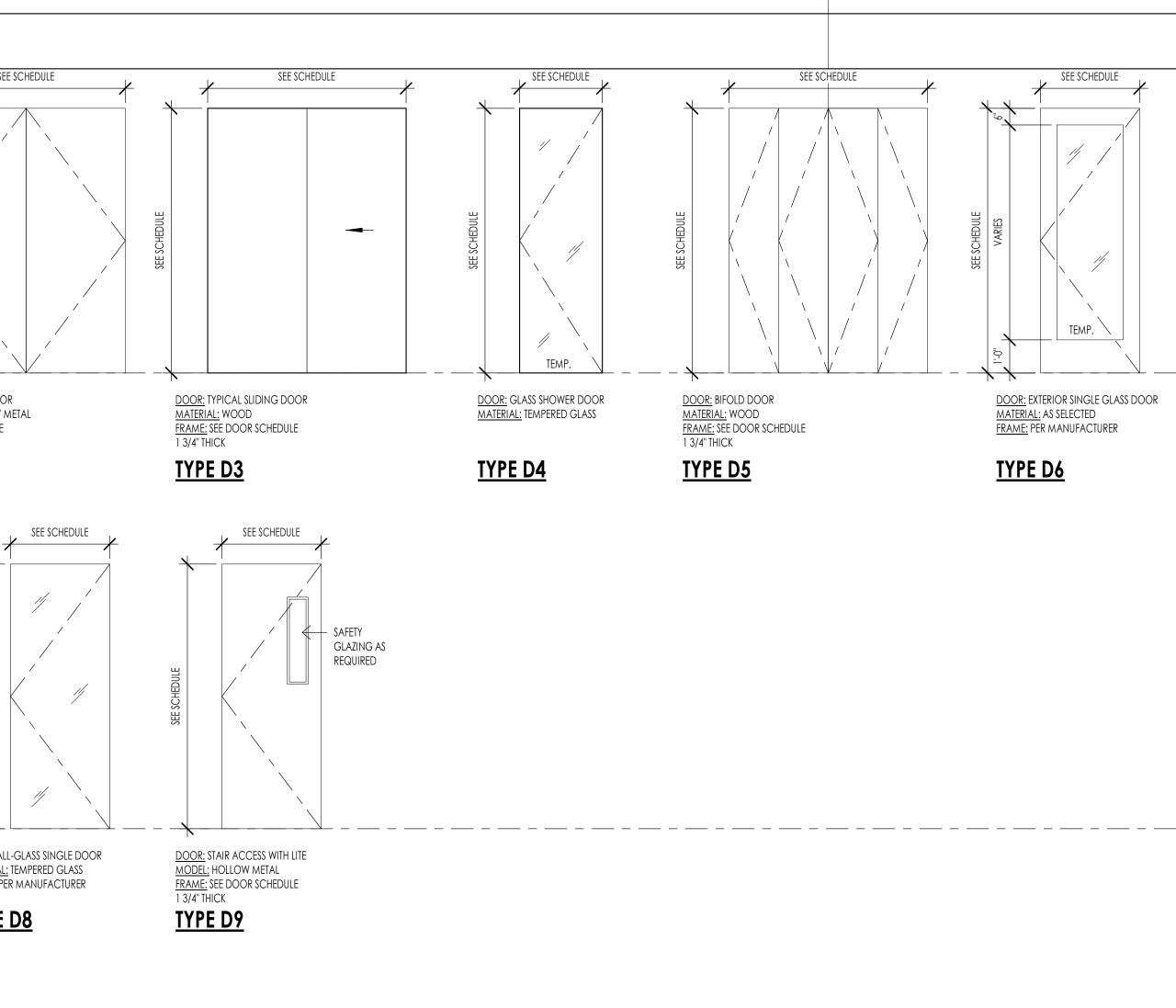


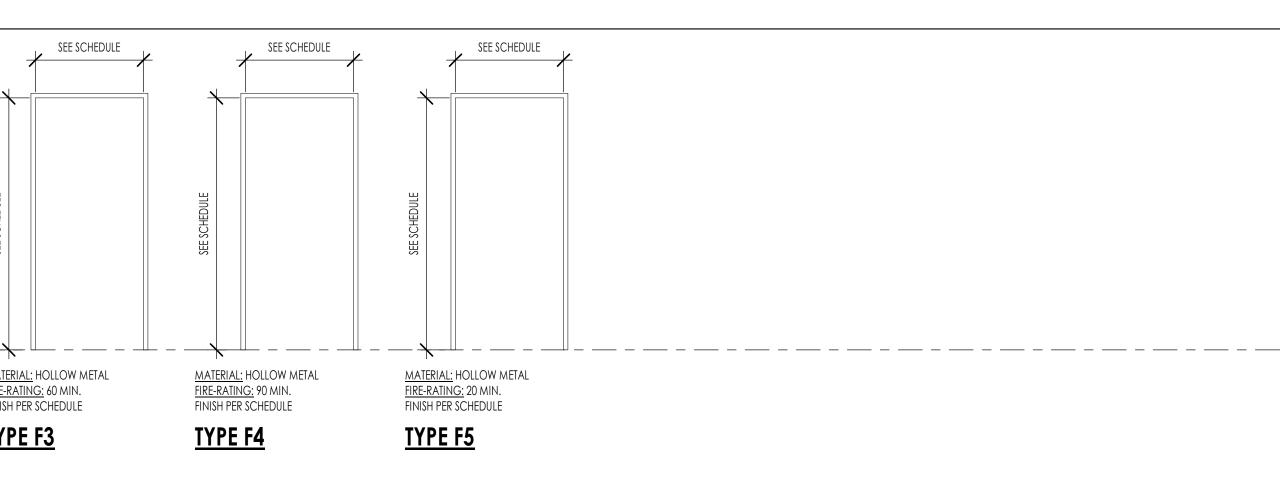


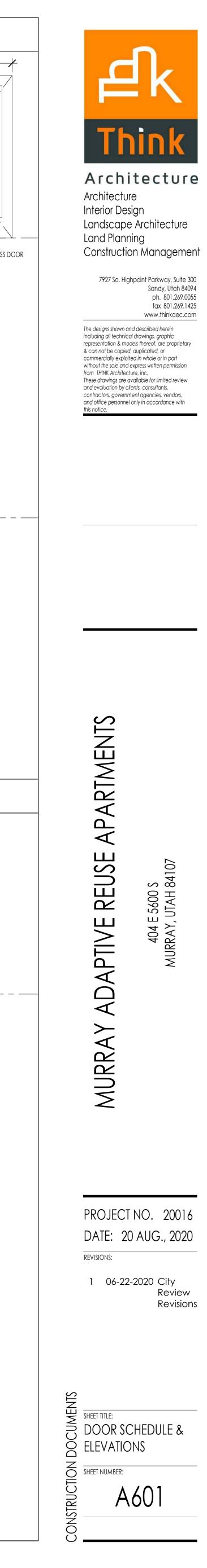
LEVEL 2 - UNIT F1 PERSPECTIVE

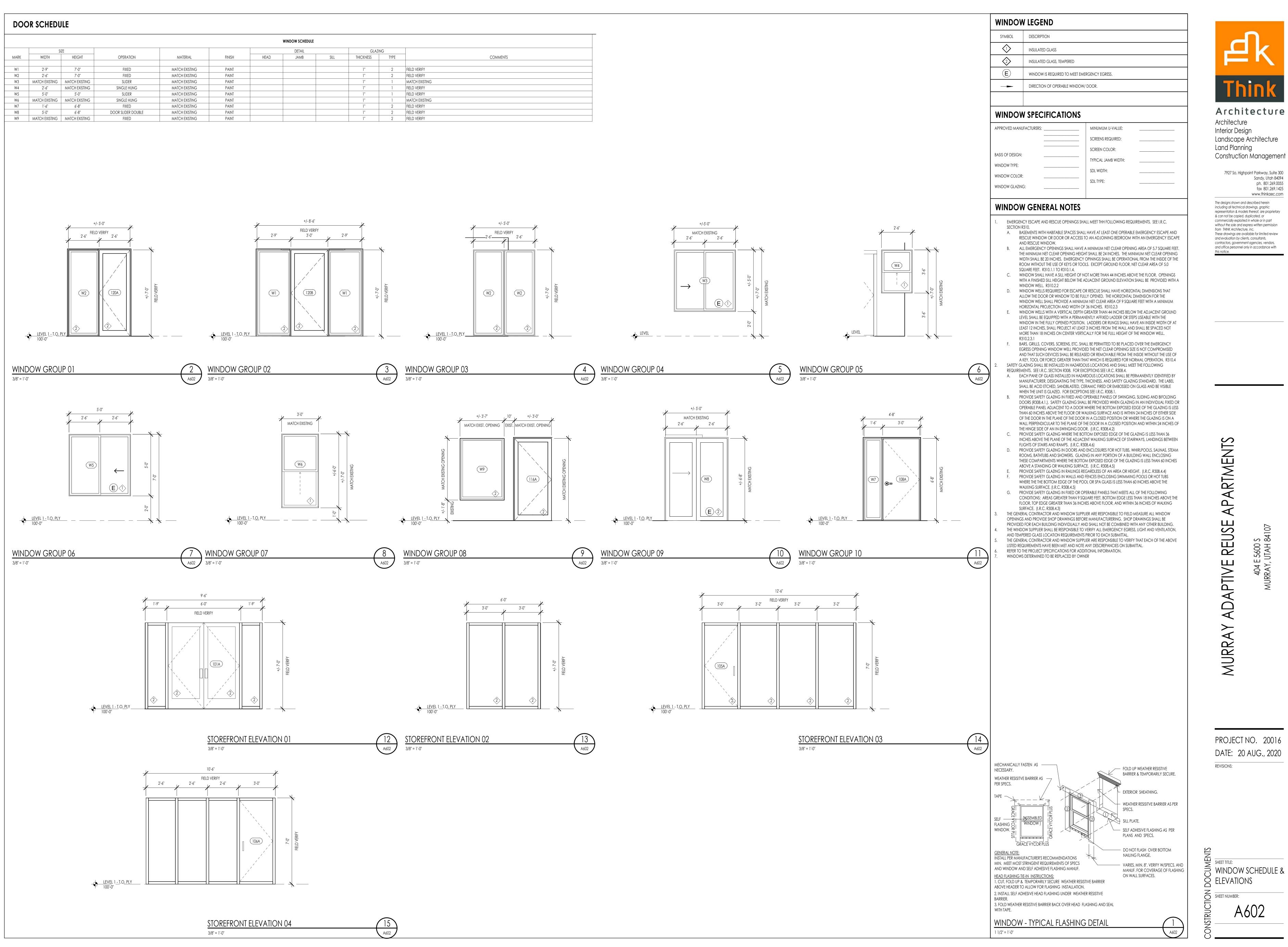


DOOR SCHEDULE			DOOR TYPES
MARK SIZE DOOR	DOOR SCHEDULE - COMMON SPACE       FRAME     FIRE RATING       DETAILS     FIRE RATING	IARDWARE	
MATERIAL TYPE THE FINISH HERE	EAD     JAMB     SILL     MATERIAL     TYPE     FINISH     HILL INTITION     T       EAD     JAMB     SILL     PER MANUFACTURE     -     AS SELECTED     NON-RATED	EXTERIOR GLASS DOUBLE DOOR, FIELD VERIFY	
101B         5'-9 1/2"         MATCH EXISTING         1/2"         GLASS         D7         TEMPERED           105A         2'-8 1/4"         MATCH EXISTING         1/2"         GLASS         D8         TEMPERED           106A         2'-8 1/4"         MATCH EXISTING         1/2"         GLASS         D8         TEMPERED           107A         3'-0"         MATCH EXISTING         1 3/4"         WOOD         D1         PAINT	PER MANUFACTURE     -     AS SELECTED     NON-RATED       PER MANUFACTURE     -     AS SELECTED     60 MIN.       PER MANUFACTURE     -     AS SELECTED     60 MIN.       WOOD     F1     PAINT     NON-RATED	ENTRY GLASS DOUBLE DOOR, FIELD VERIFY INTERIOR GLASS DOOR, FIELD VERIFY INTERIOR GLASS DOOR, FIELD VERIFY STORAGE ROOM DOOR, FIELD VERIFY & REPLACE AS PER OWNER	
107A         3-6         IMATCH EXISTING         13/4         WOOD         D1         PAINT           108A         3'-0"         MATCH EXISTING         1 3/4"         WOOD         D1         PAINT           110A         2'-8"         MATCH EXISTING         1 3/4"         HOLLOW METAL         D2         PAINT           111A         3'-0"         MATCH EXISTING         1 3/4"         HOLLOW METAL         D1         PAINT	WOOD     FI     FAINT     NON-RATED       WOOD     FI     RAINT     NON-RATED       HOLLOW METAL     F2     PAINT     90 MIN.       HOLLOW METAL     F2     PAINT     NON-RATED	WORK ROOM DOOR, FIELD VERIFY & REPLACE AS PER OWNER           CORRIDOR DOOR, FIELD VERIFY, REPLACE AS PER OWNER           MECH./ STORAGE DOOR, FIELD VERIFY, REPLACE AS PER OWNER	
113A         3'-0"         MATCH EXISTING         1 3/4"         WOOD         D1         PAINT           114A         3'-0"         MATCH EXISTING         1 3/4"         WOOD         D1         PAINT           115A         3'-0"         MATCH EXISTING         1 3/4"         WOOD         D1         PAINT           115A         3'-0"         MATCH EXISTING         1/4"         GLASS         D6         TEMPERED	WOOD     F1     PAINT     NON-RATED       WOOD     F1     PAINT     NON-RATED       PER MANUFACTURE     -     AS SELECTED     NON-RATED	BATHROOM DOOR BATHROOM DOOR INTERIOR GLASS DOOR, FIELD VERIFY EXISTING OPENING SIZE	
