

NOTE:
THE RESPONSIBILITY SCHEDULE IS PROVIDED TO ASSIST THE GENERAL CONTRACTOR IN CONSTRUCTION PROCESS.
THE CONSTRUCTION DOCUMENTS WILL SUPERSEDE THE RESPONSIBILITY SCHEDULE AND IF A CONFLICT EXISTS
BETWEEN THIS SCHEDULE AND CONSTRUCTION DOCUMENTS, THE GENERAL CONTRACTOR SHALL CONTACT THE
ARCHITECT IMMEDIATELY FOR CLARIFICATION. IF A DISCREPANCY EXISTS FOR ITEMS EXISTING TO REMAIN, REFER TO
SCHEDULE NOW, BUT EXISTING ITEMS THAT HAVE BEEN MOVED.

OBTAIN C-10 APPROVALS:					
SPRINKLER SYSTEM PLANS/ AS AND/ PERMITS/ ETC.					CHANGE ORDERS NOT PROCESSED WITHOUT AS R.F.D.
MODIFY SPRINKLER SYSTEM					COORDINATE WITH MALL MANAGER
MALL DEPOSIT/INSURANCE WAIVERS					

PROJECT LOCATION

JOURNEYS

This architectural site plan illustrates the layout of the University of Illinois at Chicago campus. The plan features a central circular plaza, a large rectangular building complex, and several parking lots. The plan is oriented with North at the top. The central circular plaza is a prominent feature, surrounded by various buildings and parking areas. The large rectangular building complex is located to the right of the plaza. The parking lots are situated around the perimeter of the campus. The plan also shows the location of the main entrance and the surrounding streets.

MOZ METAL PANELS - INFORMATION (FIXTURES/SHELVING ONLY)

GENESCO

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JOURNEYS: A RETAIL SHOE STORE TENANT IMPROVEMENT	A1.1 COVER SHEET / INFORMATION
	A2.1 SCHEDULES / NOTES

CONSTRUCTION TYPE: II-B

OCCUPANT LOAD: _____ MECHANICAL AND PLUMB SPECIFICATIONS _____

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A1.1	COVER SHEET / INFORMATION
A2.1	SCHEDULES / NOTES

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Drug Name: GJC-20-034c.dml

Sheet: 1 of 1

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Abstract

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GENERAL CONSTRUCTION PROCEDURES

- ALL CONSTRUCTION SHALL BE EXECUTED IN STRICT COMPLIANCE WITH ALL LOCAL CODES AND ORDINANCES. GENERAL CONTRACTOR SHALL COMPLY WITH ALL CONSTRUCTION REGULATIONS AND PROCEDURES ESTABLISHED BY THE LANDLORD. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING APPLICATION FOR AND OBTAINING ALL PERMITS AND CERTIFICATES AS REQUIRED BY GOVERNING AGENCIES AND SHALL BEAR THE COST FOR SUCH PERMITS AND CERTIFICATES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS OF THE SPACE INCLUDING DIMENSIONS, PHYSICAL APPEARANCES AND THE CONDITION OF ALL EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT AND DEVICES.
- EVERY EFFORT HAS BEEN MADE TO ASSURE ACCURATE CONSTRUCTION DOCUMENTS, BUT IF A CONFLICT EXISTS THE GENERAL CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION. THESE DOCUMENTS SHOW THE DESIGN INTENT AND IF EXISTING CONDITIONS ARE IN CONFLICT THE GENERAL CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- THE GENERAL CONTRACTOR SHALL MAINTAIN DIRECT SUPERVISION OVER ALL SUBCONTRACTORS AND SHARE RESPONSIBILITY FOR THEIR PERFORMANCE AND QUALITY OF WORK. A LIST OF ALL SUBCONTRACTORS SHALL BE PROVIDED TO THE OWNER AND THE ARCHITECT. A COPY OF THIS LIST SHALL BE POSTED ON THE STOCKROOM WALL AFTER COMPLETION OF THE PROJECT.
- STOREFRONT SIGNAGE AND MOUNTING DEVICES SHALL BE PROVIDED, AND ALL SIGNAGE APPROVALS OBTAINED BY TENANT'S SIGN CONTRACTOR. GENERAL CONTRACTOR SHALL PROVIDE ELECTRICAL POWER AS REQUIRED AND INSURE SUFFICIENT SPACE AND CLEARANCE IS PROVIDED FOR PROPER INSTALLATION. SIGNAGE CONTRACTOR SHALL APPLY FOR AND SECURE ALL APPROVALS REQUIRED BY ALL LOCAL GOVERNING AGENCIES AND SUPPLY ANY DRAWINGS OR GRAPHIC REPRESENTATIONS REQUIRED BY LANDLORD. ALL PENETRATIONS THROUGH STOREFRONT BULKHEAD MUST BE PROTECTED WITH FIRE STOP MATERIAL.
- ALL CONCEALED WOOD BLOCKING USED IN CONSTRUCTION SHALL BE FIRE-RETARDANT TREATED (IF APPLICABLE).
- THE TENANT'S GENERAL CONTRACTOR SHALL CHECK-IN WITH THE LANDLORD'S TENANT COORDINATOR FOR THIS PROJECT PRIOR TO COMMENCING WORK. STRICT ADHERENCE TO THE LANDLORD'S 'START/STOP WORK' PROCEDURES SHALL BE FOLLOWED.
- GENERAL CONTRACTOR SHALL PERFORM AND/OR CAUSE TO BE PERFORMED, ALL WORK IN A FIRST-CLASS WORKMANLIKE MANNER AND IN ACCORDANCE WITH EACH TRADE'S ESTABLISHED PROCEDURES AND MANUFACTURER'S RECOMMENDATIONS FOR PRODUCT USE AND INSTALLATION.
- ALL PRODUCTS USED ON THIS PROJECT SHALL BE FIRST-QUALITY, NEW AND FREE OF DEFECTS OR OTHER ENVIRONMENTALLY UNSAFE SUBSTANCES. THE ONLY ACCEPTABLE FIRE-USED PRODUCTS SHALL BE THOSE CONTAINED IN EXISTING STRUCTURES TO REMAIN AND MUST BE SO INDICATED ON THE DRAWINGS AS 'EXISTING TO REMAIN'.
- EXTEND ALL INTERIOR PARTITIONS 6" ABOVE FINISHED CEILING UNLESS OTHERWISE NOTED. DEMISING WALLS AND OTHER RATED WALLS SHALL BE CONSTRUCTED OR UPGRADED TO COMPLY WITH ALL LOCAL CODES AND REGULATIONS GOVERNING FIRE RATED PARTITIONS.
- MILLWORK, BASE, DESIGNATED TRIM ETC. SHALL BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR WHERE INDICATED ON THE DRAWINGS AND/OR SCHEDULES.
- GENERAL CONTRACTOR SHALL PROVIDE ALUMINUM CORNER GUARDS AT ALL EXPOSED OUTSIDE CORNERS. ALUMINUM GUARDS TO BE 18" LENGTHS, AS MANUFACTURED BY INSTITUTIONAL PRODUCTS CORPORATION.
- GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS (IF REQUIRED) TO CONSTRUCT A TEMPORARY EXTERIOR CONSTRUCTION BARRICADE. THE BARRICADE SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH LANDLORD'S REQUIREMENTS, OR PURCHASED FROM THE LANDLORD AS MIGHT BE REQUIRED. ALL ADJACENT STRUCTURES AND FINISHES OUTSIDE THE DESIGNATED CONSTRUCTION LIMITS SHALL BE PROTECTED FROM DAMAGE AT ALL TIMES. DAMAGE TO ANY SURFACES SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND WILL BE REPAIRED OR CAUSED TO BE REPAIRED BY THE GENERAL CONTRACTOR.
- GENERAL CONTRACTOR SHALL CONTACT ARCHITECT PRIOR TO CONSTRUCTION START DATE TO CONFIRM THAT HE/SHE HAS LATEST APPROVED CONSTRUCTION DOCUMENTS FOR THIS LOCATION.

DOOR SCHEDULE

MARK	SIZE	THICK	DOOR TYPE	FRAME	DETAILS	NOTES
			TYPE	MATL.	HEAD JAMB BELL	
01	PAIR 3'-0" x 7'-5"	---	A	AL.	MODIFY EXISTING	---
02	PAIR 3'-0" x 7'-5"	---	EXISTING	EXISTING	EXISTING	---
03	3'-0" x 8'-8"	1 3/4"	B	MTL.	4/ATU 4/ATU	---
04	3'-0" x 7'-0"	EXISTING	C	EXISTING	EXISTING	---

DOOR SCHEDULE NOTES:

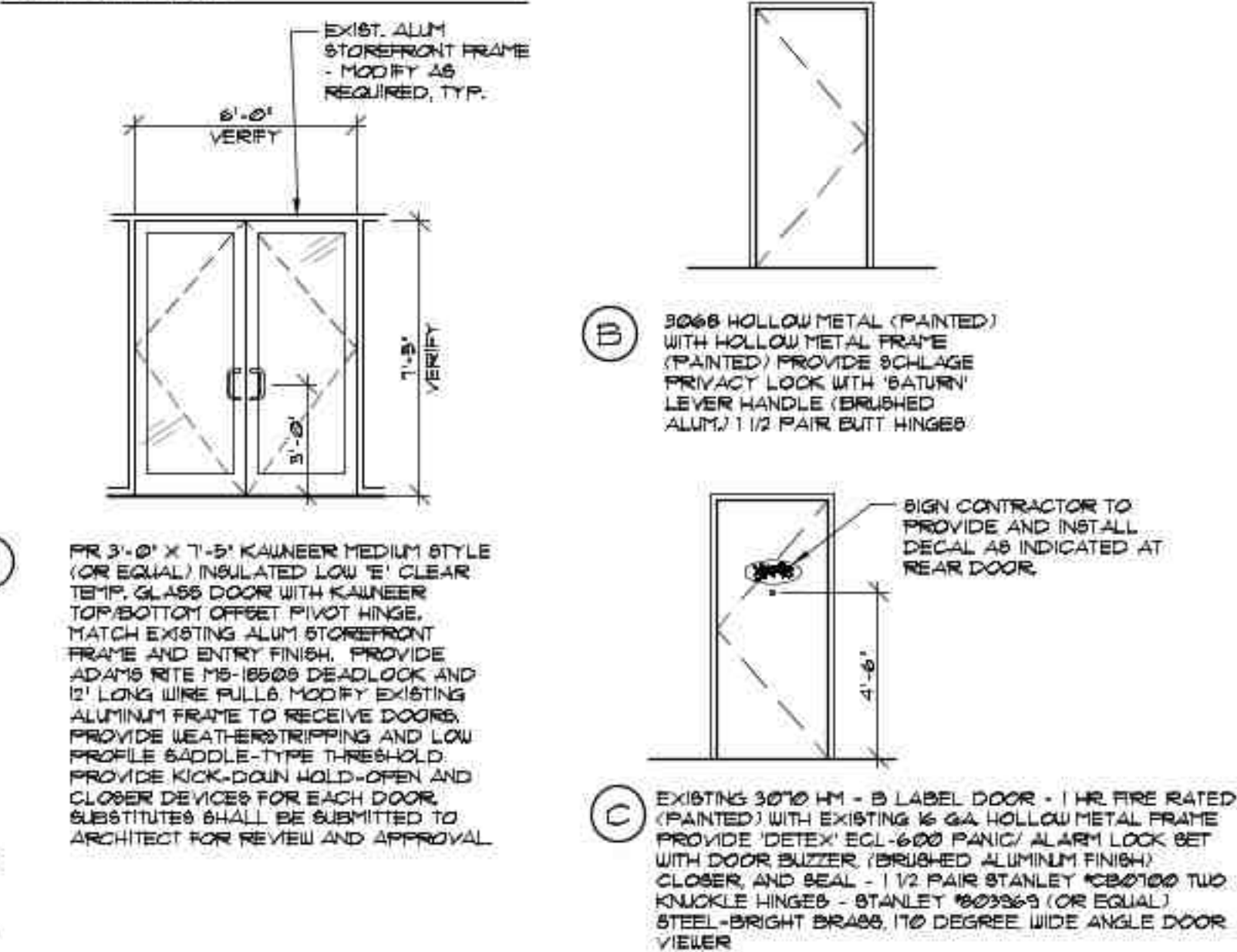
- REFER TO DOOR TYPE FOR SPECIFICATIONS.
- PAINT TO MATCH ADJACENT FINISHES.
- REFER TO CODE COMPLIANCE DOOR NOTES (THIS SHEET) FOR ADDITIONAL REQUIREMENTS.
- RETURN/IN DOOR AND HARDWARE TO 'LIKE NEW' CONDITION.
- PROVIDE DELTANA (OR EQUAL) KICK-DOWN DOOR STOP HOLDER AT EACH DOOR TO HOLD DOORS IN THE OPEN POSITION (FINISH TO MATCH DOOR).

CODE COMPLIANCE DOOR NOTES:

ALL STOREFRONT AND EXIT DOORS SHALL CONFORM TO THE FOLLOWING PROVISIONS OF THE INTERNATIONAL BUILDING CODE AND THE STATE OF UTAH ACCESSIBILITY CODE:

- STOREFRONT AND EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF ANY SPECIAL KNOWLEDGE OR EFFORT WHEN THE SPACE IS OCCUPIED.
- ALL HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34" TO 48" AFF. AND SHALL BE OPERATED WITH A SINGLE EFFORT BY LEVER OR PUSH/PULL TYPE HARDWARE.
- DOOR LEADING TO UNSEX TOILET RM. SHALL BE IDENTIFIED WITH A 12" DIAMETER CIRCLE WITH A TRIANGLE SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12" DIAMETER. SIGN/SYMBOL SHALL BE MOUNTED ON THE WALL ON THE LATCH SIDE OF THE DOOR AT 60" AFF. AND NO MORE THAN 8" FROM THE EDGE OF THE DOOR TO THE EDGE OF THE SIGN ON OR ADJACENT TO THE STOREFRONT DOORS. IF REQUIRED THERE SHALL BE A READILY VISIBLE DURABLE SIGN IN LETTERS NOT LESS THAN 1 IN. HIGH ON A CONTRASTING BACKGROUND THAT READS AS FOLLOWS: THIS DOOR TO REMAIN OPEN WHEN THE SPACE IS OCCUPIED.

DOOR TYPE(S):



EQUIPMENT AND FIXTURE SCHEDULE

ITEM NO.	QTY.	DESCRIPTION	MANUFACTURER	SIZE	NOTES
A-1		DISPLAY WALL FIXTURES	CUSTOM	48"	a, g.
A-2		DISPLAY WALL FIXTURES	CUSTOM	30"	a, g.
B-1		LAZY SUSAN DISPLAY	CUSTOM		a.
D-1		LARGE LEASELINE NESTING TABLE	CUSTOM	21 1/2" x 48" x 32"	COLOR: GREEN a.
D-2		SMALL LEASELINE NESTING TABLE	CUSTOM	21 1/2" x 35" x 21"	COLOR: GREEN a.
D-3		LARGE LEASELINE NESTING TABLE	CUSTOM	18" x 48" x 32"	COLOR: BURGUNDY a.
D-4		SMALL LEASELINE NESTING TABLE	CUSTOM	18" x 35" x 21"	COLOR: BURGUNDY a.
E-1		ROTATING WIRE SHELF	UNITED STEEL & WIRE CO. SHOMOR 145-4	28" DIA.	a.
F-1		WIRE FRAME CART	'EAGLE GROUP'	18" x 48"	a.
G-1		CORNER GUARD	ALUMINUM ANGLE	1" x 1" x 1/8"	SCREW 18" O.C. MAX. c.
G-2		CORNER GUARD	ALUMINUM ANGLE	1 1/2" x 1 1/2" x 1/8"	SCREW 18" O.C. MAX. c.
G-3		CORNER GUARD	ALUMINUM ANGLE	1" x 1/2" x 1/8"	SCREW 18" O.C. MAX. c.
H-1		METAL CHAIRS	'SMITH & HAUKEN'		a.
K-1		FULL VIEW SHOWCASE BASE	'SPARTAN SHOWCASE, INC.' F1605	24" x 36" x 48" x 4 5/8" x 34"	a, d.
L-1		PLYWOOD CASH REGISTER CABINET		24" x 24" x 55"	a.
N-1		METAL STOOL	'SMITH & HAUKEN'	18"	a.
Q-1		ROLL-UP GRILLE	METRO DOOR CO. M-9 STANDARD DESIGN	RE: DOOR SCHEDULE	DOOR IS PROVIDED AND INSTALLED BY METRO DOOR CO.
S-1		METAL FRAME STORAGE SHELVING W/ WOOD COMPOSITE SHELVES	LOZIER STORE FIXTURE, INC. 1-800-228-9882 DESIGN	12" x 36"	a, d.
S-2		METAL FRAME STORAGE SHELVING W/ WOOD COMPOSITE SHELVES	LOZIER STORE FIXTURE, INC. 1-800-228-9882	12" x 48"	a, d.
T-1		TOILET PAPER HOLDER	SPECIALTY STORE SERVICES PH. 7619-367-1332	CUSTOM	TOILET ROOM a.
T-2		PAPER TOWEL HOLDER	SPECIALTY STORE SERVICES PH. 7619-367-1332	CUSTOM	TOILET ROOM a.
V-1		VIDEO MONITOR	LG - U8340C Series	43" LED MONITOR	WALL OR CEILING MOUNT a.

EQUIPMENT SCHEDULE NOTES:

- PROVIDED BY JOURNEYS, ASSEMBLED AND INSTALLED BY GENERAL CONTRACTOR.
- PROVIDED BY AND INSTALLED BY JOURNEYS.
- ALL MATERIALS AND WORK PROVIDED AND INSTALLED BY GENERAL CONTRACTOR.
- REFER TO STOCKROOM SHELVING OR FIXTURE DETAILS.
- 'STYL MARK' GLAZING CLIPS (FINISH: 210) 180 DEG. x 510511 90 DEG. x 510565 135 DEG. x 510561. ANY SUBSTITUTIONS NEED TO BE APPROVED BY ARCHITECT.
- 'AMERICAN PRODUCTS, INC.' GLAZING CLIPS (FINISH: 1103) 180 DEG. x 15102022 90 DEG. x 15202022 135 DEG. x 15202135. ANY SUBSTITUTIONS NEED TO BE APPROVED BY ARCHITECT.
- PRE-FINISHED SHELVING WITH (MP-4) MOZ' PANEL OVERLAY.

GENERAL SCHEDULE NOTES:

THE ITEM IS IDENTIFIED ON THE FINISH MATERIALS SCHEDULE AND THE EQUIPMENT AND FIXTURE SCHEDULE HAVE BEEN SELECTED AND APPROVED FOR USE ON JOURNEYS PROJECTS AS 'STANDARD'. ITEMS SPECIFIED MAY OR MAY NOT ACTUALLY APPEAR ON THE DRAWINGS. THE DESCRIPTIONS ARE TO IDENTIFY THE PRODUCTS AND NOT TO DETERMINE THE INCLUSION OR USE OF ANY PARTICULAR ITEM.