115B         3'-0"         MATCH EXISTING         1/4"         GLASS         D6         TEMPERED           116A         3'-0"         MATCH EXISTING         1/4"         GLASS         D6         TEMPERED           118A         5'-0"         +/- 7'-0"         1 3/4"         GLASS         D7         TEMPERED           119A         3'-0"         MATCH EXISTING         1 3/4"         HOLLOW METAL         D1         TEMPERED	PER MANUFACTURE         -         AS SELECTED         NON-RATED           PER MANUFACTURE         -         AS SELECTED         NON-RATED           PER MANUFACTURE         -         AS SELECTED         NON-RATED           HOLLOW METAL         F2         PAINT         20 MIN.	INTERIOR GLASS DOOR, FIELD VERIFY EXISTING OPENING SIZE INTERIOR GLASS DOOR, FIELD VERIFY EXISTING OPENING SIZE EXTERIOR GLASS DOUBLE DOOR, FIELD VERIFY ELEVATOR EQUIPMENT DOOR, FIELD VERIFY, REPLACE AS PER OWNER	DOOR: TYPICAL SINGLE DOOR     DOOR: TYPICAL DOUBLE DOOR       MATERIAL: WOOD/ HOLLOW METAL     MATERIAL: WOOD/ HOLLOW METAL
120A         2'-6"         +/- 7'-0"         1 3/4"         GLASS         D6         TEMPERED           120B         3'-0"         +/- 7'-0"         1 3/4"         GLASS         D6         TEMPERED           122A         5'-0"         MATCH EXISTING         1 3/4"         HOLLOW METAL         D2         PAINT	PER MANUFACTURE     -     AS SELECTED     NON-RATED       PER MANUFACTURE     -     AS SELECTED     NON-RATED       HOLLOW METAL     F4     PAINT     90 MIN.	EXTERIOR DOOR, FIELD VERIFY EXTERIOR DOOR, FIELD VERIFY CORRIDOR DOUBLE DOOR, FIELD VERIFY & REPLACE AS PER OWNER	MATERIAL     WOOD/ HOLLOW METAL     MATERIAL       FRAME:     SEE DOOR SCHEDULE     FRAME:     SEE DOOR SCHEDULE       1 3/4" THICK     1 3/4" THICK     1 3/4" THICK       TYPE D1     TYPE D2
122B         3'-6"         MATCH EXISTING         1 3/4"         HOLLOW METAL         D1         PAINT           123A         3'-0"         MATCH EXISTING         1 3/4"         WOOD         D1         PAINT           124A         3'-6"         MATCH EXISTING         1 3/4"         HOLLOW METAL         D1         PAINT           124A         3'-6"         MATCH EXISTING         1 3/4"         HOLLOW METAL         D1         PAINT	HOLLOW METAL F5 PAINT 20 MIN. HOLLOW METAL F5 PAINT 20 MIN. HOLLOW METAL F2 PAINT NON-RATED	CORRIDOR DOOR, FIELD VERIFY, & REPLACE AS PER OWNER LAUNDRY ROOM DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED MECHANICAL ROOM DOOR, FIELD VERIFY & REPLACE AS PER OWNER	
125A         3'-0"         +/- 7'-0"         1 3/4"         GLASS         D6         TEMPERED           125B         3'-0"         +/- 7'-0"         1 3/4"         GLASS         D6         TEMPERED           126A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           127A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT	PER MANUFACTURE     -     AS SELECTED       PER MANUFACTURE     -     AS SELECTED       HOLLOW METAL     F5     PAINT     20 MIN.       HOLLOW METAL     F5     PAINT     20 MIN.	EXTERIOR DOOR, FIELD VERIFY & REPLACE AS PER OWNER ENTRY DOOR, FIELD VERIFY STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED	
128A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           129A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           130A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT	HOLLOW METAL     F5     PAINT     20 MIN.	STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED	
131A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           132A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           133A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           134A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT	HOLLOW METAL     F5     PAINT     20 MIN.	STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED	, DULE DULE DULE DULE DULE DULE DULE DULE
134A         2-6         6-8         13/4         WOOD         D1         PAINT           135A         2'-6"         6'-8"         13/4"         WOOD         D1         PAINT           136A         2'-6"         6'-8"         13/4"         WOOD         D1         PAINT           137A         2'-6"         6'-8"         13/4"         WOOD         D1         PAINT	HOLLOW METAL     F3     FAINT     20 MIN.       HOLLOW METAL     F5     PAINT     20 MIN.       HOLLOW METAL     F5     PAINT     20 MIN.       HOLLOW METAL     F5     PAINT     20 MIN.	STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED	, SEE SCH
201A         6'-0"         MATCH EXISTING         1 3/4"         HOLLOW METAL         D2         PAINT           201B         2'-10"         MATCH EXISTING         1 3/4"         HOLLOW METAL         D1         PAINT           202A         5'-0"         MATCH EXISTING         1 3/4"         HOLLOW METAL         D2         PAINT	HOLLOW METAL         F4         PAINT         90 MIN.	CORRIDOR DOUBLE DOOR, FIELD VERIFY & REPLACE AS PER OWNER EXTERIOR DOOR, FIELD VERIFY & REPLACE AS PER OWNER CORRIDOR DOUBLE DOOR, FIELD VERIFY & REPLACE AS PER OWNER	TEMR TEMP.