FINISH MATERIALS SCHEDULE

SYMBOL	QTY.	ITEM	DESCRIPTION	REMARKS
AC-1		SUSPENDED ACOUSTICAL TILE CEILING	UGS PROST PANELS CLIMAPLUS 44208 24x24" (AT SALES WITH DOWN-DX/DXL SUSPENSION SYSTEM) COLOR: BLACK	CEILING IN SALES AREA CONTACT: DAVID WINGFIELD UGS PH. 615-321-5674 david@celldesk.com a.
AC-2		SUSPENDED ACOUSTICAL TILE CEILING	RADAR CLIMAPLUS PANELS 2410 24x24" SQUARE EDGE (WITH DOWN-DX/DXL SUSPENSION SYSTEM) COLOR: WHITE	CEILING IN STOCKROOM CONTACT: DAVID WINGFIELD UGS PH. 615-321-5674 david@celldesk.com a.
AL-1		ALUMINUM STOREFRONT	KAWNEER OR APPROVED EQUAL TRI FAS 48" CLEAR ANODIZED FINISH (2" x 4 1/2" OR 4 1/2" x 4 1/2") 1" INSULATED CLEAR TEMP. GLAZING	STOREFRONT b.
BM-1		BRAKE METAL	26 GA. ALUMINUM FINISH: CLEAR NATURAL ANODIZED	SALES AREA PROVIDE FULL COVER ADHESIVE TO AVOID BUCKLES AND OIL CANNING b.
CG-1		TILE CORNER GUARD	SCHLUTER-RODECO PART#R02004E EQUAL: BATH ANODIZED ALUMINUM 800-472-4588 / schluter.com	OUTSIDE VERTICAL CORNERS AT TILE TURN-OUTS a.
CT-2		UNPOLISHED FLOOR TILE	18" x 18" UNPOLISHED TILE BY 'LOUISVILLE TILE' JOURNEYS CLAY	SALES AREA FLOOR ON STOREFRONT TURN-OUTS, TOILET ROOM FLOOR & BASE a, e.
CT-3		UNPOLISHED FLOOR TILE	18" x 18" UNPOLISHED TILE BY 'LOUISVILLE TILE' JOURNEYS GREEN	SALES AREA FLOOR a, e.
CT-4		UNPOLISHED FLOOR TILE	18" x 18" UNPOLISHED TILE BY 'LOUISVILLE TILE' JOURNEYS BLUE	SALES AREA FLOOR a, e.
MP-1		MOZ' METAL PANEL	MOZ' PANEL - EARTH COLLECTIONS GRAIN, THUNDER AND CLOUDS COLOR: TANGERINE 'A' POLYCOAT FINISH	CASHURAP AND POST CAPS a, f.
MP-2		MOZ' METAL PANEL	MOZ' PANEL GRAIN, THUNDER AND CLOUDS COLOR: LILAC 'C' POLYCOAT FINISH	POST CAPS a, f.
MP-3		MOZ' METAL PANEL	MOZ' PANEL - RADIANCE COLLECTION GRAIN, THUNDER AND CLOUDS COLOR: BAGE 'C' POLYCOAT FINISH	POST CAPS a, f.
MP-4		MOZ' METAL PANEL	MOZ' PANEL GRAIN, THUNDER AND CLOUDS COLOR: CLEAR POLYCOAT FINISH	DISPLAY SHELF OVERLAY a, f.
MP-5		POST CAP	MOZ' PANEL GRAIN, THUNDER AND CLOUDS COLOR: BAGE 'C' POLYCOAT FINISH	POST CAP a, f.
MR-1		WALL MIRROR	1/4" CLEAR MIRROR	INTERIOR WALL AS INDICATED b.
PT-1		PAINT	'BENJAMIN MOORE' OR EQUAL COLOR: 9414 / SUPER NOVA EGG SHELL FINISH	SALES AREA WALLS ABOVE 10'-0" AFF. - 8'0" AFF. b, d.
PT-2		LACQUER STAIN	'SHERWIN WILLIAMS' OR EQUAL MOBBY GREEN PART# 56400019129-4302	SALES AREA WALL PANELS AND WALL BASE AS INDICATED ON ELEVATIONS a.
PT-4		OIL STAIN	'SHERWIN WILLIAMS' OR EQUAL GOLDEN GRAY (GOLD) PART# 56400019461-4302	SALES AREA SHELVING - RE: ELEVATIONS a.
PT-5		LACQUER STAIN	'SHERWIN WILLIAMS' OR EQUAL CASABLANCA I (ORANGE) PART# 5640001930-4302	SALES AREA WALL PANELS AND BASE AS INDICATED ON ELEVATIONS a.
PT-5B		OIL STAIN	'SHERWIN WILLIAMS' OR EQUAL CASABLANCA II (ORANGE) PART# 56400019481-4302	SALES AREA SHELVING - RE: ELEVATIONS a.
PT-8		PAINT	'SHERWIN WILLIAMS' OR EQUAL COLOR: 9516 6098 PACER WHITE PRO-MAR 200 LATEX EGG SHELL FINISH	STOCKROOM WALLS b.
PT-9		PAINT	'SHERWIN WILLIAMS' OR EQUAL COLOR: 9516 6098 PACER WHITE TILE GLAD II EPOXY BASE SERIES 9640 110 OVER PRO-MAR 200 INTERIOR LATEX WALL PRIMER	TOILET ROOM WALLS AND CEILING b.
PT-10		PAINT	'SHERWIN WILLIAMS' OR EQUAL HAZE GRAY EPOXY PAINT ARMORSEAL FLOOR-FLEX 1100 SERIES FLOOR PAINT (2 COATS)	STOCKROOM FLOOR b.
PT-11		PAINT	'SHERWIN WILLIAMS' OR EQUAL COLOR: 9516 6098 PACER WHITE TILE GLAD II EPOXY BASE SERIES 9640 110 OVER PRO-MAR 200 INTERIOR LATEX WALL PRIMER	SEE PLANS b.
RB-1		RESILIENT BASE	HEXICO #1, BLACK, 6" HIGH COVERED TYPICAL AT VINYL TILE FLOORS.	STOCKROOM b.
UB-1		WOOD BASE	1" x 4" WOOD BASE (PAINTED)	SALES FLOOR (PAINT TO MATCH OBS) a, c.

FINISH MATERIALS SCHEDULE NOTES:

- PROVIDED BY JOURNEYS AND INSTALLED BY GENERAL CONTRACTOR.
- ALL MATERIALS AND WORK PROVIDED AND INSTALLED BY GENERAL CONTRACTOR.
- REFER TO FLOOR PLAN FOR STAIN COLOR LAY-OUT.
- PROVIDE A MINIMUM OF TWO (2) COATS PAINT OVER ONE (1) COAT PRIMER ON ALL WALLS AND BOFFITS IN SALES AREA ONLY.
- 1/4" GROUT JOINT FOR PORCELAIN TILE (CT-2, CT-3 AND CT-4) SHALL BE: LIGHT PEWTER BANDED GROUT - TEC 937
- SEE COVER SHEET FOR MOZ' METAL PANEL INFORMATION.

FLAME SPREAD RATING NOTES:

- (AC-1) AND ALL PAINTED GYP. BD. SURFACES HAVE A CLASS 'A' FLAME SPREAD RATING (0-25 MAX.)
- OB8 HAS A CLASS 'C' FLAME SPREAD INDEX RATINGS OF 180.
- PRE-FINISHED MOZ' PANEL ON 1/2" FRT PARTICLE BOARD IS A NON-COMBUSTIBLE FINISH.

Architect:



Kevin L. Cooper Architect

Verdant Studio
216 W. Birch Street,
Suite 101
Rogers, AR 72756
(479) 466-1118
Drawings and Specifications as instruments of service are and shall remain the property of the Architect. They are not to be used on extensions of the project, or other projects except by agreement in writing and appropriate compensation to the Architect.

The General Contractor is responsible for confirming and correlating dimensions at the job site. Drawings are not to be scaled. The Architect will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

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Engineer/Other:

Owner:



GENESCO CONSTRUCTION DIVISION
GENESCO PARK, SUITE 804
P.O. BOX 731
NASHVILLE, TENNESSEE 37202-0731
615-367-7539 FAX: 615-367-7845

Project:



SPACE # H-135
STATION PARK

FARMINGTON,
UTAH

Sheet Contents:

SCHEDULES /
NOTES

Drawing Date:

Drawn By: KLC

Checked By: KLC

Revisions:

Dwg Name: GWO-20-034.dwg

Date: 02-09-21

Sheet: 2 of 12

A2.1

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NOTE:
GENERAL CONTRACTOR SHALL VERIFY ALL MATERIALS TO BE DEMOLISHED ARE ASBESTOS-FREE. IF ASBESTOS CONTAINING MATERIALS ARE FOUND, LEAVE MATERIALS IN PLACE AND CONTACT OWNER IMMEDIATELY.

NOTE:
ALL DEMISING WALL STUDS AND NEUTRAL PIERS BY LANDLORD IF NOT EXISTING. ALL MECHANICAL, ELECTRICAL AND PLUMBING STUDS BY LANDLORD IF NOT EXISTING.

NOTE:
CONTRACTOR SHALL FIELD VERIFY ALL CLEARANCE HEIGHTS ABOVE EXISTING CEILING. IF A CONFLICT EXISTS WITH NEW DESIGN, CONTACT THE ARCHITECT IMMEDIATELY.

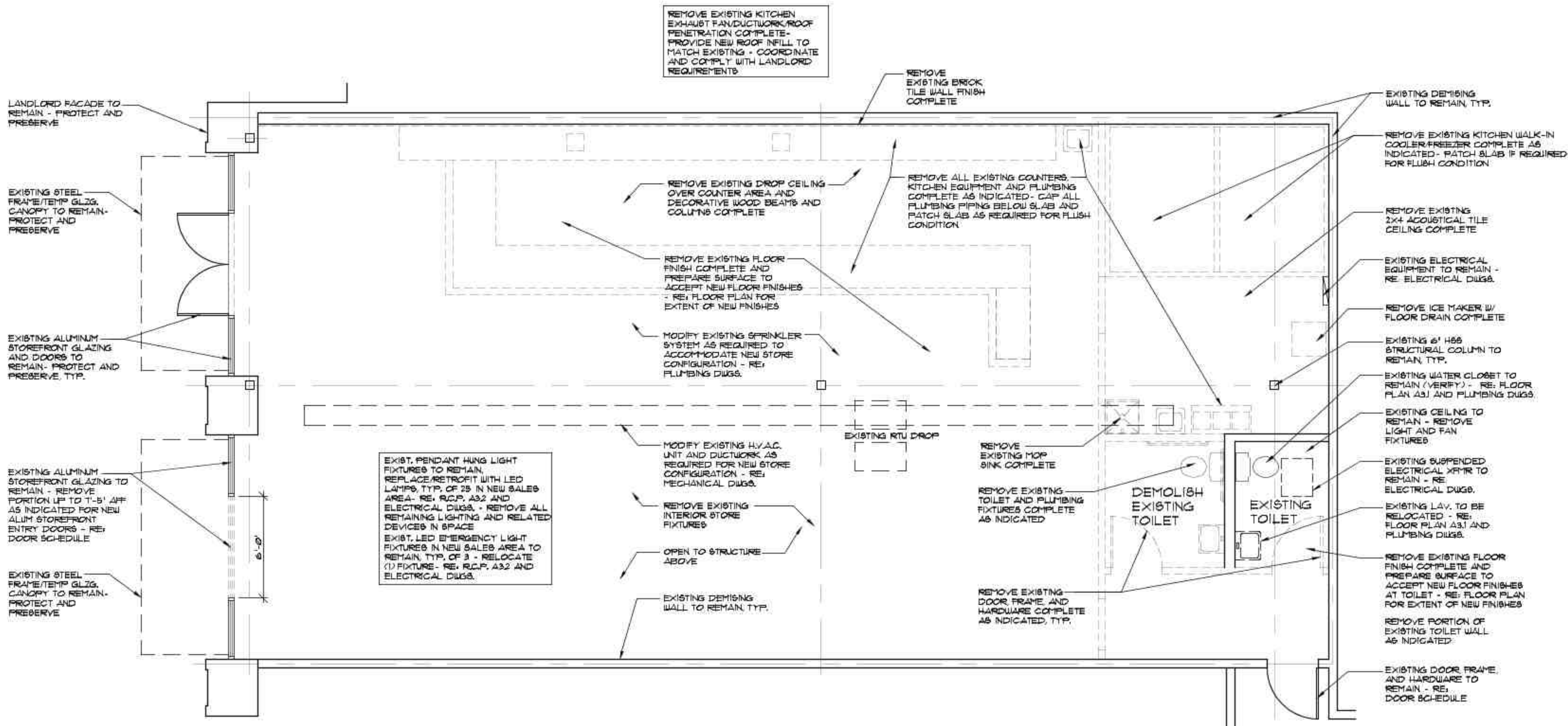
NOTE:
GENERAL CONTRACTOR SHALL FIELD VERIFY EXACT SCOPE OF DEMOLITION REQUIRED WITH THE TENANT PRIOR TO BIDDING AND CONSTRUCTION.

DEMOLITION NOTES:

1. ANY ELECTRICAL UTILITIES TO BE REMOVED SHALL BE DISMANTLED BACK TO POINT OF ORIGIN.
2. OWNER RESERVES THE RIGHT TO RETAIN ANY OR ALL EXISTING ITEMS. (CONTRACTOR SHALL VERIFY WITH OWNER). ALL OTHER MATERIALS AND DEBRIS SHALL BE REMOVED PER LANDLORD'S CRITERIA AND COMPLY WITH LANDLORD REQUIREMENTS.
3. REFER TO SECTION 07072 OF THE SPECIFICATIONS FOR ADDITIONAL NOTES.

SUSTAINABILITY GUIDELINES

- THE FOLLOWING GUIDELINES TO BE USED BY GENERAL CONTRACTOR ARE VOLUNTARY IN NATURE. IT IS HIGHLY RECOMMENDED THAT THE GENERAL CONTRACTOR FOLLOW THESE GUIDELINES TO THE EXTENT IT IS FEASIBLE.
1. **DIVERT TENANT CONSTRUCTION WASTE FROM LANDFILLS:**
 - A. SEGREGATE DEMOLITION AND CONSTRUCTION WASTE AND MAXIMIZE RECYCLING OF ITEMS SUCH AS CEILING TILES, METAL STUDS, LIGHT BULBS/LAMPS, GLASS AND OTHER INTERIOR FINISHES.
 - B. SALVAGE ITEMS SUCH AS LIGHT FIXTURES, DOORS/FRAMES, PLUMBING AND STORE FIXTURES, ETC.
 - C. CONSTRUCT AN APPROVED STOREFRONT BARRICADE SYSTEM THAT CAN BE REUSED AFTER REMOVAL OR MAXIMIZE RECYCLING OF MATERIALS FROM PARTITION BUILT BARRICADES.
 - D. COORDINATE ALL RELATED WORK WITH LANDLORD.
 2. **IMPROVE INDOOR AIR QUALITY:**
 - A. REDUCE CONSTRUCTION DUST AND AIR PARTICULATES WITH DUST CONTAINMENT SYSTEMS AND/OR SHUT OFF CIRCULATING AIR.
 - B. SEAL OFF ALL HVAC IF REUSING EXISTING AND CLEAN PRIOR TO OCCUPANCY.
 - C. CHANGE HVAC FILTERS AT THE CONCLUSION OF THE JOB.
 - D. USE A HEPA AIR FILTER MACHINE DURING CONSTRUCTION TO MITIGATE DUST AND FUME EXPOSURE TO WORKERS.
 - E. USE LOW VOC, PAINTS, ADHESIVES, SEALANTS, ETC.
 3. **OBTAIN CONSTRUCTION MATERIALS, DEVICES, EQUIPMENT, ETC WITHIN A 500 MILE RADIUS OF THE PROJECT WORK.**
 4. **OBTAIN CONSTRUCTION MATERIALS THAT ARE MADE OF RECYCLED CONTENT AND/OR CAN BE EASILY RECYCLED AT END-USE.**



1 DEMOLITION PLAN



Architect:



Kevin L. Cooper Architect
Verdant Studio
216 W. Birch Street,
Suite 101
Rogers, AR 72756
(479) 466-1118
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Engineer/Other:

Owner:

GENESCO
GENESCO CONSTRUCTION DIVISION
GENESCO PARK, SUITE 804
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NASHVILLE, TENNESSEE 37202-0731
615-367-7539 FAX: 615-367-7845

Project:



SPACE # H-135
STATION PARK

FARMINGTON,
UTAH

Sheet Contents:
DEMOLITION PLAN

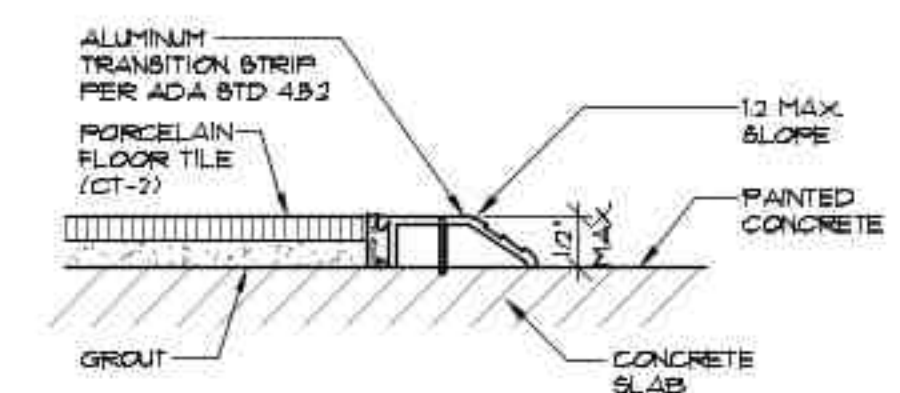
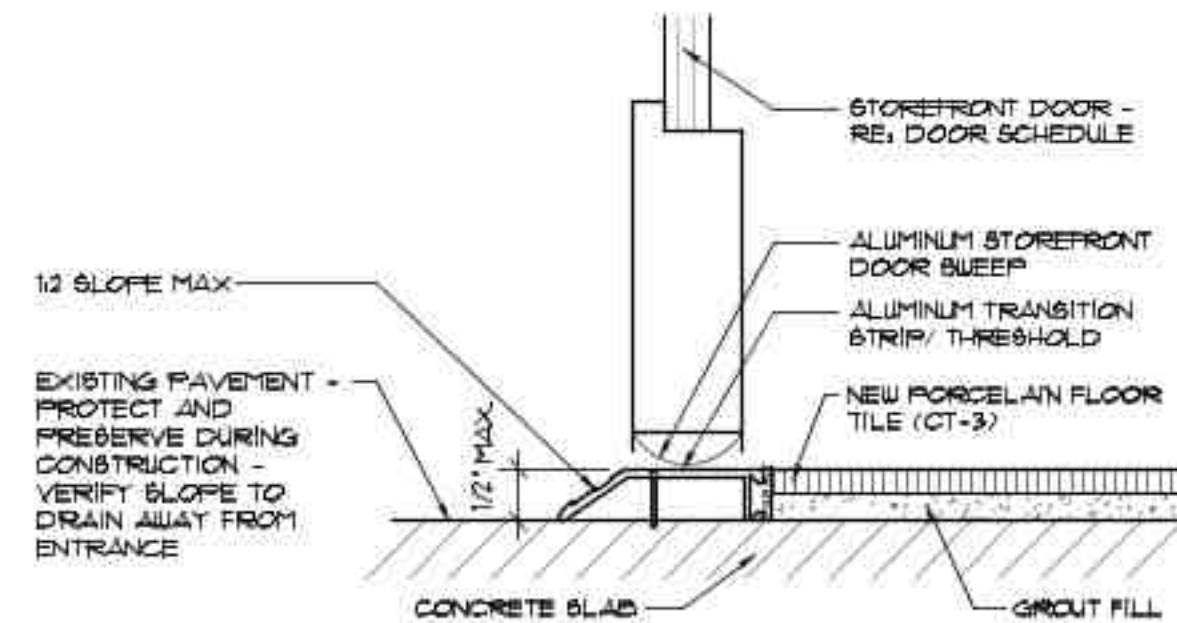
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Drawn By: KLC
Checked By: KLC
Revisions:

Dwg Name: GWO- 20-03462.dwg
Date: 02-09-21
Sheet: 3 of 12

A2.2

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2 PAVEMENT/CERAMIC TILE TRANSITION NTS

3 TILE/CONCRETE TRANSITION NTS

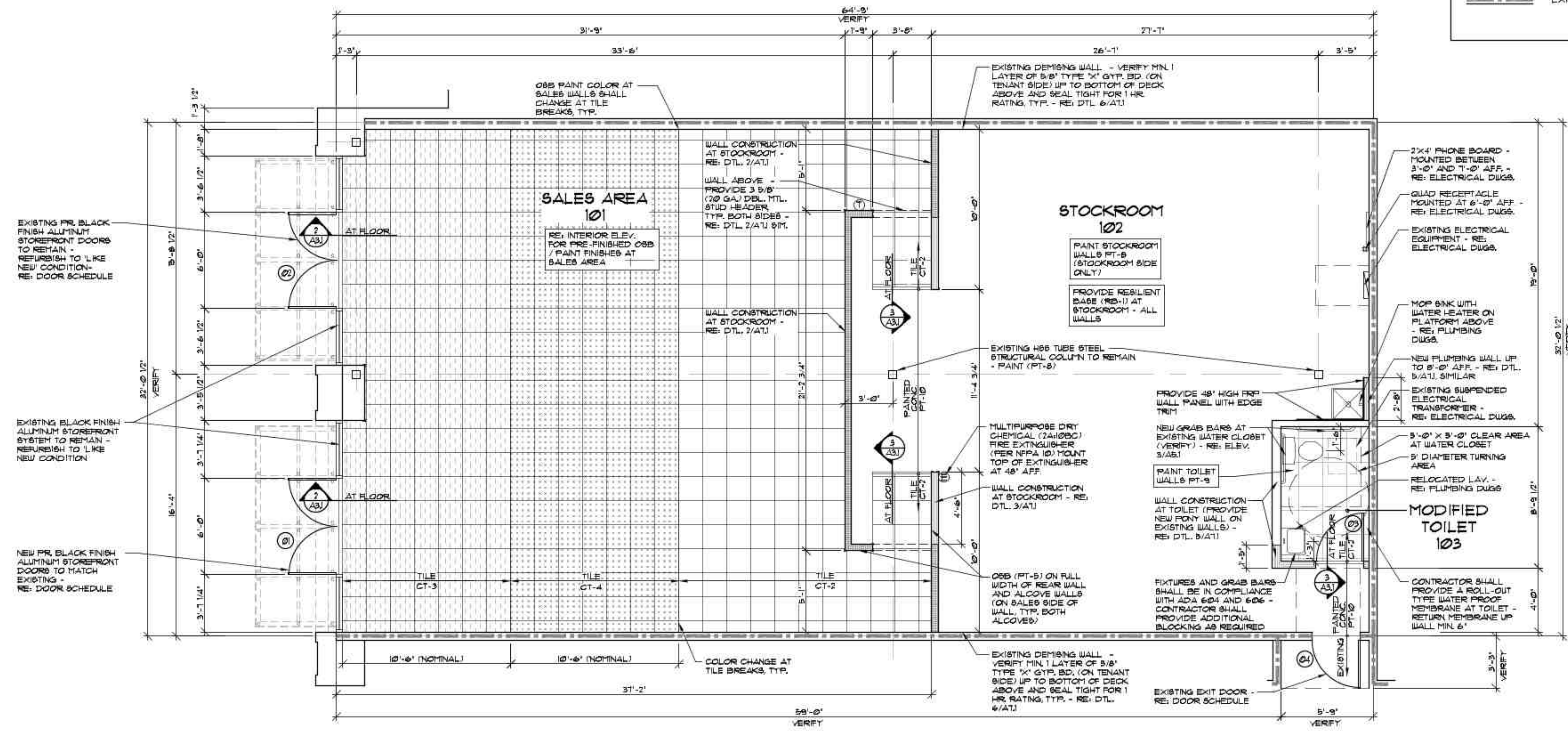
ROOM FINISH SCHEDULE									
ROOM NO	ROOM NAME	FLR	BASE	NORTH	EAST	SOUTH	WEST	CLG	CEILING HEIGHT
101	SALES AREA	1	1	1/4	3/4	1/4	1/4	3/4-5	---
102	STOCKROOM	3	2	1/6	1	1/6	1/6	3/4	---
103	TOILET	1	3	1/2	1/2	12/6	12/6	1/4	9'-0"

FINISHES:			
FLOORS:	BASES:	WALLS:	CEILING:
1. TILE	1. WOOD (WB-1)	1. PAINTED GYPSUM BOARD	1. PAINTED GYPSUM BOARD
2. MATCH MALL	2. RESILIENT	2. EPOXY PAINT	2. 2" X 2" SUSPENDED
3. PAINTED	3. TILE (CT-2)	3. STOREFRONT	ACoustICAL TILE
4. CONC.	4. EXISTING	4. PAINTED OSB	3. NO CEILING -
5. EXISTING		5. PANEL	EXPOSED TO
		6. CMU WALL	STRUCTURE ABOVE
		EXISTING	EXISTING
			4. TOUCH-UP PAINT TO
			MATCH EXISTING

- ROOM FINISH SCHEDULE NOTES:**
- PATCH/REPAIR EXISTING GYP. BD. AS REQUIRED - PREPARE NEW SURFACES FOR NEW FINISHES.
 - PROVIDE ROLL-OUT TYPE WATER PROOF MEMBRANE UNDER TILE FLOORING - TURN UP WALL MIN. 6".
 - PROVIDE OSB UP TO 10'-0" AFF. (PRE-FINISHED). ATTACH OSB BD. TO GYP. BD. W/ STUDS WITH FULL COVERAGE LIQUID NAIL AND FINISH NAILS - RE: INTERIOR ELEVATIONS.
 - PROVIDE 48" HIGH FRP. WAINSCOT (ALL WALLS).

- NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF THE LANDLORD'S CRITERIA PRIOR TO CONSTRUCTION. FAILURE TO ACQUAINT HIMSELF WITH THIS KNOWLEDGE DOES NOT RELIEVE HIM OF ANY RESPONSIBILITY.
 - CONTRACTOR SHALL THOROUGHLY VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION. ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.

WALL LEGEND	
	NEW NON-RATED WALL UP TO 14'-0" AFF. - RE: DTL 3/A1J
	NEW NON-RATED WALL TO DECK - RE: DTL 2/A1J
	EXISTING NON-RATED WALL/FURR-OUT
	EXISTING FIRE PARTITION



1 FLOOR PLAN

1/4"=1'-0"



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 (479) 466-1118
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 Engineer/Other:

Owner:
GENESCO
 GENESCO CONSTRUCTION DIVISION
 GENESCO PARK, SUITE 804
 P.O. BOX 731
 NASHVILLE, TENNESSEE 37202-0731
 615-367-7539 FAX: 615-367-7845

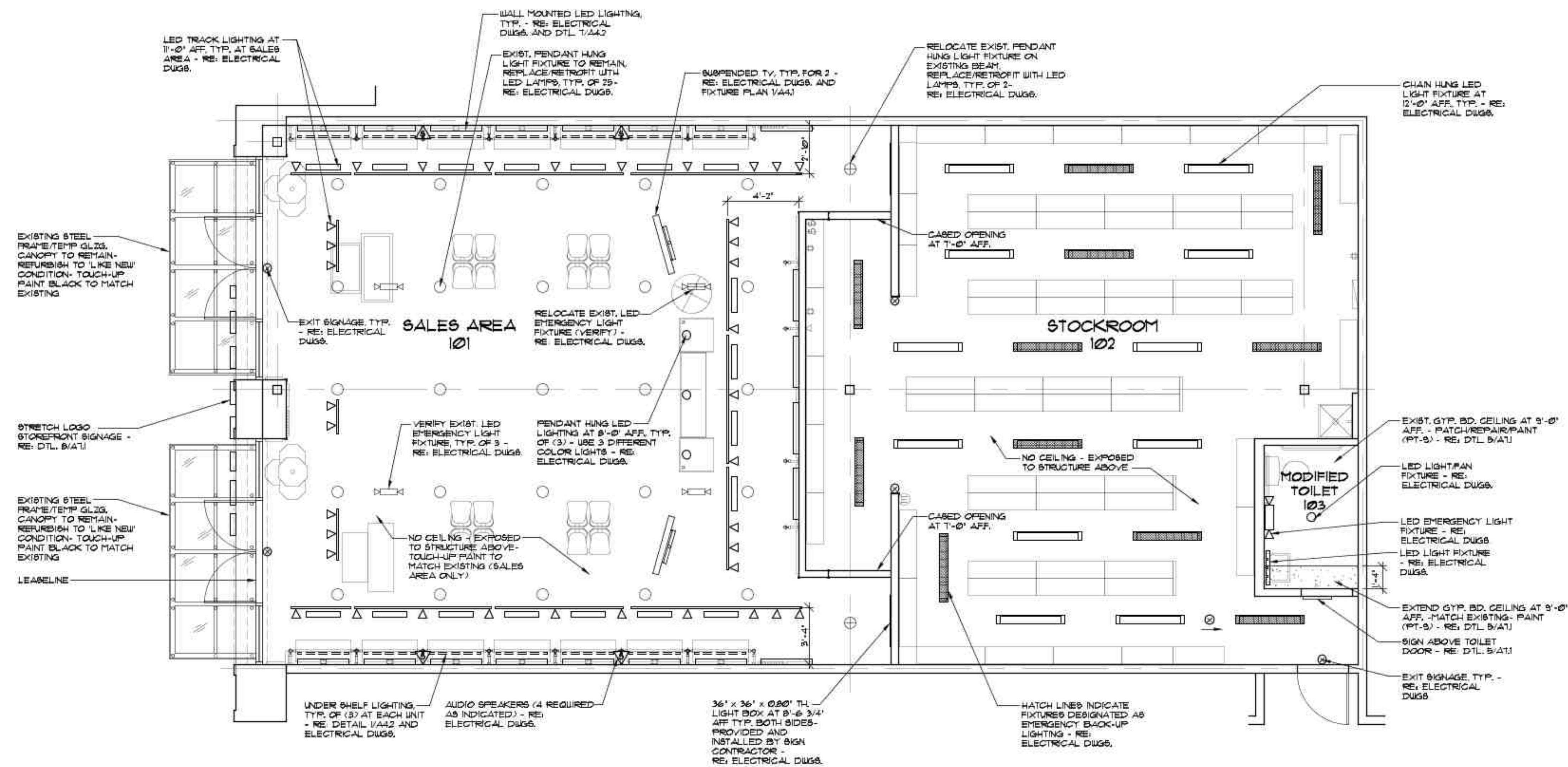
Project:
JOURNEYS
 SPACE # H-135
 STATION PARK
 FARMINGTON, UTAH
 Sheet Contents:
 FLOOR PLAN

Drawing Data:
 Drawn By: KLC
 Checked By: KLC
 Revisions:

Dwg Name: GWO-20-034.plt.dwg
 Date: 02-09-21
 Sheet: 4 of 12

A3.1

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1 REFLECTED CEILING PLAN

1/4"=1'-0"



Architect:



02-09-21

Kevin L. Cooper Architect

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Rogers, AR 72756
(479) 466-1118



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Owner:

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615-367-7539 FAX: 615-367-7845

Project:



SPACE # H-135
STATION PARK

FARMINGTON,
UTAH

Sheet Contents:

REFLECTED
CEILING PLAN

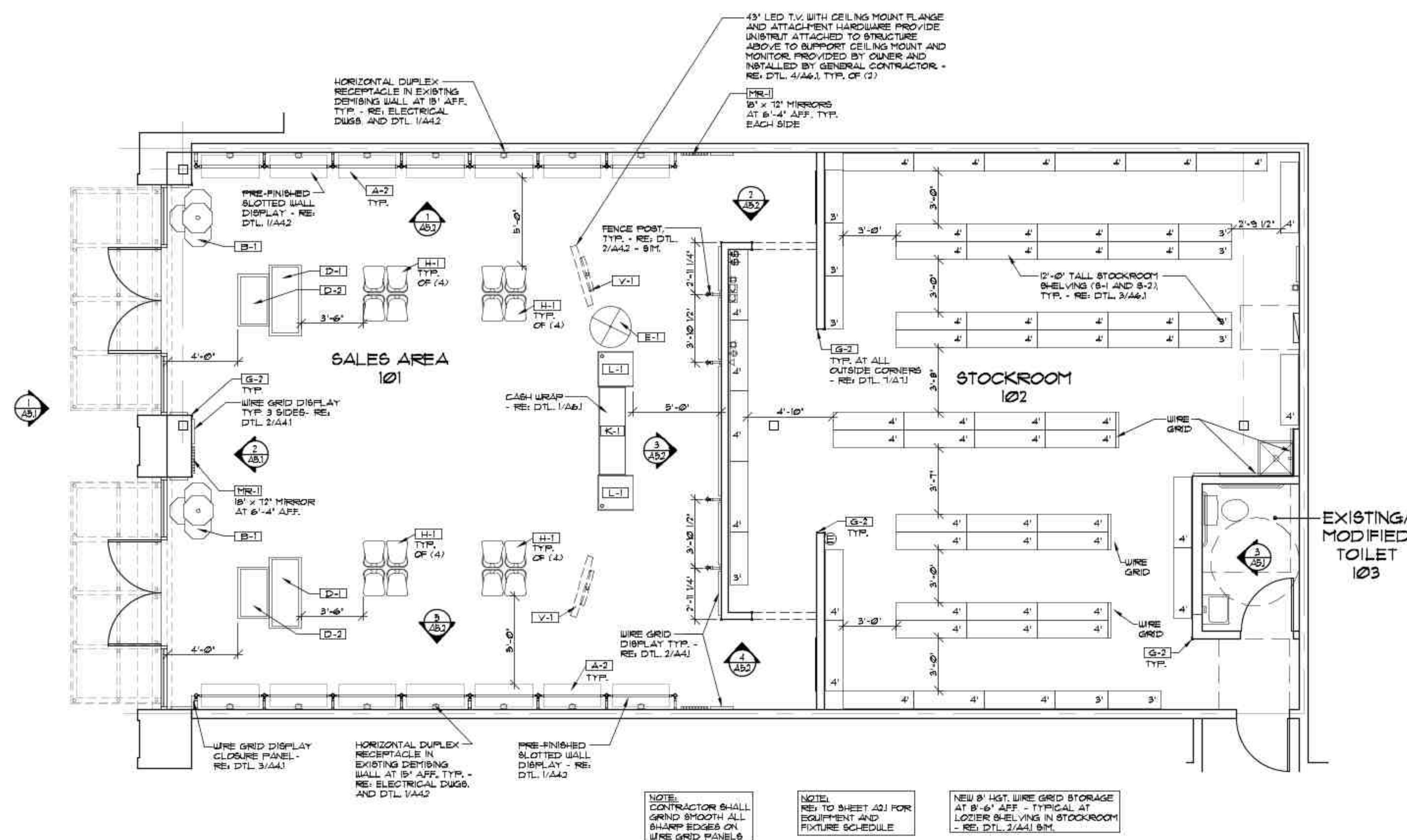
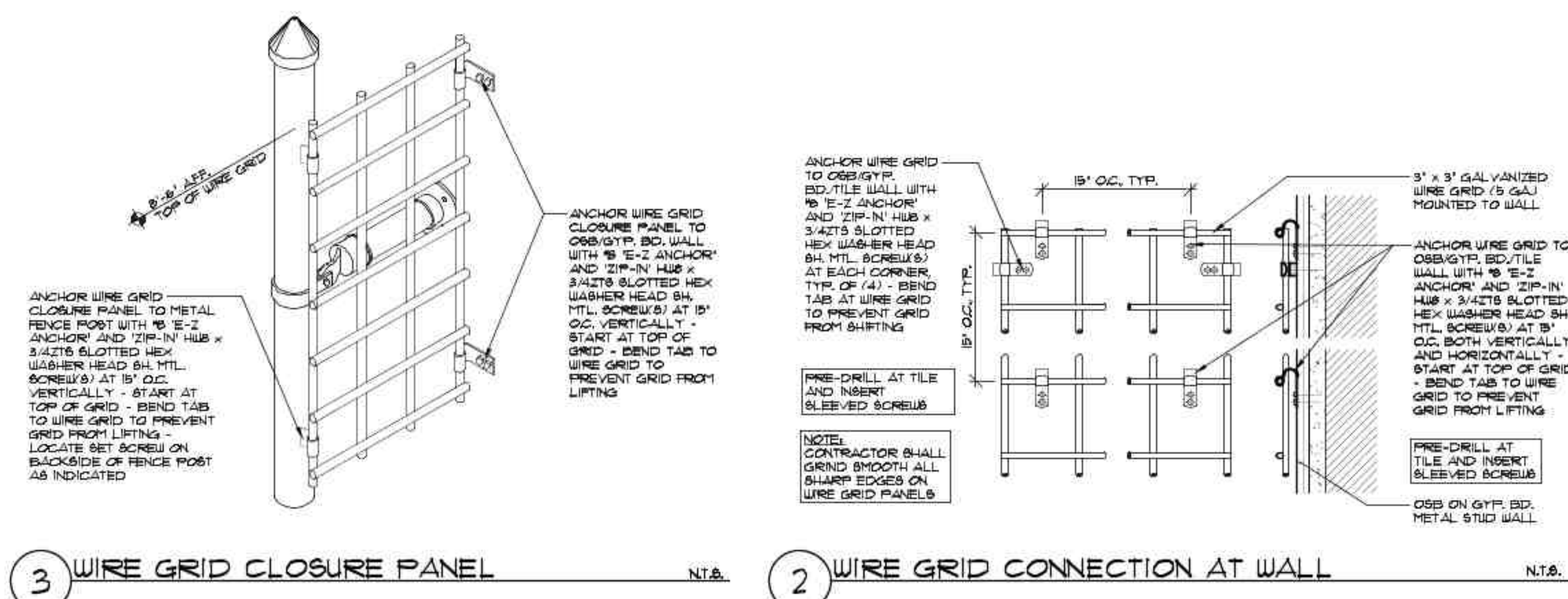
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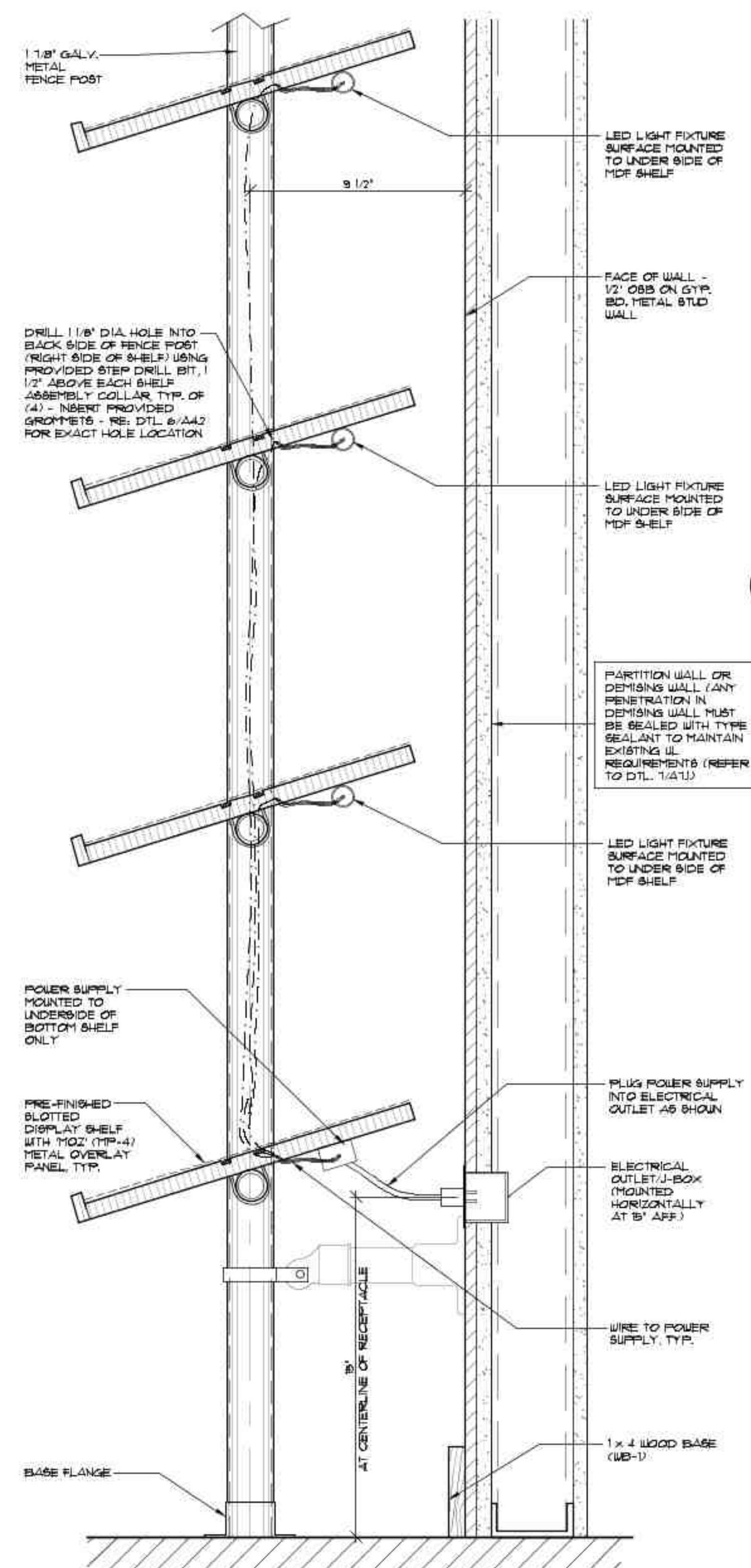
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Checked By: KLC
Revisions:

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Date: 02-09-21
Sheet: 5 of 12

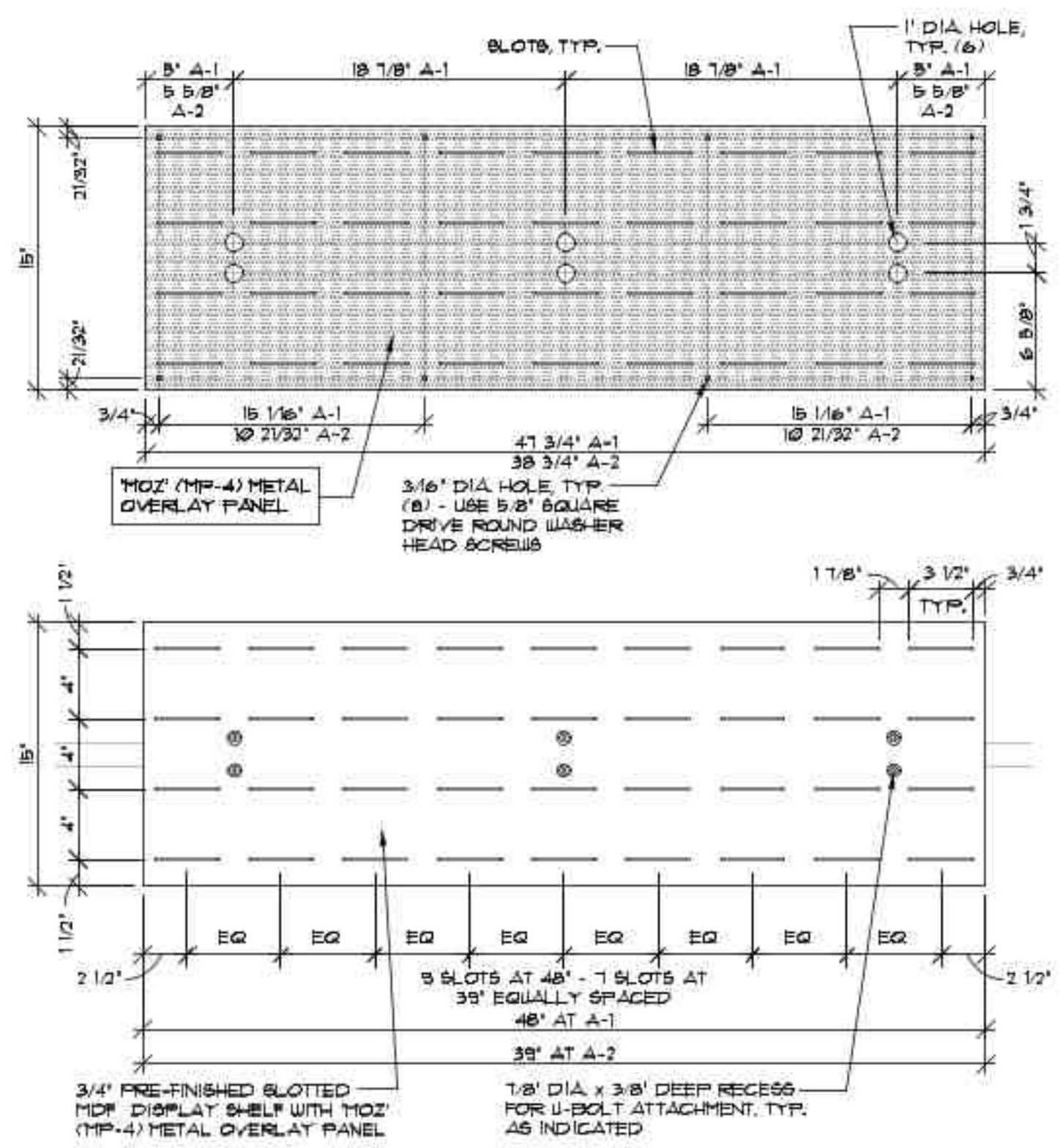
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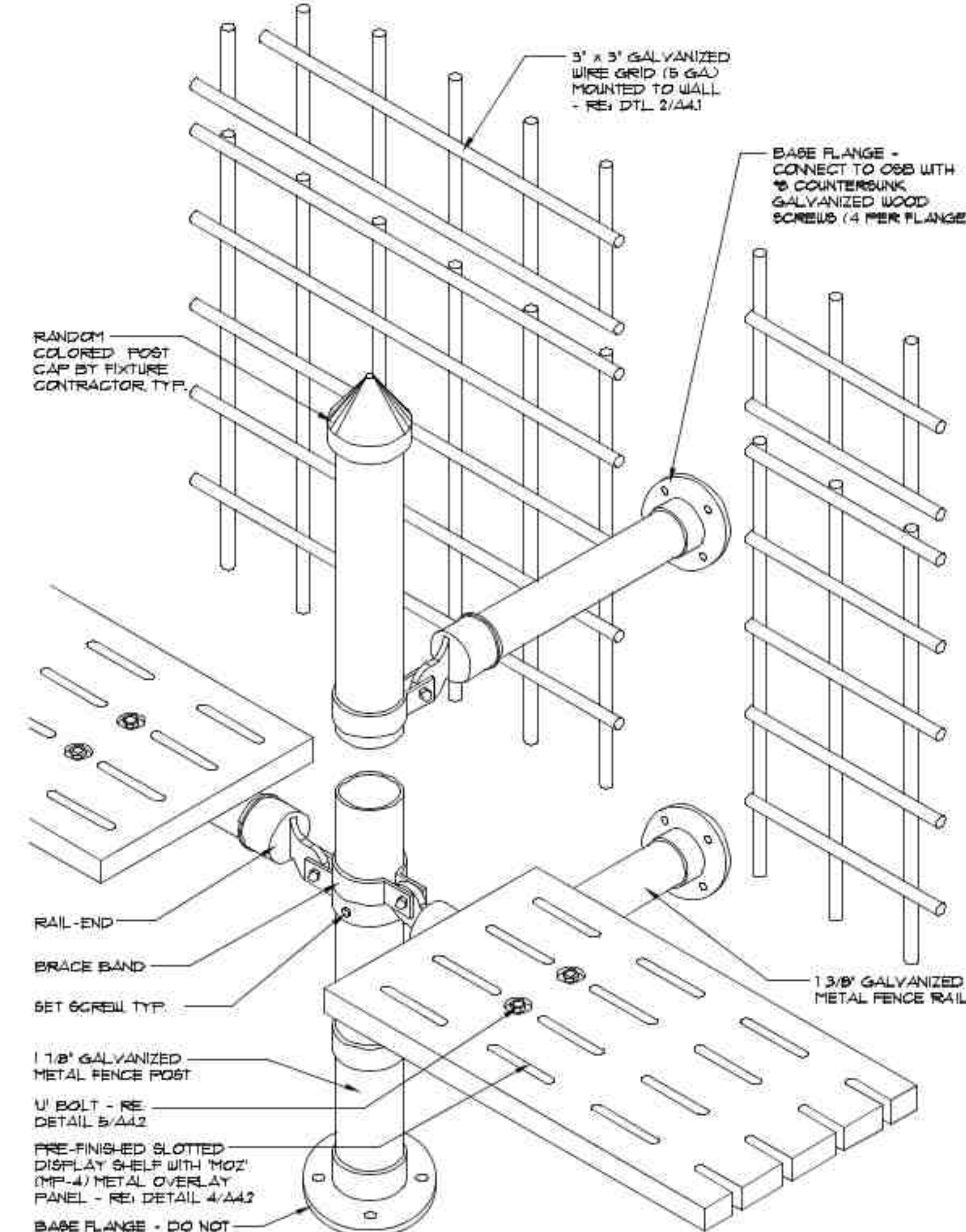




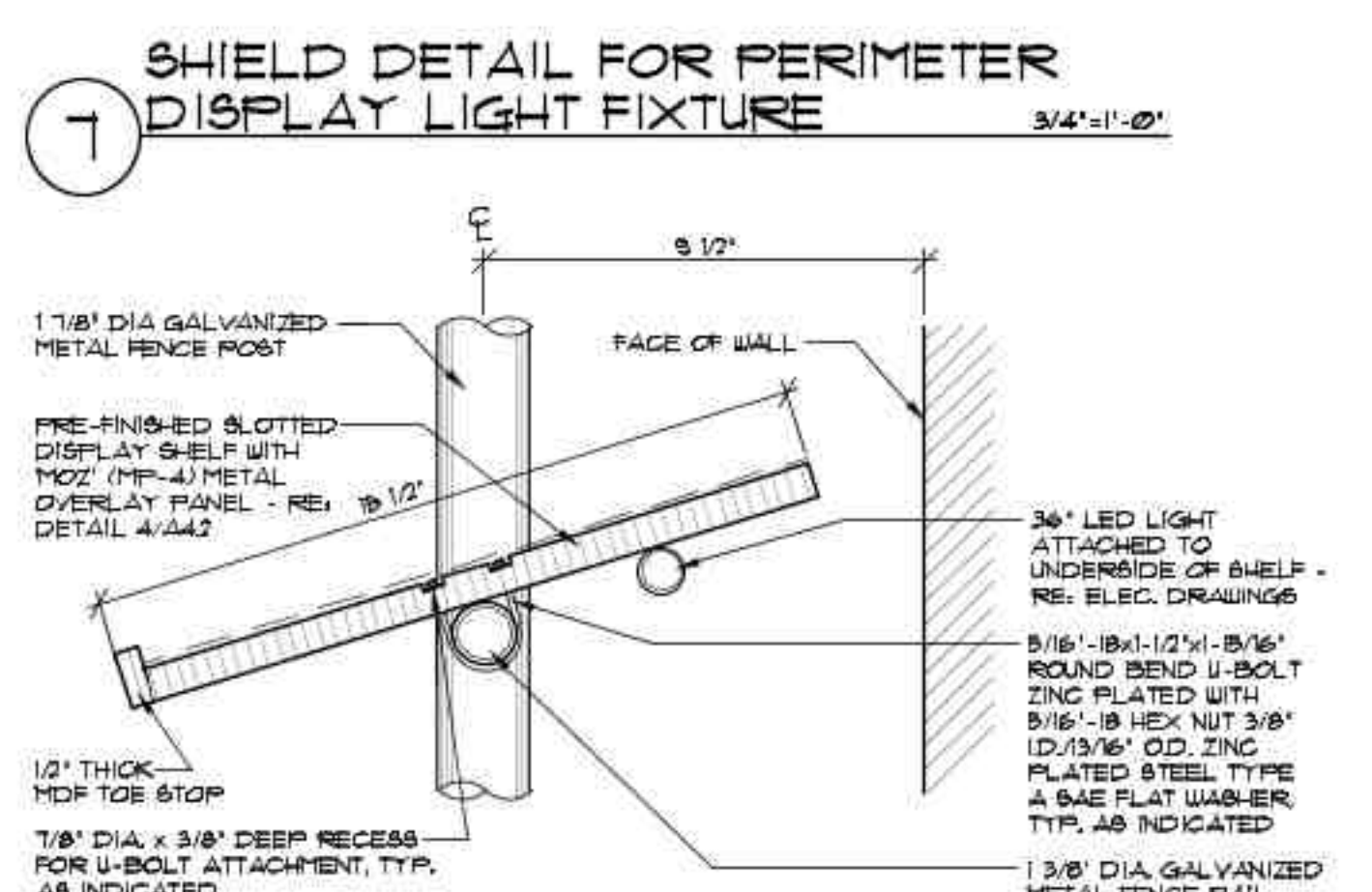
3 LED LIGHTING UNDER SHELF DETAIL 3'-1'-0"



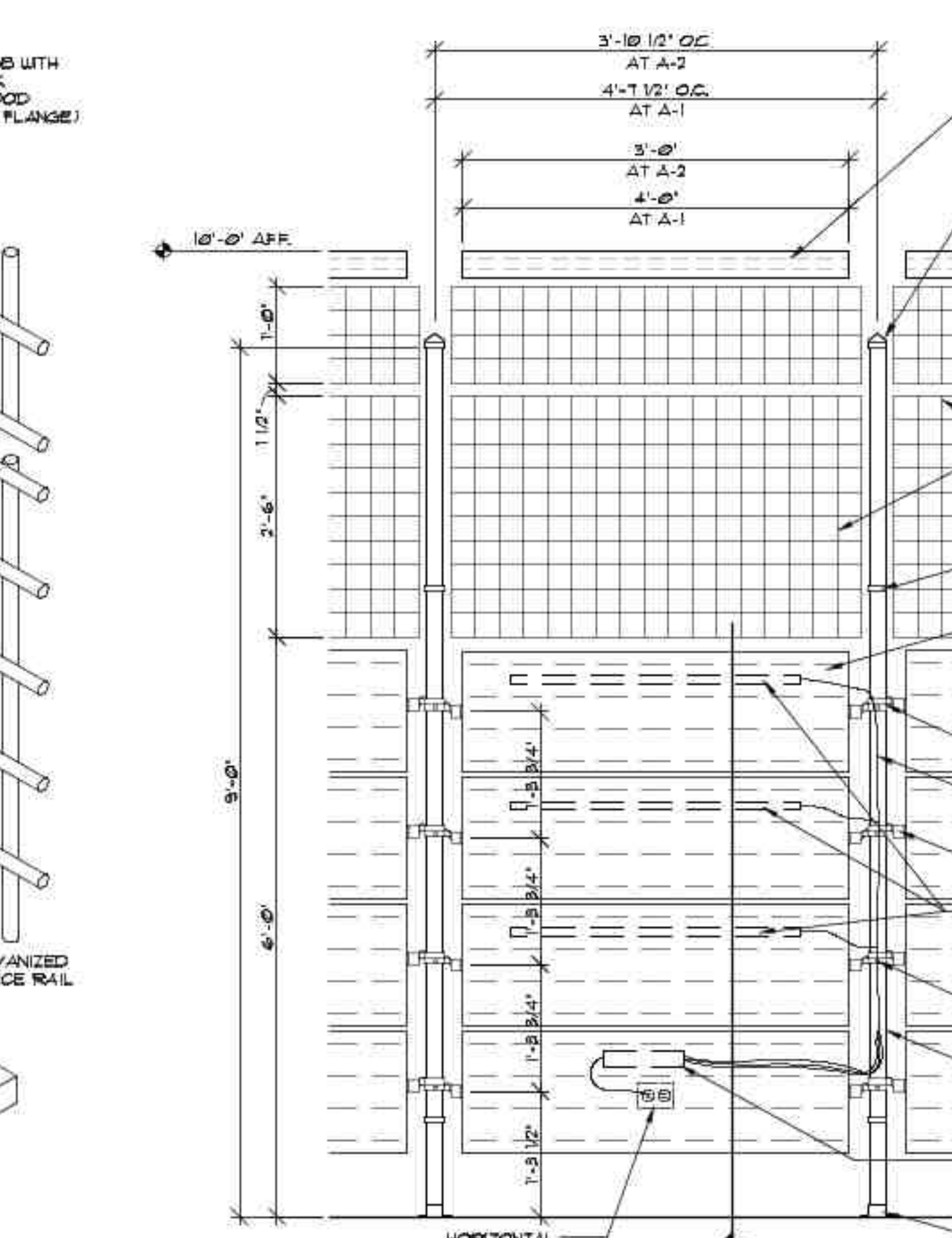
4 TYPICAL SLOTTED SHELF DETAIL 1 1/2'-1'-0"



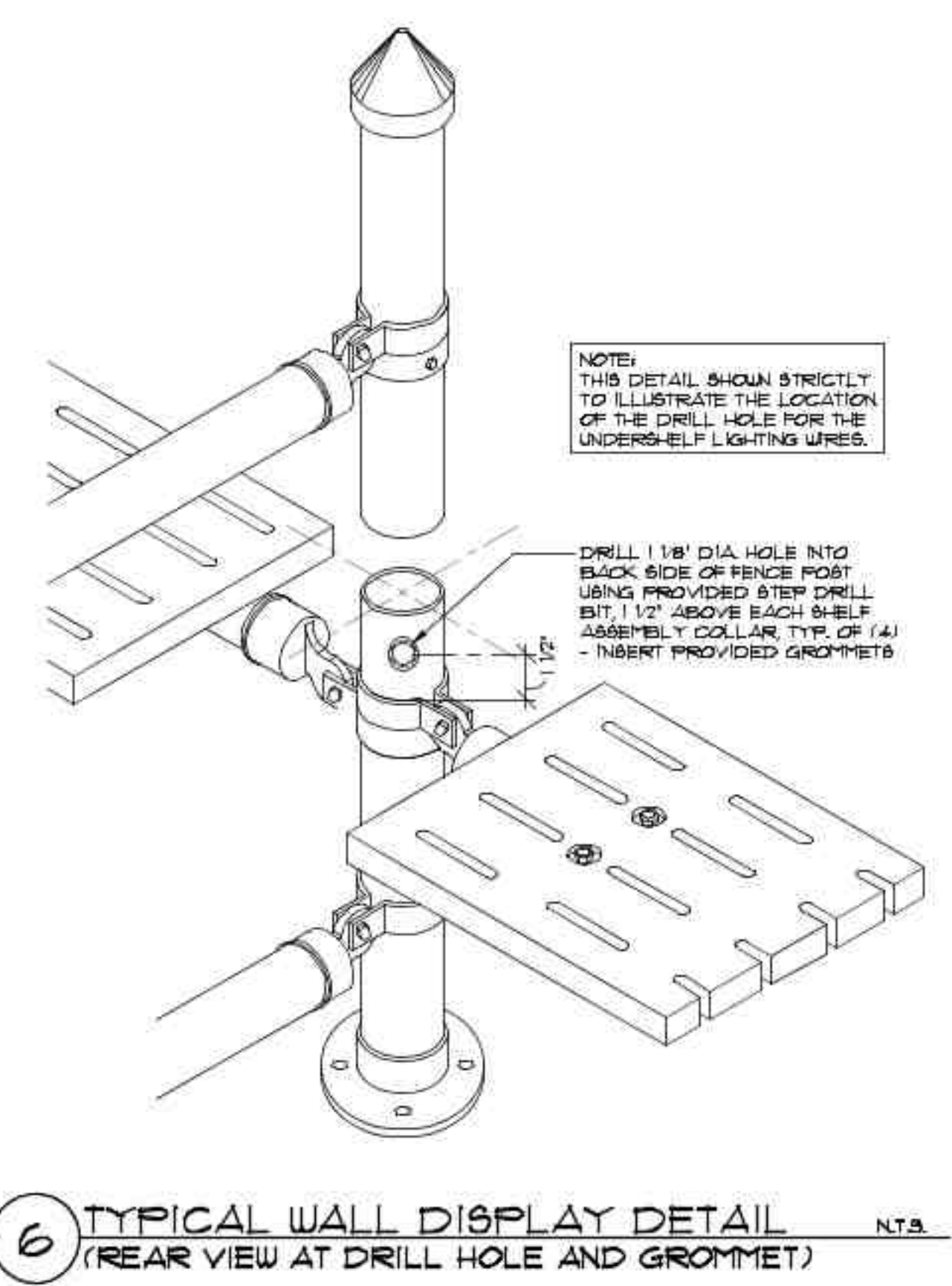
2 TYPICAL WALL DISPLAY DETAIL N.T.S.