202B         3'-2 1/4"         MATCH EXISTING         1/2"         GLASS         D6         TEMPERED           204A         3'-6"         MATCH EXISTING         1 3/4"         HOLLOW METAL         D1         PAINT           205A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           206A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT	PER MANUFACTURE     -     AS SELECTED       HOLLOW METAL     F4     PAINT     96,MIN.       HOLLOW METAL     F5     PAINT     20 MIN.       HOLLOW METAL     F5     PAINT     20 MIN.	EXTERIOR GLASS DOOR, FIELD VERIFY & REPLACE AS PER OWNER CORRIDOR DOOR, FIELD VERIEY & REPLACE AS PER OWNER STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED	DOOR: EXTERIOR DOUBLE GLASS DOOR
200A         2-6         0-6         1 3/4         WOOD         D1         FAINT           207A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           208A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           209A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT	HOLLOW METAL     F5     PAINT     20 MIN.	STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED	MATERIAL:     AS SELECTED     MATERIAL:     TEMP       FRAME:     PER MANUFACTURER     FRAME:     PER MANUFACTURER
210A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           211A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           212A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT	HOLLOW METAL     F5     PAINT     20 MIN.       HOLLOW METAL     F5     PAINT     20 MIN.       HOLLOW METAL     F5     PAINT     20 MIN.	STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED	<u>TYPE D7</u> <u>TYPE D8</u>
213A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           214A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           215A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           215A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT	HOLLOW METAL     F5     PAINT     20 MIN.       HOLLOW METAL     F5     PAINT     20 MIN.       HOLLOW METAL     F5     PAINT     20 MIN.	STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED	
216A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           217A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           218A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           301A         5'-0"         MATCH EXISTING         1 3/4"         HOLLOW METAL         D2         PAINT	HOLLOW METAL F5 PAINT 20 MIN. HOLLOW METAL F5 PAINT 20 MIN. HOLLOW METAL F5 PAINT 20 MIN. HOLLOW METAL F4 PAINT 90 MIN.	STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED CORRIDOR DOUBLE DOOR, FIELD VERIFY & REPLACE AS PER OWNER	
303A         3'-6"         MATCH EXISTING         1 3/4"         HOLLOW METAL         D1         PAINT           304A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           305A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT	HQLLOW-METAL F4 PAINT 90 MIN HOLLOW MÉTAL F5 PAINT 20 MIN. HOLLOW METAL F5 PAINT 20 MIN.	CORRIDOR DOOR, FIELD VERIEY & REPLACE AS PER OWNER STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED	
306A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           307A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           308A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           308A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT	HOLLOW METAL     F5     PAINT     20 MIN.       HOLLOW METAL     F5     PAINT     20 MIN.       HOLLOW METAL     F5     PAINT     20 MIN.	STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED	
309A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           310A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           311A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           312A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT	HOLLOW METAL     F5     PAINT     20 MIN.	STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED	
313A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           314A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           315A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT	HOLLOW METAL     F5     PAINT     20 MIN.       HOLLOW METAL     F5     PAINT     20 MIN.       HOLLOW METAL     F5     PAINT     20 MIN.	STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED         STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED	FRAME TYPES
316A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           317A         2'-6"         6'-8"         1 3/4"         WOOD         D1         PAINT           S102A         3'-6"         MATCH EXISTING         1 3/4"         HOLLOW METAL         D9         PAINT           S103A         3'-6"         MATCH EXISTING         1 3/4"         HOLLOW METAL         D9         PAINT	HOLLOW METAL F5 PAINT 20 MIN. HOLLOW METAL F5 PAINT 20 MIN. HOLLOW METAL F3 PAINT 60 MIN. HOLLOW METAL F3 PAINT 60 MIN.	STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED STORAGE DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED STAIR ACCESS DOOR, FIELD VERIFY & REPLACE AS PER OWNER STAIR ACCESS DOOR, FIELD VERIFY & REPLACE AS PER OWNER	SEE SCHEDULE