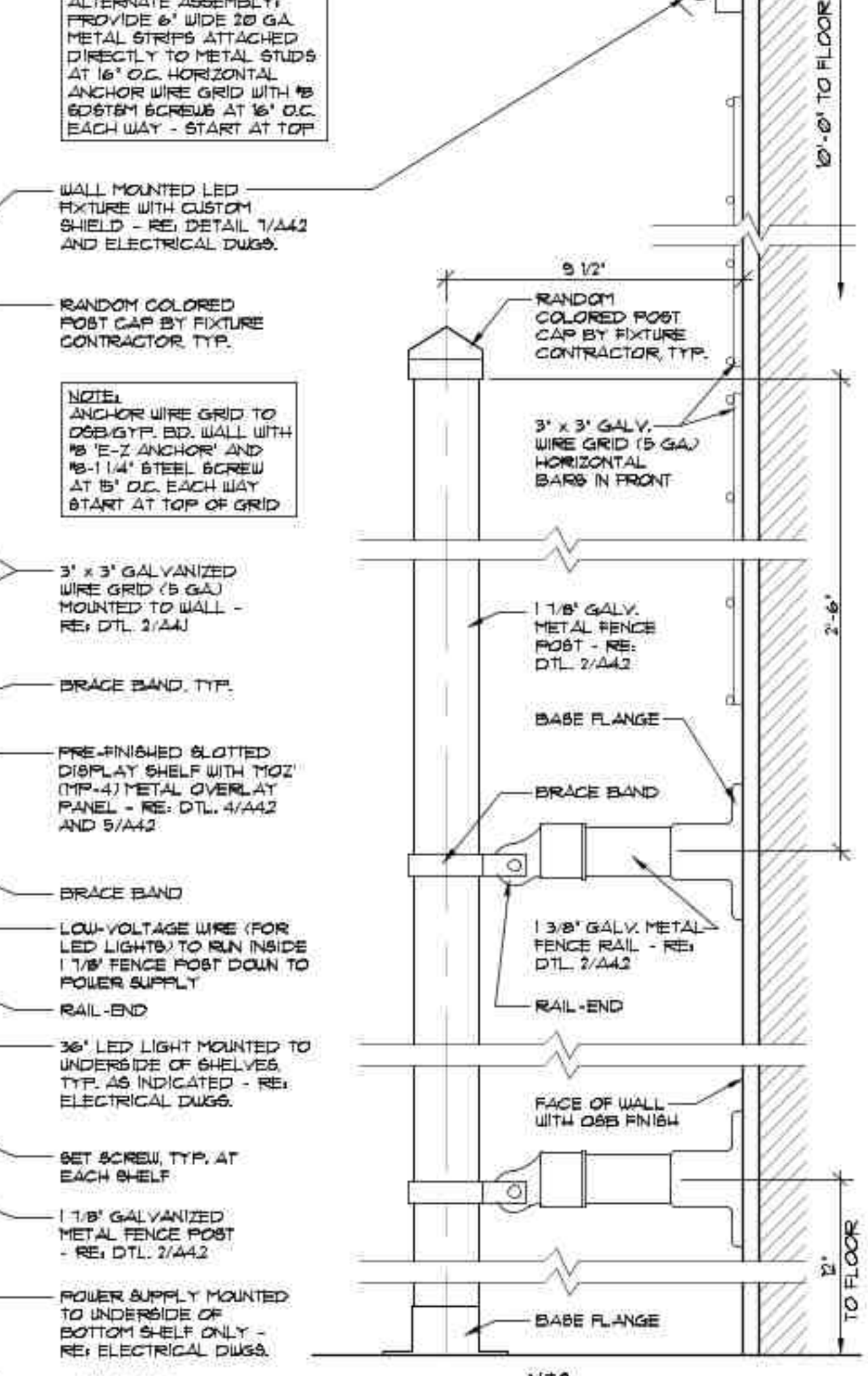
5 TYPICAL SLOTTED SHELF SECTION 3'-1'-0"



1 TYPICAL SLOTTED WALL DISPLAY DETAIL 3'-1'-0"



6 TYPICAL WALL DISPLAY DETAIL (REAR VIEW AT DRILL HOLE AND GROMMET) N.T.S.



7 TYPICAL WALL DISPLAY DETAIL 3'-1'-0"

Architect:

STATE OF UTAH
KEVIN L. COOPER ARCHITECT
02-09-21

Kevin L. Cooper Architect
Verdant Studio
216 W. Birch Street,
Suite 101
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(479) 466-1118
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GENESCO CONSTRUCTION DIVISION
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NASHVILLE, TENNESSEE 37202-0731
615-367-7539 FAX: 615-367-7845

Project:

SPACE # H-135
STATION PARK

FARMINGTON,
UTAH

Sheet Contents:

FIXTURE DETAILS

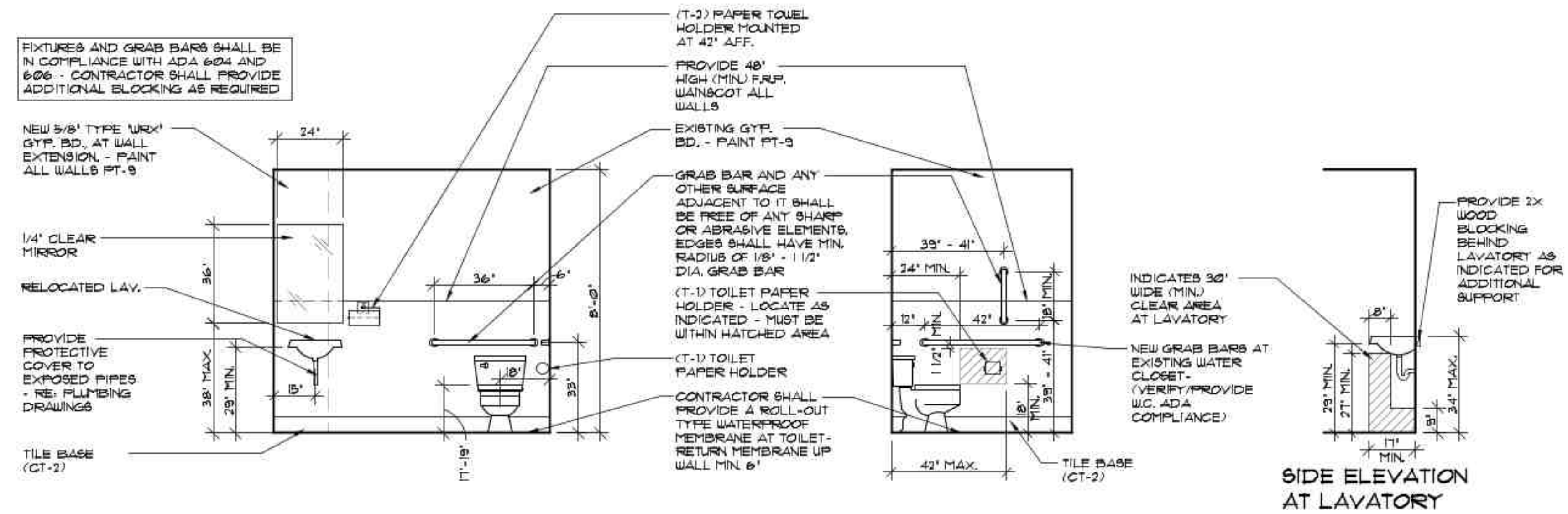
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Checked By: KLC
Revisions:

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Date: 02-09-21
Sheet: 1 of 12

A4.2

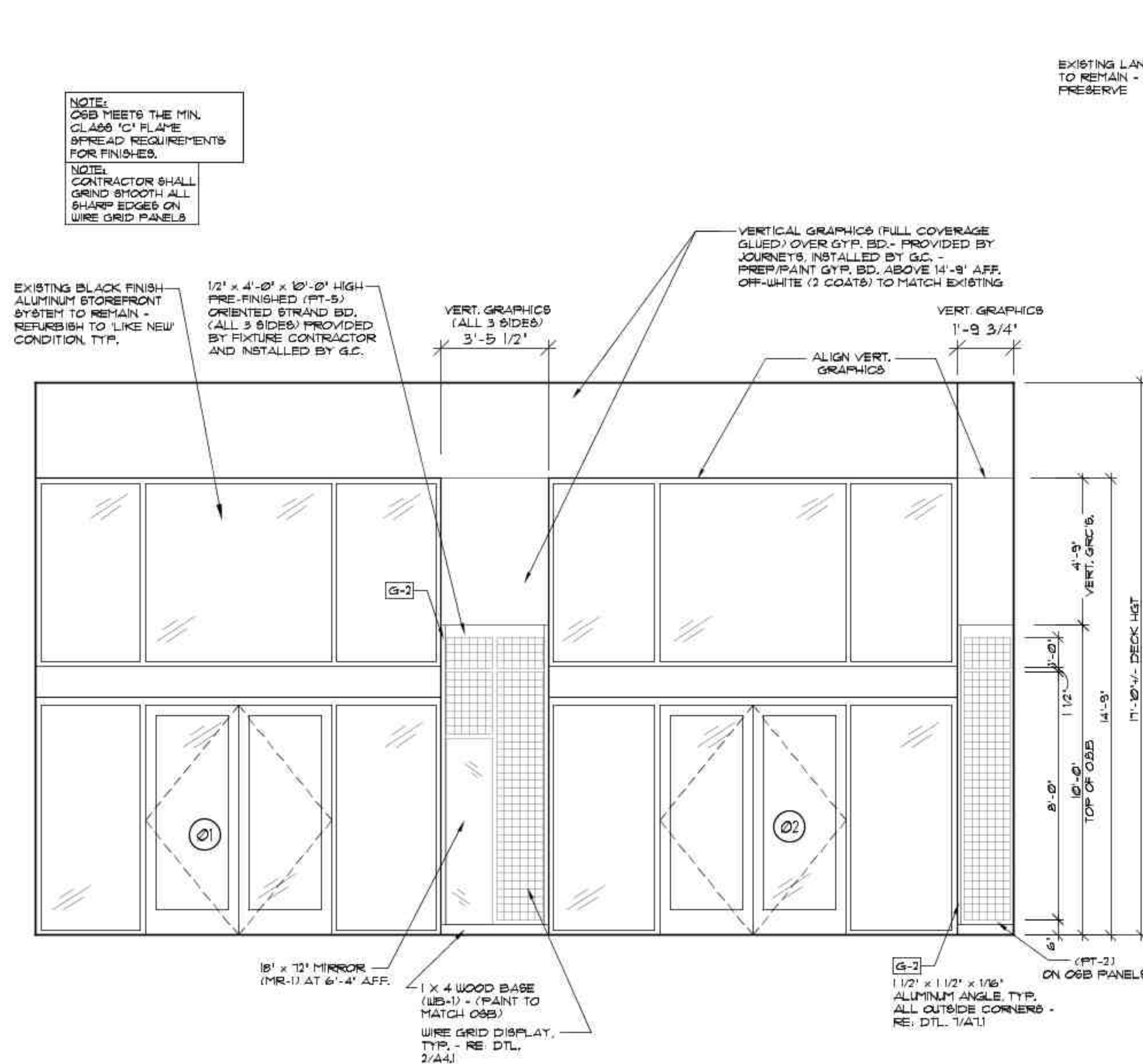
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3 TOILET ELEVATION

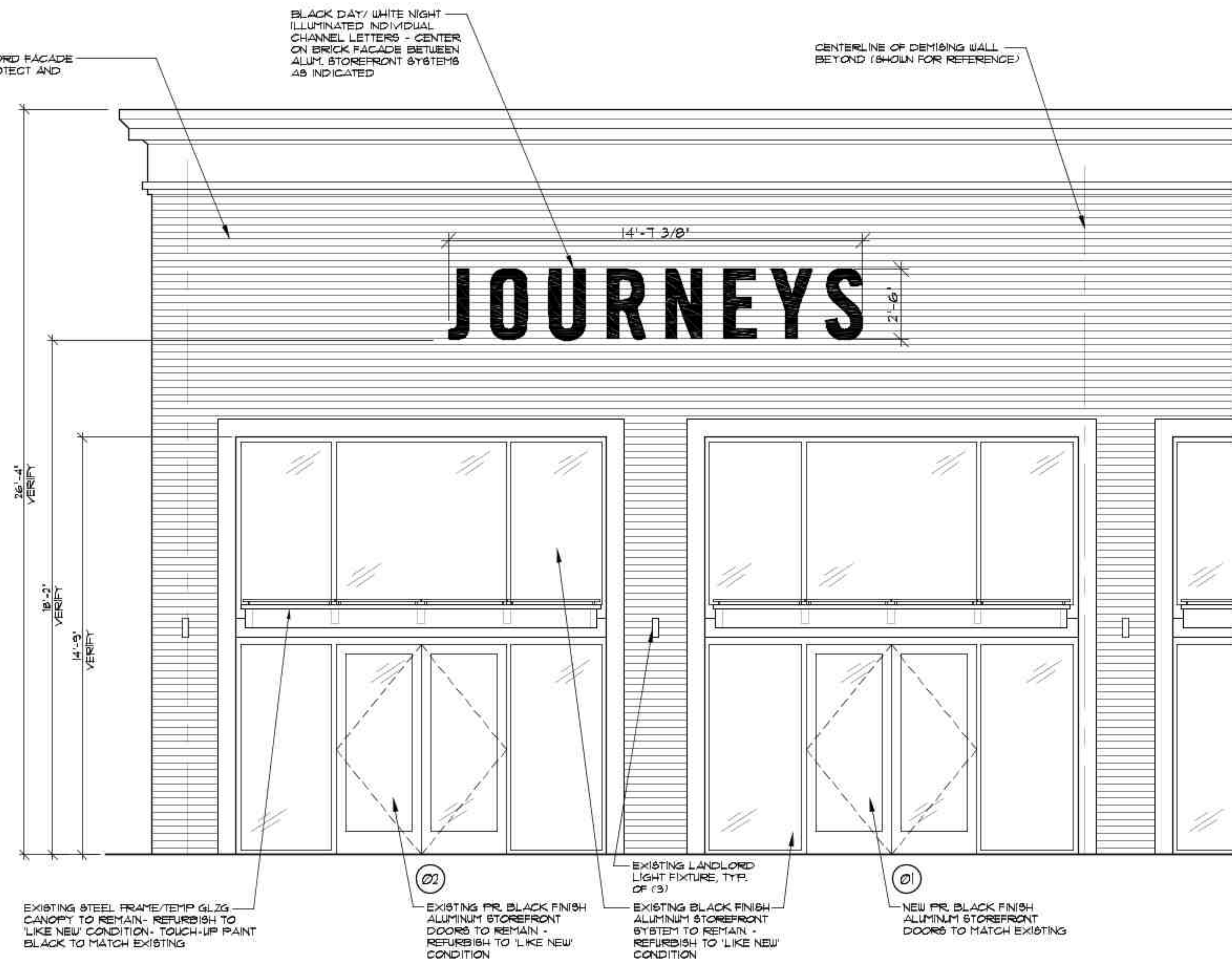
3/8"=1'-0"

NOTE:
SIGN CONTRACTOR SHALL
SUBMIT SHOP DRAWINGS TO
LANDLORD FOR REVIEW AND
APPROVAL, AND SUBMIT TO
CITY FOR SEPARATE PERMIT
IF REQUIRED



2 INTERIOR ELEVATION

3/8"=1'-0"



1 STOREFRONT ELEVATION

3/8"=1'-0"

Architect:



02-09-21

Kevin L. Cooper Architect

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Project:



SPACE # H-135
STATION PARK

FARMINGTON,
UTAH

Sheet Contents:

STOREFRONT /
INTERIOR
ELEVATIONS

Drawing Data:

Drawn By: KLC

Checked By: KLC

Revisions:

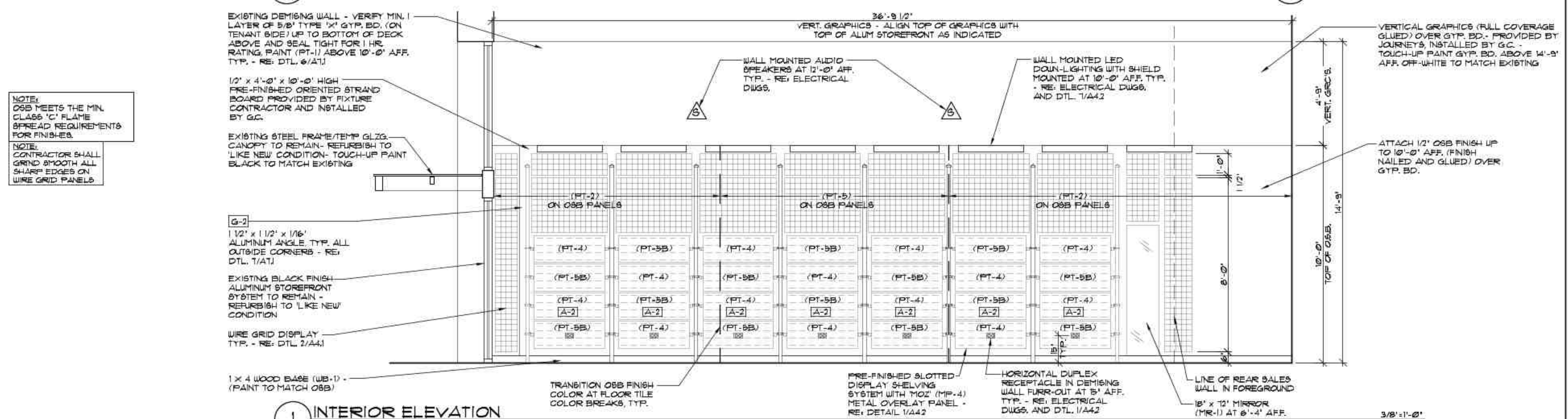
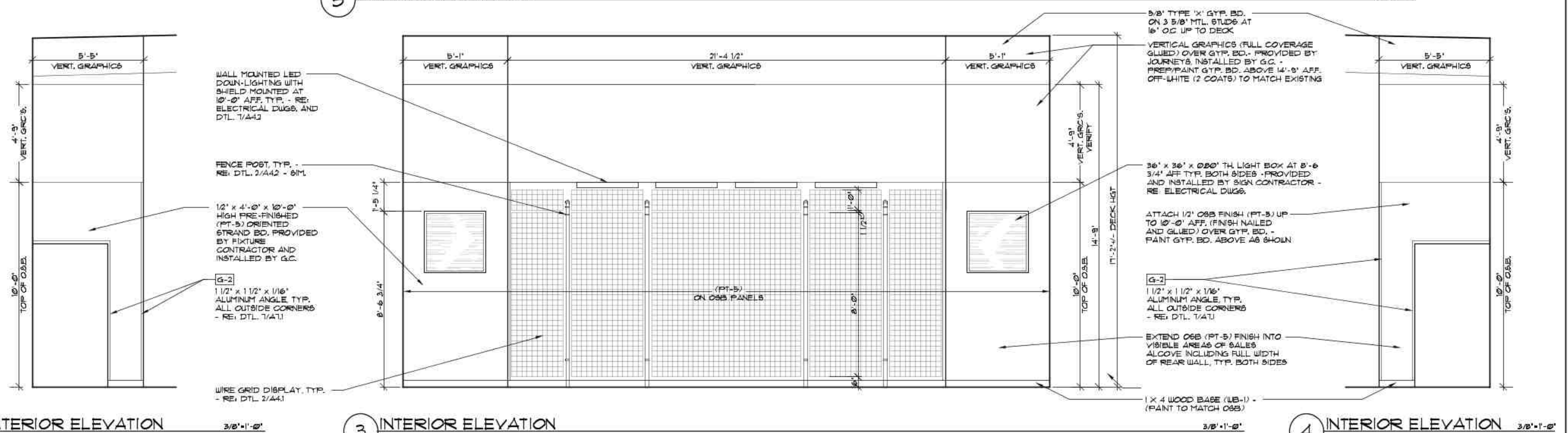
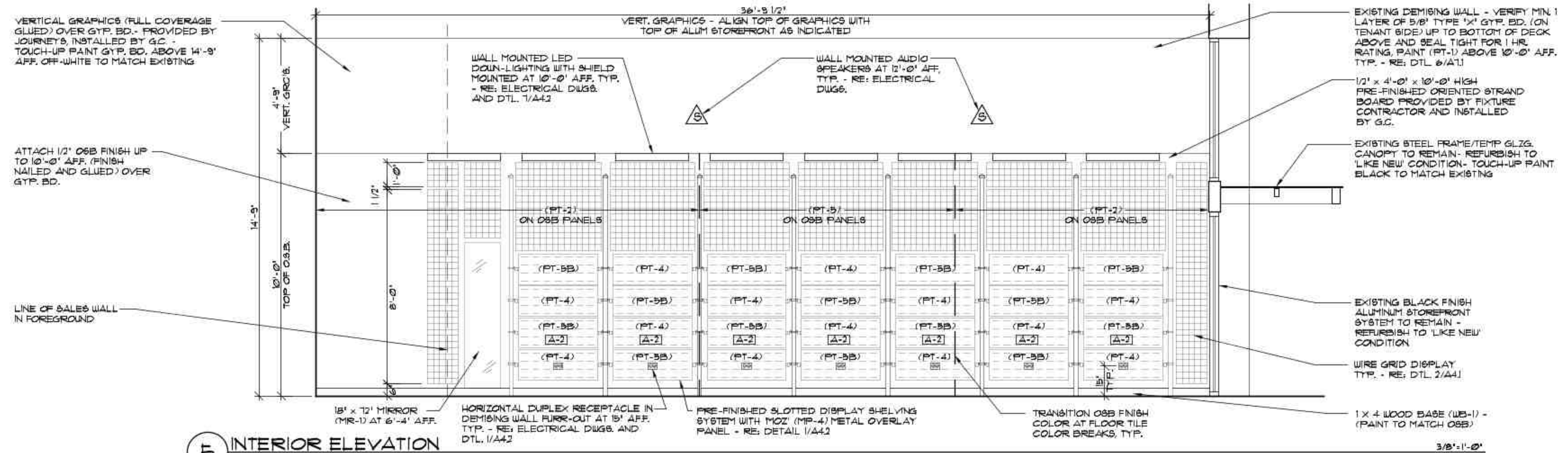
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Date: 02-09-21

Sheet: 3 of 12

A5.1

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Architect:



evin L. Cooper Architect

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Owner:

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MESCO CONSTRUCTION DIVISION
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5-367-7539 FAX: 615-367-7845

Project:

JOURNEYS

SPACE # H-135
STATION PARK

ARMINGTON,
UTAH

Table Contents:

INTERIOR ELEVATIONS

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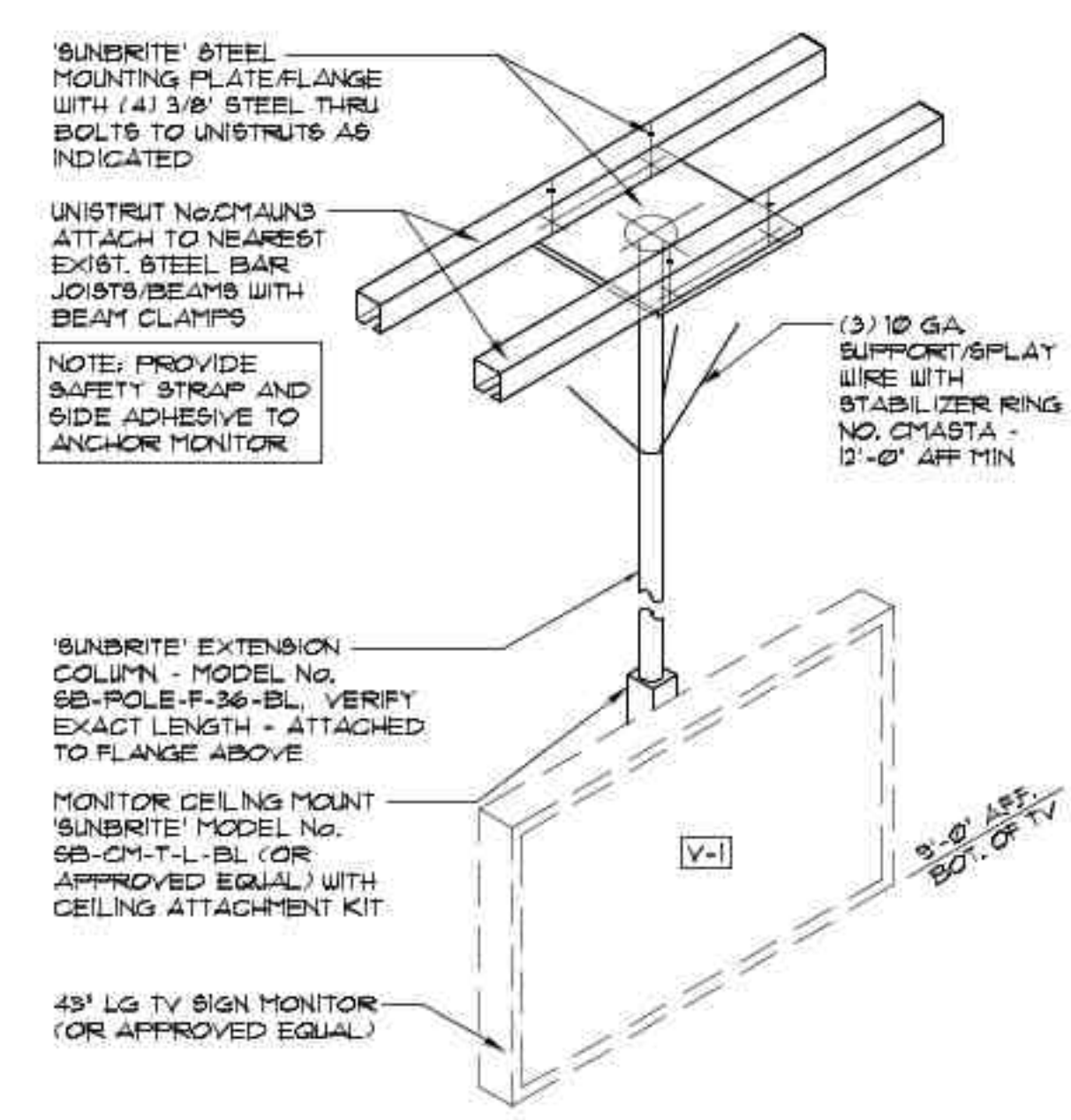
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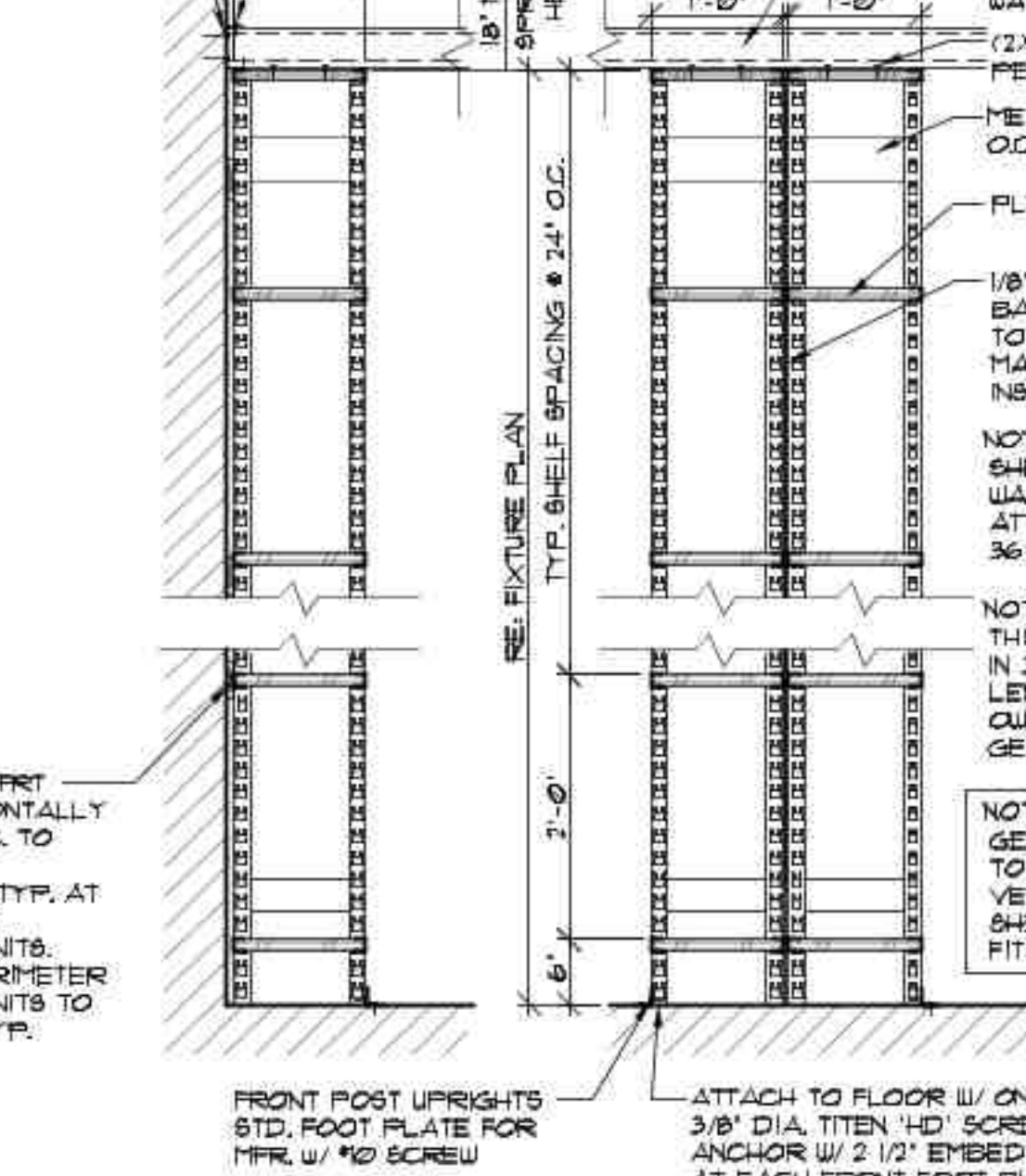
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4 LED TV SUPPORT DETAIL N.T.S.

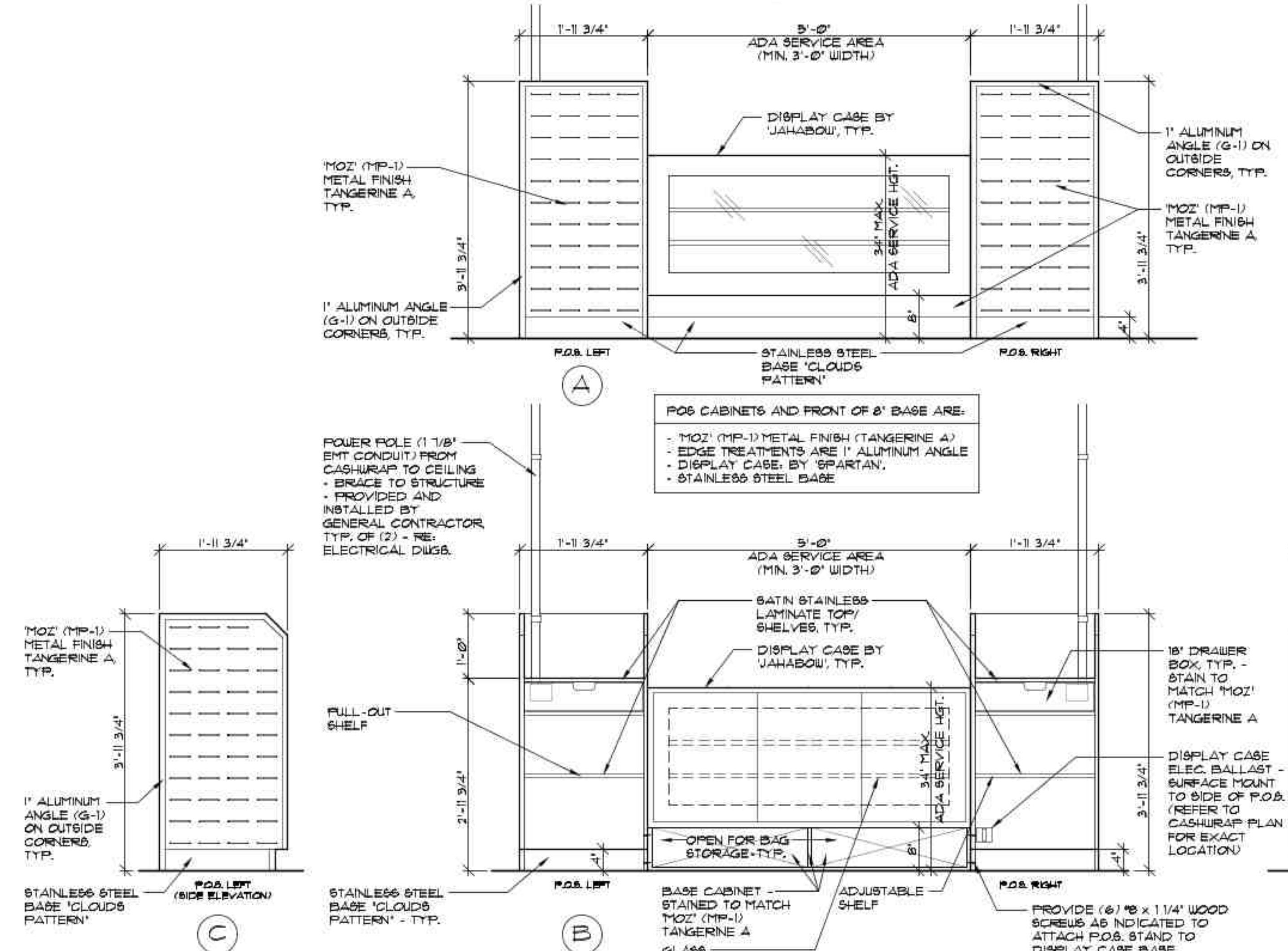


3 STOCKROOM SHELVING DETAIL 3/4" = 1'-0"

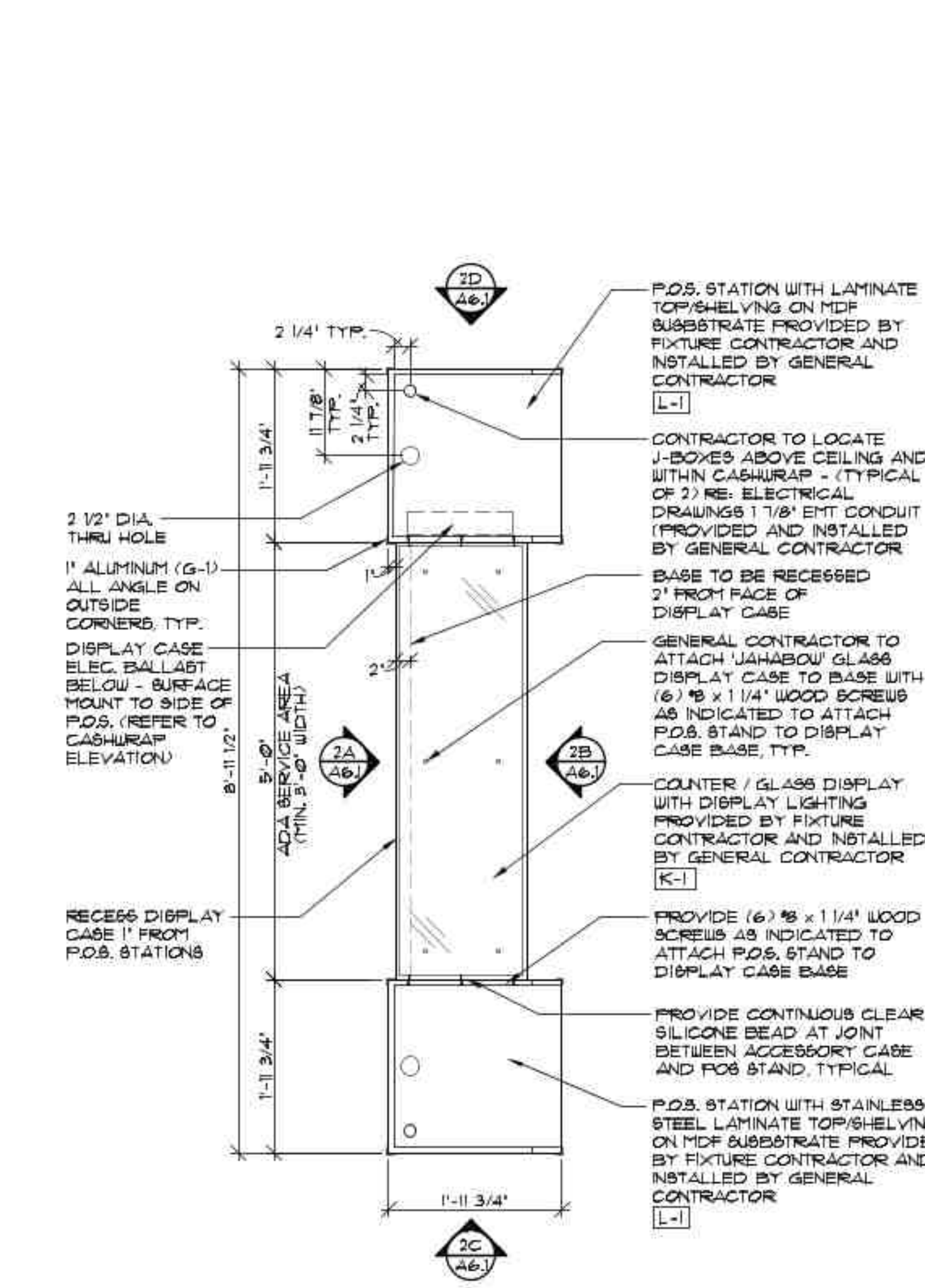


STOCKROOM SHELVING DESIGN CRITERIA:	ANALYSIS:
NON-STRUCTURAL COMPONENTS 2016 INTERNATIONAL BUILDING CODE REF: TO ASCE 7 SECTION 5.4.1 SHELVING CAPACITY LOADS AND LBS. TO BE PER SHELF	MAXIMUM BEAMING FORCE SECTION 5.4.1-1 Fp = 5.0 PSF (1.5 kPa) Fp = 2.0 PSF (0.5 kPa) (5.4.1-2) Fp = 1.0 Fp = 0.5 TOTAL Fp = 0.5 TOTAL ATTACH TOP OF SHELF TO BRACE W/ 1/8" SCREW PER SHELF
SHELF WEIGHT = 35 LBS EACH UPRIGHTS AND BRACKETS = 65 LBS T-SHELVES = 15 LBS = 5.5 LBS TOTAL WEIGHT = 115 LBS	ATTACH TOP OF SHELF TO BRACE W/ 1/8" SCREW PER SHELF

2 CASHURAP ELEVATIONS



1 CASHURAP (PLAN VIEW) 3/4" = 1'-0"



Architect:

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precautions and programs in connection
with the project.