S201A     3'-6"     MATCH EXISTING     1 3/4"     HOLLOW METAL     D9     PAINT       S201B     2'-8 1/4"     MATCH EXISTING     1/2"     GLASS     D6     TEMPERED       S202A     3'-6"     MATCH EXISTING     1 3/4"     HOLLOW METAL     D9     PAINT	HOLLOW MERLE     HO     HO       HOLLOW METAL     F3     PAINT     60 MIN.       PER MANUFACTURE     -     AS SELECTED       HOLLOW METAL     F3     PAINT     60 MIN.	STAIR ACCESS DOOR, FIELD VERIFY & REPLACE AS PER OWNER         EXTERIOR STAIR ACCESS GLASS DOO, FIELD VERIFY & REPLACE AS PER OWNER         STAIR ACCESS DOOR, FIELD VERIFY & REPLACE AS PER OWNER	
S202B     3'-2 1/4"     MATCH EXISTING     1/2"     GLASS     D6     TEMPERED       S203A     3'-6"     MATCH EXISTING     1 3/4"     HOLLOW METAL     D9     PAINT       S203B     2'-8 1/4"     MATCH EXISTING     1/2"     HOLLOW METAL     D8     PAINT	PER MANUFACTURE     -     AS SELECTED       HOLLOW METAL     F3     PAINT     60 MIN.       HOLLOW METAL     F3     PAINT     60 MIN.	EXTERIOR STAIR ACCESS GLASS DOOR, FIELD VERIFY & REPLACE AS PER OWNER STAIR ACCESS DOOR, FIELD VERIFY & REPLACE AS PER OWNER STAIR ACCESS DOOR, FIELD VERIFY & REPLACE AS PER OWNER	
S301A3'-6"MATCH EXISTING1 3/4"HOLLOW METALD9PAINTS302A3'-6"MATCH EXISTING1 3/4"HOLLOW METALD9PAINTS303A3'-6"MATCH EXISTING1 3/4"HOLLOW METALD9PAINT	HOLLOW METAL     F3     PAINT     60 MIN.       HOLLOW METAL     F3     PAINT     60 MIN.       HOLLOW METAL     F3     PAINT     60 MIN.	STAIR ACCESS DOOR, FIELD VERIFY & REPLACE AS PER OWNER         STAIR ACCESS DOOR, FIELD VERIFY & REPLACE AS PER OWNER         STAIR ACCESS DOOR, FIELD VERIFY & REPLACE AS PER OWNER	SEE SCHEDULE SEE SCHEDULE
MARK SIZE MATERIAL TYPE FINISH	DOOR SCHEDULE UNITS       FRAME       DETAILS     MATERIAL     TYPE     FINISH	ARDWARE REMARKS	
WIDTH         HEIGHT         THICKNESS         MATCH EXISTING         1 3/4"         WOOD         D1         PAINT           D-1         3'-0"         MATCH EXISTING         1 3/4"         WOOD         D1         PAINT	EAD     JAMB     SILL     MOLENCE     THE     MOLENCE       HOLLOW METAL     F3     PAINT     60 MIN.       WOOD     F1     PAINT     NON-RATED	UNIT ENTRY DOOR, FIRE RATED WITH SMOKE SEALS AS REQUIRED, FIELD VERIFY CLOSEL DOOR, EIELD VERIFY	
D-3         3'-0"         MATCH EXISTING         1 3/4"         WOOD         D1         PAINT           D-4         6'-0"         MATCH EXISTING         1 3/4"         WOOD         D3         PAINT           D-5         3'-0"         MATCH EXISTING         1 3/4"         WOOD         D3         PAINT	WOOD     F1     PAINT     NON-RATED       WOOD     F1     PAINT     NON-RATED       WOOD     F1     PAINT     NON-RATED       WOOD     F1     PAINT     NON-RATED	BEDROOM DOOR, FIELD VERIFY           SLIDING CLOSET DOOR, FIELD VERIFY           BATHROOM DOOR, FIELD VERIFY	FIRE-RATING: NON-RATED     FIRE-RATING: NON-RATED     FIRE-RATING: NON-RATED       FINISH PER SCHEDULE     FINISH PER SCHEDULE     FINISH PER SCHEDULE       TYPE F1     TYPE F2     TYPE F1
D-6         5'-0"         MATCH EXISTING         1 3/4"         WOOD         D3         PAINT           D-7         2'-6"         MATCH EXISTING         1 3/4"         WOOD         D1         PAINT           D-8         2'-6"         MATCH EXISTING         1 3/4"         WOOD         D1         PAINT	WOOD     F1     PAINT     NON-RATED       WOOD     F1     PAINT     NON-RATED       WOOD     F1     PAINT     NON-RATED       WOOD     F1     PAINT     NON-RATED	SLIDING CLOSET DOOR, FIELD VERIFY         BATHROOM DOOR, FIELD VERIFY         CLOSET DOOR, FIELD VERIFY	
D-9         2'-0"         6'-0"         1/4"         GLASS         D4         -           D-10         3'-0"         MATCH EXISTING         1 3/4"         WOOD         D1         PAINT           D-11         4'-0"         MATCH EXISTING         1 3/4"         WOOD         D2         PAINT           D-12         2'-10"         MATCH EXISTING         1 3/4"         WOOD         D5         PAINT	WOOD         FRAMELESS         -         NON-RATED           WOOD         F1         PAINT         NON-RATED           WOOD         F1         PAINT         NON-RATED           WOOD         F1         PAINT         NON-RATED           WOOD         F1         PAINT         NON-RATED	SHOWER DOOR OFFICE DOOR, FIELD VERIFY CLOSET DOOR, FIELD VERIFY BIFOLD CLOSET DOOR, FIELD VERIFY	
D-12         2'-10'         MATCH EXISTING         1 3/4''         WOOD         D3'         1 AINT           D-13         5'-0''         MATCH EXISTING         1 3/4''         WOOD         D2         PAINT           D-14         2'-10''         MATCH EXISTING         1 3/4''         WOOD         D1         PAINT           D-15         2'-10''         MATCH EXISTING         1 3/4''         WOOD         D1         PAINT	WOOD     F1     PAINT     NON-RATED       WOOD     F1     PAINT     NON-RATED       WOOD     F1     PAINT     NON-RATED       WOOD     F1     PAINT     NON-RATED	INTERIOR DOUBLE DOOR LAUNDRY ROOM DOOR, FIELD VERIFY MECHANICL DOOR, FIELD VERIFY	