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Project:

SPACE # H-135
STATION PARK

FARMINGTON,
UTAH

Sheet Contents:
FIXTURE DETAILS

Drawing Data:

Drawn By: KLC
Checked By: KLC
Revisions:

Draw Name: GVO-20-034 f.dwg
Date: 02-09-21
Sheet: 10 of 12

A6.1

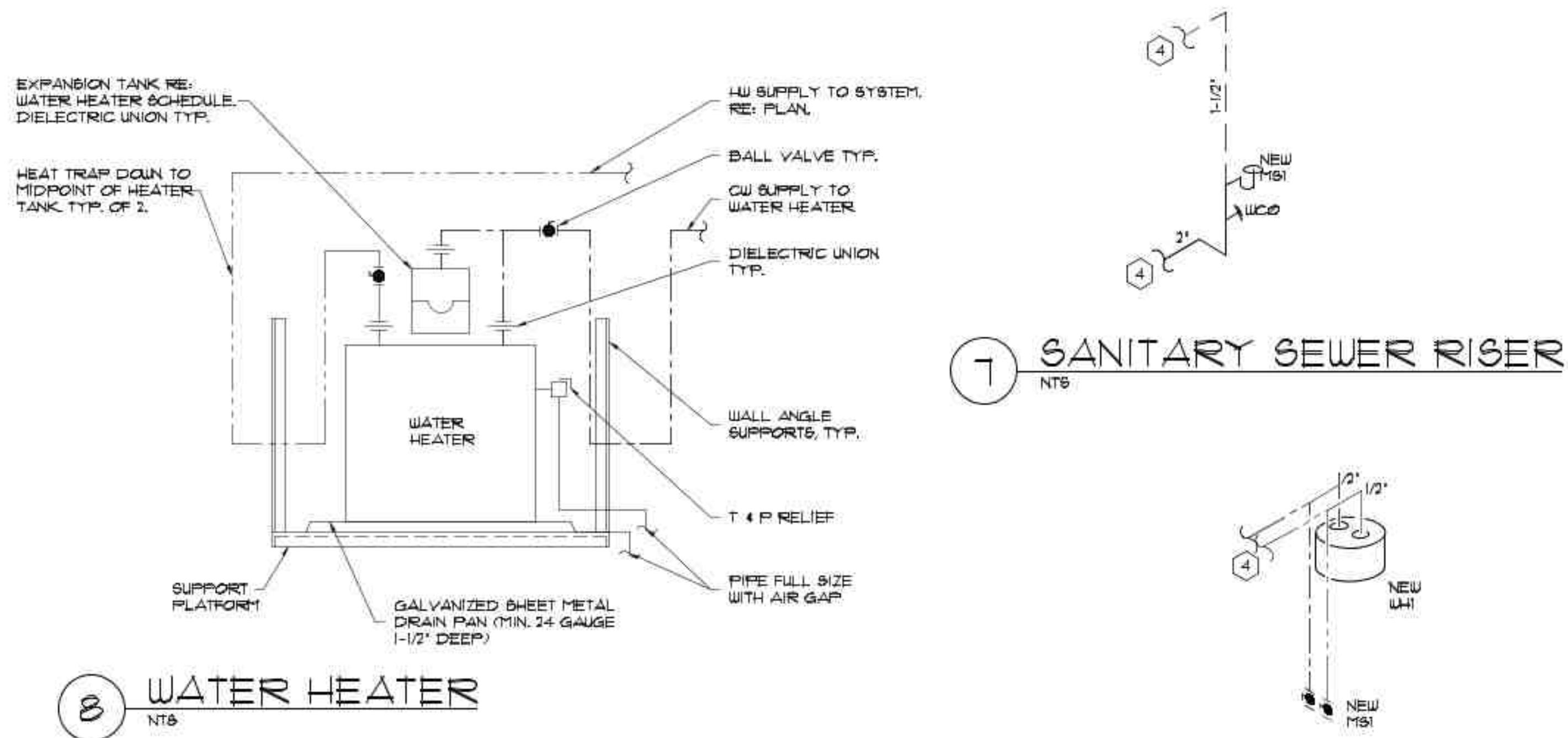
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HVAC LOAD SUMMARY					MECHANICAL SYMBOLS		GENERAL NOTES	HVAC NOTES
TENANT NAME	SPACE	APPROX. AREA (SQ. FT.)			(SYMBOLS APPLY ONLY WHEN USED ON DRAWINGS)			
Journeys	Space # H 135 - Station Park - Farmington, UT	2002					A. COORDINATE WITH THE WORK OF OTHER SECTIONS, EQUIPMENT FURNISHED BY G.C. REQUIREMENTS OF THE OWNER, AND WITH THE CONSTRAINTS OF THE EXISTING CONDITIONS OF THE PROJECT SITE. PROVIDE DUCT RISERS AND DROPS AS REQUIRED FOR FIELD INSTALLATION AND TRADE.	1. EXISTING 6-TON GAS-ELECTRIC UNIT TO REMAIN. FIELD VERIFY EXACT LOCATION, INSPECT AND TEST UNIT, REPLACE BELTS AND FILTERS TO ENSURE PROPER OPERATING CONDITION. NOTIFY OWNER OF ANY NEEDED REPAIRS. REBALANCE OUTSIDE AIR TO 450 CFM AND SUPPLY AIR TO 2400 CFM.
DESIGN CONDITIONS	SUMMER	95	DB 10%		SQUARE CEILING SUPPLY AIR DIFFUSER			
		65	WB 10%		RETURN OR EXHAUST AIR GRILLE			
WINTER		8	DB 95.0%		AIR FLOW DIRECTION			
STORE TEMP.		75	DB		EXHAUST FAN			
LOAD CALCULATIONS	SENS. COOLING		LATENT COOLING		THERMOSTAT / REMOTE SENSOR			
	(BTUH)		(BTUH)		DUCT MOUNTED SMOKE DETECTOR			
WALL	38.4		0		BRANCH DUCT TAKEOFF W/ MAN. DAMPER			
GLASS	1459		0		FIRE DAMPER			
ROOF	6336		0		CROSS-SECTION SUPPLY AIR DUCT			
PEOPLE	4825		-4075		CROSS-SECTION RETURN AIR DUCT			
VENTILATION	8919		-930		TURNING VANES			
LIGHTING	10250		0		FLEXIBLE CONNECTION			
MISC.	3416		0		FLEXIBLE DUCT			
TOTAL	45155		3025		RECTANGULAR MAN. BALANCING DAMPER			
					ROUND MANUAL BALANCING DAMPER			
					SPLITTER / DAMPER			
					O.A./R.A./S.A.			
					OUTSIDE AIR/RETURN AIR/SUPPLY AIR			

OUTSIDE AIR CALCULATIONS						
OCCUPANT TYPE (RETAIL)	SPACE SF (A2)	PERSON PER 1000 SF	PEOPLE (P2)	OSA CFM PER SF (Ra)	OSA CFM PER PERSON (Rp)	REQUIRED OSA (Voz)
SALES	1042	15	16	0.12	15	306
STORAGE	960	1	0	0.12	0	144
450						
Rp P2 = Ra A2 = Voz (15)(16) = (0.12)(1042) = 245 (0)(0) = (0.12)(960) = 115						
Voz / E2 = Voz 245 / 0.8 = 306 115 / 0.8 = 144						

ADA NOTE

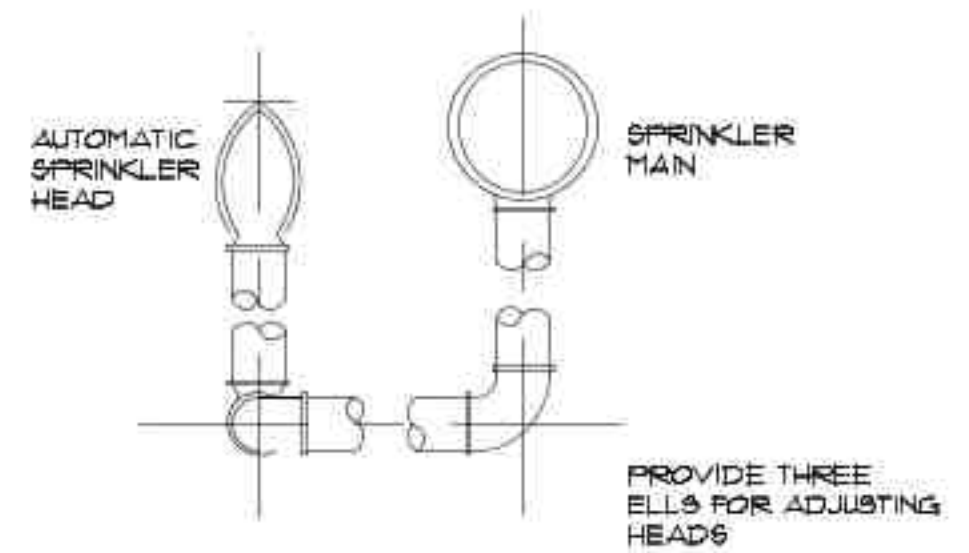
LIGHT SWITCHES, ELECTRICAL OUTLETS, AND OTHER ENVIRONMENTAL CONTROLS SHALL HAVE OPERABLE PARTS TO THE CONTROLS LOCATED NO HIGHER THAN 48", AND NO LOWER THAN 15".



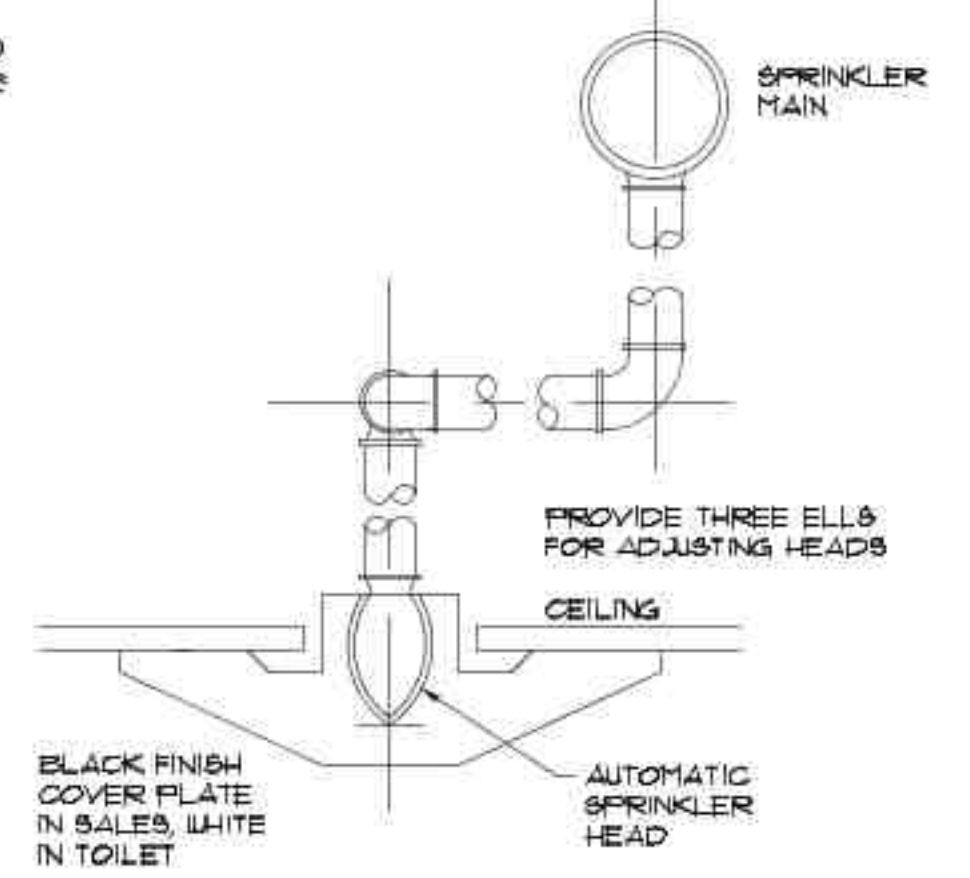
7 SANITARY SEWER RISER
NTS

8 WATER HEATER
NTS

6 DOMESTIC WATER RISER
NTS

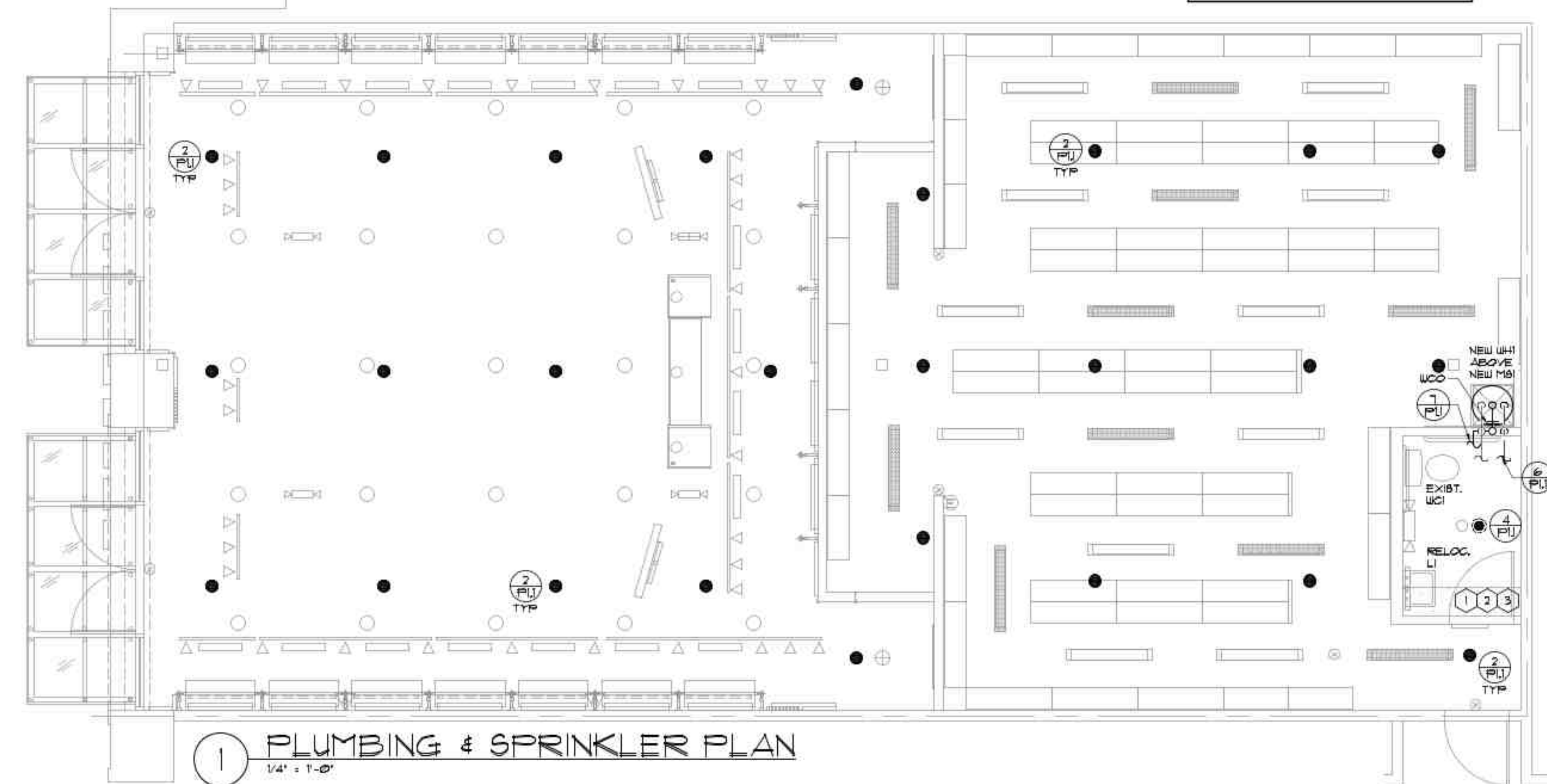


2 UPRIGHT PENDENT TYPE SPRINKLER MOUNTING HEAD
NTS



4 CONCEALED SPRINKLER MOUNTING HEAD
NTS

DEMOLISH/REMOVE PLUMBING SYSTEMS NOT BEING REUSED. FIELD VERIFY EXISTING CONDITIONS, CAP AND CONCEAL UNUSED GREASE WASTE AND SANITARY SEWER PIPING BELOW SLAB.