D-16         3'-0"         MATCH EXISTING         1/4"         GLASS         D6         -           D-17         3'-0"         MATCH EXISTING         1 3/4"         WOOD         D1         PAINT	WOODF1PAINTNON-RATEDWOODF1PAINTNON-RATED	EXTERIOR GLASS DOOR, FIELDVERIFY CLOSET DOOR, FIELD VERIFY	
DOOR SCHEDULE GENERAL NOTES	HARDWARE GROUPS		
2. CONTRACTOR SHALL FIELD VERIFY ALL DOOR OPENINGS PRIOR TO ORDERING ALL DOORS.	H1     MECHANICAL ROOM     H7	INTERIOR DOUBLE BARN DOOR	
<ol> <li>CONTRACTOR SHALL SUBMIT COMPLETE DOOR AND HARDWARE SHOP DRAWINGS AND SUBMITTALS FOR APPROVAL FOR EACH BUILDING PRIOR TO ORDERING AND TAKING RECEIPT OF DOOR ORDER. ARCHITECT SHALL REVIEW ALL DOORS FOR COMPLIANCE SPECIFICATIONS AND BUILDING CODE.</li> </ol>	- PAIR SPRING HINGES - SMOKE SEAL - 1 PASSAGE SET <u>H8</u>	- INTERIOR DOOR - 3 PAIR HINGES	
4. ALL DOORS REQUIRED TO BE RATED SHALL HAVE APPROPRIATE U.L. RATING AS INDICATED IN DOOR SCHEDULE AND SPECIFICATION. ALL DOORS SHALL HAVE LABEL ON DOOR AND FRAME FOR INSPECTION ON SITE, AND	H2       OVERHAEAD GARAGE DOORS         -       GARAGE ENTRY PROVIDED BY         OVERHEAD DOOR MANUFACTURER <u>H9</u>	- 1 PRIVACY SET	
<ul> <li>SHALL NOT BE REMOVED.</li> <li>ALL DOORS SHALL BE INSTALLED SO AS NOT TO HAVE MORE THAN 1/2" THRESHOLD AT EACH DOOR.</li> </ul>	H3       SECONDARY ENTRY DOOR         -       3 PAIR SPRING HINGES         -       1 SMOKE SEAL         1 LOCKET       H10		
<ol> <li>SEE SPECS FOR HARDWARE SCHEDULE.</li> <li>REFER TO INTERIOR DESIGNER FOR CORRECT DOOR STYLES, SPECIES, AND FINISHES.</li> </ol>	<ul> <li>1 LOCKSET</li> <li>1 DEADBOLT</li> <li>1 THRESHOLD</li> </ul>	<ul> <li>I WEATHER STRIP</li> <li>I THRESHOLD</li> <li>I LOCKSET</li> <li>I DEADBOLT</li> </ul>	
<ol> <li>MATCH ALL DOOR HEIGHTS TO EXISTING HEIGHTS.</li> <li>DOORS DETERMINED TO BE REPLACED AS PER OWNER.</li> </ol>	H4     GARAGE/ HOUSE       -     3 PAIR HINGES       -     1 WEATHER STRIP       -     1 LOCKSET	- 1 PIVOT HINGE (TOP AND BOTTOM) <u>INTERIOR DOUBLE DOOR</u> - 6 PAIR HINGES	
10. ALL NEW DOORS & EXISTING DOORS PROVIDING ACCESS TO REMODELED AREA SHALL BE PROVIDED WITH LEVER OR PUSH/ PULL TYPE HARDWARE, NOT REQUIRING GRASPING OR TWISTING.	- 1 DEADBOLT <u>H5 INTERIOR DOOR H12</u>	- 2 PASAGE SET	
	- 3 PAIR HINGES - 1 PASSAGE SET <u>H6</u> INTERIOR BARN DOOR	-	









GLAZII	NG		
THICKNESS	TYPE	COMMENTS	
1"	2	FIELD VERIFY	
]"	2	FIELD VERIFY	
]"	1	MATCH EXISTING	
ן"	1	FIELD VERIFY	
1"	1	FIELD VERIFY	
]"	1	MATCH EXISTING	
ן"	2	FIELD VERIFY	
1"	2	FIELD VERIFY	
 ]"	2	FIELD VERIFY	