1 PLUMBING & SPRINKLER PLAN
1/4" = 1'-0"

PLUMBING FIXTURES									
TAG	FIXTURE	BRANCH SIZES (MINIMUM)				MANUFACTURER	MODEL	DESCRIPTION	NOTES
		CW	HW	WASTE	VENT				
WC1	WATER CLOSET	3/4"	----	4"	2"	AMERICAN STANDARD	CADET 2998.012	TANK TYPE, OLSONITE 10" OPEN FRONT SEAT W/O COVER, 16 GALLONS PER FLUSH	1
LI	LAVATORY	1/2"	1/2"	1-1/4"	1-1/4"	AMERICAN STANDARD	LUCERNE 0385.012	COUNTERTOP, CERAMIC 2000/100 FAUCET, MAX FLOW AT 0.5 GPM, GRID STAINER AND 1-1/4" P-TRAP W/ 1/2" U-520 CARRIER MOUNT HANDICAPPED 34" AFF	12,3,7
FD1	FLOOR DRAIN	----	----	3"	1-1/2"	ZURN	ZN-4B-6B	6" DURA-COATED CAST IRON BODY, POLISHED NICKEL BRONZE TOP, BOTTOM OUTLET, ADJUSTABLE COLLAR	4
WCO	WALL CLEANOUT	----	----	----	----	ZURN	Z-1441	DURA-COATED CAST IRON BODY W/ LEVEL-TROL, ADJUSTABLE TO FINISH SURFACE	5
MS1	MOP SINK	1/2"	1/2"	2"	1-1/2"	ZURN	M82020	FLOOR MOUNTED MULTI-PURPOSE SINK, PROVIDE WITH POLYETHYLENE LEGS W/ LEVELING DEVICES, DUAL HANDLE DECK FAUCET AND ACCESSORY PACKAGE	7,3
WH1	WATER HEATER	1/2"	1/2"	----	----	A.O. SMITH	DEL-6	6 GALLON 120/115 KW	8,9,10,11,12
WHA	WATER HAMMER ARRESTOR	----	----	----	----	ZURN	Z-1700	110 DEGREE DELIVERY TEMPERATURE	6,11
---	BALL VALVES	----	----	----	----	WILKINS	250	CONFORM TO FDI WH-201, ASSE 1010 TEMP TO 300F, MAX 125 PSIG WORKING PRESSURE	
DF1	DRINKING FOUNTAIN HANDICAP	1/2"	----	2"	1-1/2"	ELKAY	EZ15/TL5	FULL PORT BRASS BALL VALVE WITH LEVER HANDLE	
								ADA COMPLIANT, 15" LEVEL, REFRIGERATED, LIGHT GRAY GRANITE VINYL CLAD STEEL WITH VANDAL-RESISTANT BUBBLER	---

GENERAL NOTES:
1. IF FIXTURES ARE NEW OR NEED TO BE REPLACED, REFER TO THIS SCHEDULE.
2. THIS SCHEDULE IS COMPREHENSIVE. ALL TAGS MAY OR MAY NOT BE USED.
NOTES:
1. ALL FIXTURES TO BE WHITE.
2. PROVIDE TRIBRO GUARD PROTECTIVE PIPE COVERS ON EXPOSED HOT WATER AND DRAIN LINES.
3. PROVIDE WATTS SERIES USG-B MIXING VALVE OR EQUAL.
4. PROVIDE WITH TRAP PRIMER.
5. CLEANOUTS ARE TO BE THE SAME SIZE AS THE PIPES THEY SERVE, UP TO 4".
6. SIZE PER MANUFACTURER'S RECOMMENDATIONS.
7. HAIR AND LINT INTERCEPTOR AS MANUFACTURED BY JR. SMITH OR EQUAL.
8. PLACE UNIT ABOVE BATHROOM AND ROUTE T & P DRAINAGE TO MOP SINK.
9. PROVIDE ANTROL (OR EQUAL) EXPANSION TANK, SIZED PER MANUFACTURER'S RECOMMENDATIONS.
10. PROVIDE DRAIN PAN.
11. PROVIDE UNIT OR APPROVED EQUAL.
12. PROVIDE TEMPERING VALVE.
13. CONTRACTOR SHALL SELECT MOP SINK AND FAUCET INDICATED OR AN APPROVED EQUAL.

SPRINKLER NOTES

A. PROTECT THE BUILDING BY WET PIPE SPRINKLER SYSTEM. ALL FIRE PROTECTION AND SPRINKLER SYSTEM WORK SHALL BE IN ACCORDANCE WITH LANDLORD'S INSURANCE CARRIER, LOCAL, STATE OF INSURANCE FIRE MARSHALL, NFPA AND AUTHORITIES. TENANT CONTRACTOR MUST CONTACT LANDLORD'S APPROVED FIRE PROTECTION CONTRACTOR FOR ANY AND ALL WORK WITHIN THE SHOPPING CENTER.

B. THE FIRE PROTECTION SYSTEM MATERIALS AND INSTALLATION SHALL COMPLY WITH NFPA 13, STATE, AND LOCAL CODES. BASE SYSTEM DESIGN UPON WATER FLOW TEST READINGS. PROVIDE RISER SHUT OFF VALVES (0.5 & 1") BACKFLOW PREVENTER, FIRE DEPARTMENT SHAMERS CONNECTIONS, SUPERVISED FLOW, AND TAMPER SWITCHES AS REQUIRED AND IN LOCATION AS DIRECTED BY LOCAL FIRE CODES.

C. LIGHTING, DUCTWORK, AND POWER DROP LOCATIONS TAKE PRECEDENCE OVER FIRE PROTECTION LINES AND SPRINKLER HEAD LOCATIONS. COORDINATE WITH MECHANICAL CONTRACTOR AND ELECTRICAL CONTRACTOR.

D. PROVIDE FIRE SPRINKLER DRAWINGS AND CALCULATIONS, PROFESSIONAL ENGINEER SEAL WHEN REQUIRED BY AUTHORITY HAVING JURISDICTION.

E. MODIFY SPRINKLER SYSTEM PER NEW LAYOUT PER APPLICABLE CODES.

F. SPRINKLER HEAD LOCATIONS ARE FOR ILLUSTRATION PURPOSES ONLY. CONTRACTOR TO FIELD VERIFY SIZE AND LOCATION OF EXISTING AND LOCATE SPRINKLER HEADS AS APPROPRIATE FOR COVERAGE REQUIRED.

SPRINKLER SYMBOLS	
●	PENDENT TYPE SPRINKLER
⦿	SEMI-RECESSED SPRINKLER
⦿	CONCEALED SPRINKLER

PLUMBING NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS BEFORE SUBMITTING BID. ANY CHANGES REQUIRED DUE TO INCORRECT EXISTING INFORMATION WILL BE THE CONTRACTOR'S RESPONSIBILITY.

2. PROVIDE SEISMIC BRACING BASED ON APPROPRIATE SEISMIC ZONE REQUIREMENTS PER SMACNA PUBLISHED SEISMIC DETAILS, LOCAL AND NATIONAL CODES. CONTRACTOR'S RESPONSIBILITY INCLUDES STRUCTURAL ENGINEER'S CERTIFICATION ON DETAILS SUBMITTED FOR PERMITTING.

3. INSPECT AND TEST ALL EXISTING SANITARY SEWER, VENT, AND WATER LINES BEING REUSED. WATER CLOSET IS EXISTING TO REMAIN. CLEAN AND REFURBISH FIXTURES TO LIKE-NEW CONDITION. RELOCATE LAVATORY TO MEET ADA REQUIREMENTS. REFER TO ARCHITECT DRAWINGS, IF BEYOND REPAIR, REFER TO PLUMBING FIXTURE SCHEDULE FOR REPLACEMENT. DEMO/REMOVE EXISTING INSTANTANEOUS WATER HEATER.

4. CONNECT SANITARY SEWER, VENT, OR WATER SUPPLY TO EXISTING LOCATIONS TO BE FIELD VERIFIED. REFER TO PLUMBING FIXTURE SCHEDULE FOR CONNECTION SIZES. NO PVC PIPING IS ALLOWED ABOVE THE SLAB.

PLUMBING SYMBOLS	
----	SANITARY SEWER
----	PLUMBING VENT
----	COLD WATER
----	HOT WATER
---	NATURAL GAS
— —	UNION
⌋	ELBOW - TURNED DOWN
⌋	ELBOW - TURNED UP
⌋	TEE - TURNED DOWN
⌋	TEE - TURNED UP
⌋	BALL VALVE
⌋	FLOOR DRAIN
⌋	FLOOR CLEANOUT
⌋	WALL CLEANOUT

SCOPE OF WORK

ALL SPRINKLER WORK INDICATED IN THESE DRAWINGS SHALL BE PERFORMED BY AN APPROVED LANDLORD SPRINKLER CONTRACTOR AT THE TENANT'S EXPENSE. VERIFY THAT THE COMPLETE SPRINKLER SYSTEM IS INSTALLED ACCORDING TO THESE PLANS AND RELOCATE HEADS AS INDICATED. SEE FIRE PROTECTION NOTES ON THIS SHEET.

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2/9/25

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Project:

JOURNEYS
SPACE # H-135
STATION PARK
FARMINGTON, UTAH
Sheet Contents:
PLUMBING AND SPRINKLER PLAN

Drawing Data:

Drawn By: GH6
Checked By: JRF
Revisions:

Date: 02/09/2021

P1.1
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LIGHT FIXTURE SCHEDULE							
MARK	MANUFACTURER	CATALOG NO.	NO.	LAMP TYPE	VOLTS	WATT/LUMINAIRE	MOUNTING
A	PHILIPS DAYBRITE	T132-UNV-11-EB (GEN) (DYE)	1	PHILIPS T32B/COR/48-838/FF/8/G 28/1	120	14	CHAIN
B	BOLAIS	W24-A-30K-2450-BK-L	1	LED (INCLUDED)	120	32	TRACK
C	BOLAIS	X220-25-30V-1450-BK-L	1	LED (INCLUDED)	120	11	TRACK
E	-	-	-	LED	120	50	PENDANT
EM	-	-	-	LED	120	55	PENDANT
EM	EXITRONIX	LED-90 (GEN) (ED) (90 MINUTE BATTERY BACK-UP)	2	LED (INCLUDED)	120	22	WALL/EMERG.
J	TEXAS FLUORESCENTS	VAN-21-MV-8U-C (GEN) (TYP)	2	PHILIPS 85T8/24-3500 F 30/1 (45202-9)	120	11	WALL
K	ELITE	3-COR-1-25-T8-1A5-BK	1	PHILIPS 85T8/COR/26-838/FF/8/G 28/1	120	85	WALL
L	NITONE	8663RP (GEN) (BRN)	1	TOP LED 9A/27K	120	25	RECESSED
N	HI-LITE MFG. CO./INC	H-CGU-96-CLR-1-21-BYC (GEN) (H/L)	1	FEIT A31 LED	120	10	PENDANT
P	BOLAIS	C8-56-D-530-200	5	LED (INCLUDED)	120	36	SURFACE
T	PHILIPS DAYBRITE	T132-UNV-11-EB-250 E (GEN) (DYE) (90 MINUTE BATTERY BACK-UP)	1	PHILIPS T32B/COR/48-838/FF/8/G 28/1	120	14	CHAIN/EMERG.
X	EXITRONIX	VEX-U-5P-UB-BL (90 MINUTE BATTERY BACK-UP)	1	LED (INCLUDED)	120	55	SURFACE

ACCESSORIES:
4. ALL NECESSARY LYTEBRAN BRAND TRACK 6004BK, 6048BK, 6049BK, 1680, AND 1681 - PROVIDED BY GENESCO AND INSTALLED BY GENERAL CONTRACTOR.
NOTES:
1. THERE SHALL BE NO SUBSTITUTIONS FOR DESIGNATED FIXTURE TYPES. FIXTURES SHALL BE SUBMITTED EXACTLY AS SPECIFIED ON SCHEDULE.
2. THERE SHALL BE NO SUBSTITUTIONS FOR DESIGNATED LAMP TYPES.
3. DESIGNATED FIXTURES SHALL HAVE ENERGY SAVING BALLASTS.
4. PAINT FIXTURE TO MATCH WALL. COORDINATE COLOR WITH ARCHITECTURAL SHEETS.
5. FIXTURE SHALL BE SUSPENDED TO A HEIGHT OF 8'-0" O.C. SHALL PROVIDE 1/2" RIGID CONDUIT STEM AS REQUIRED.
6. LAMPS SHALL HAVE GEL SLEEVES - RE: SUPPLEMENTED CEILING PANEL ISOMETRIC.
7. SUSPEND FIXTURE TO 18" ABOVE TOP STOCKROOM SHELVING. REFER TO ARCHITECTURAL SHEETS FOR SHELVING HEIGHT.
8. FIXTURES SHALL BE PROVIDED BY GENESCO AND INSTALLED BY GENERAL CONTRACTOR.
9. PROVIDE FIXTURE WITH EMERGENCY BATTERY AND BALLAST AS REQUIRED BY MANUFACTURER.
10. METAL SHIELD, REFER TO ARCHITECTURAL FIXTURE DETAILS SHEET.
11. REFERENCE ARCHITECTURAL SHEETS FOR MOUNTING HEIGHT.
12. PROVIDE COLORED LAMPS (BLUE, GREEN, YELLOW, RED, ORANGE) IN A RANDOM PATTERN. RE: ARCHITECTURAL RCP FOR MORE INFORMATION.
13. PROVIDE ONE BOLAIS (16-60MV2400P6) POWER SUPPLY PER SECTION OF WALL SHELVING. CONTRACTOR TO PROVIDE CONDUIT AND PULLEY AS REQUIRED, RE: ARCHITECTURAL DRAWINGS.
14. WHEN FIXTURE IS EXISTING TO REMAIN, USE LED, RETRO FIT KIT.

NOTE
CONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING THEIR BID. ANY CHANGES REQUIRED DUE TO INCORRECT EXISTING INFORMATION WILL BE THE CONTRACTORS RESPONSIBILITY.
ALL EQUIPMENT SHALL BE UNDERWRITERS LABORATORIES, INC. LABELS (UL) LISTED.
NO COMBUSTIBLE MATERIALS SHALL BE INSTALLED IN THE CEILING PLENUM. ALL EQUIPMENT AND MATERIALS INSTALLED IN THE PLENUM CEILING AREAS SHALL BE APPROVED FOR THE PURPOSE BY UL AND THE APPLICABLE CODE AUTHORITY.
NO CONDUITS SHALL BE INSTALLED IN THE FLOOR SLAB. SAW CUTTING THE SECOND LEVEL FLOOR SLAB IS PROHIBITED. ONLY CORE-DRILLING IS PERMITTED WITH THE PERMISSION OF THE LANDLORD. CONDUIT ON THE FIRST LEVEL SLAB SHALL BE ROUTED UNDERGROUND AND NOT IN THE SLAB.
PROVIDE ALL TEMPORARY WIRING AS REQUIRED WITHIN THE PREMISES. PROVIDE ALL REQUIRED SERVICES, PANELS, DISCONNECT, TRANSFORMERS AND OVERCURRENT PROTECTION. COTTON AREA OUTLETS, PANELS, ETC. SHALL NOT BE USED FOR TENANT TEMPORARY WIRING. PROVIDE TEMPORARY WIRING WITH GROUND FAULT PROTECTION AS REQUIRED BY CODE AND LOCAL JURISDICTIONAL AUTHORITY.
ADA NOTE
LIGHT SWITCHES, ELECTRICAL OUTLETS, AND OTHER ENVIRONMENTAL CONTROLS SHALL HAVE OPERABLE PARTS TO THE CONTROLS LOCATED NO HIGHER THAN 48", AND NO LOWER THAN 15".

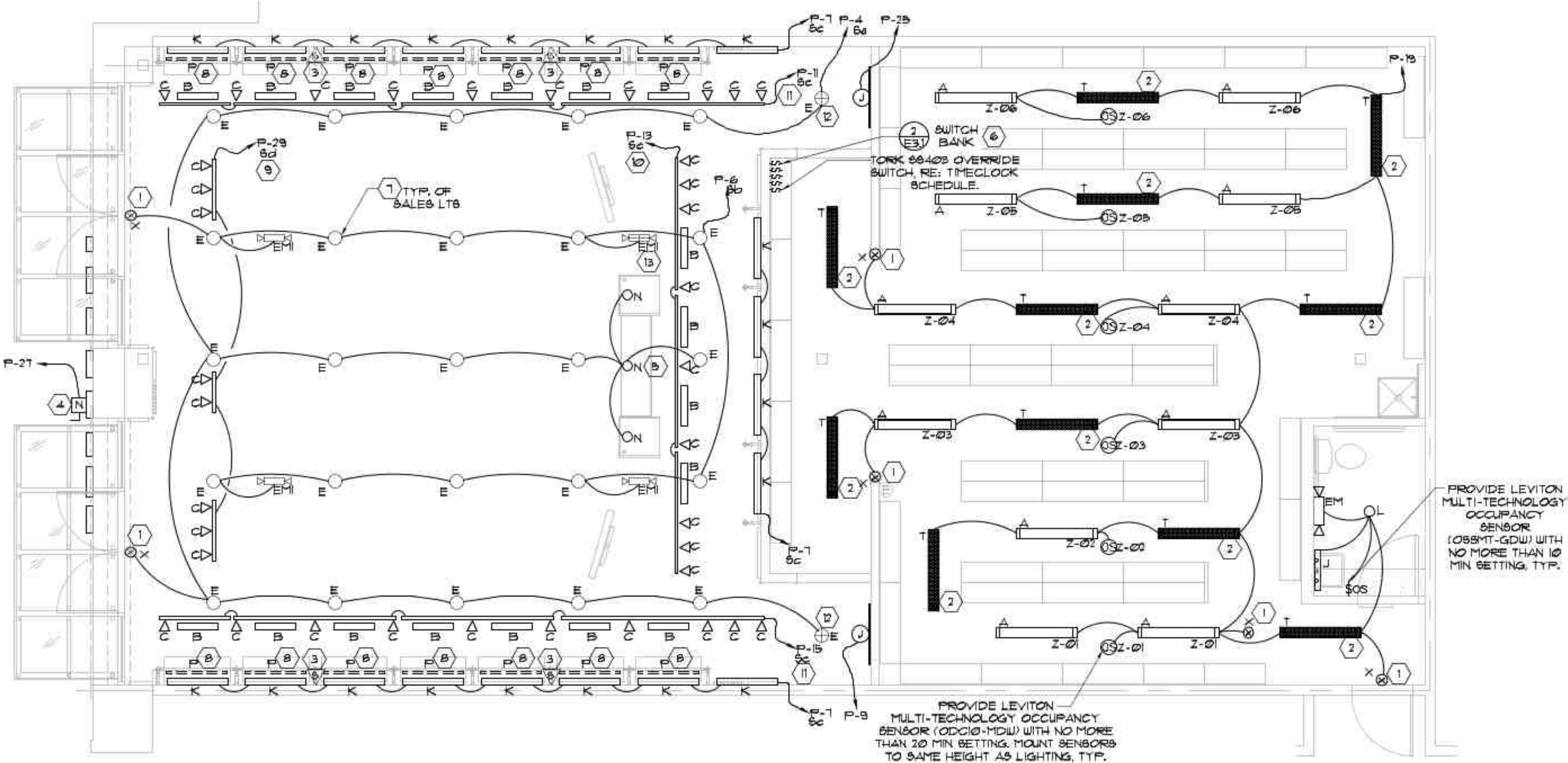
SYMBOL	DESCRIPTION
	RECESSED 2'x2' LAY-IN, LETTER INDICATES TYPE, CROSS-HATCHED INDICATES NIGHT LIGHT
	CHAIN HUNG FIXTURE, LETTER INDICATES TYPE, CROSS-HATCHED INDICATES NIGHT LIGHT
	EMERGENCY FIXTURE, LETTER INDICATES TYPE
	RECESSED DOWNLIGHT, LETTER INDICATES TYPE
	TRACK LIGHTING, LETTER INDICATES TYPE, ARROWS INDICATE AIMING, IF ANY
	TRACK MOUNTED FLOURESCENT LIGHTING, LETTER INDICATES TYPE
	EXIT SIGN WALL-MOUNTED/CEILING MOUNTED, LETTER INDICATES TYPE, DIRECTIONAL ARROWS AS SHOWN
	SINGLE POLE TOGGLE SWITCH, 20A, 120/277V
	JUNCTION BOX
	HOMELINE TO PANELBOARD AS NOTED, ONE CIRCUIT PER ARROWHEAD, CIRCUIT NUMBERS SHOWN NEAR ARROWHEAD, 20A BREAKER EACH CIRCUIT UNLESS NOTED, ONE CONDUIT PER HOMERUN, SIZE AS REQUIRED, 1/2 O.U. INSULATION UNLESS NOTED, NEUTRAL AND GROUND FOR EACH HOMERUN

SYMBOL	DESCRIPTION
	WIRING CONCEALED IN CEILING OR WALL
	WIRING CONCEALED IN FLOOR
	CEILING MOUNTED/WALL MOUNTED/FLOOR MOUNTED DUPLEX RECEPTACLE, 30/20A, 250V GROUNDING TYPE
	CEILING MOUNTED/WALL MOUNTED/FLOOR MOUNTED QUAD DUPLEX RECEPTACLE, 30/20A, 125V GROUNDING TYPE
	DUPLEX RECEPTACLE ABOVE COUNTER/GROUND FAULT INTERRUPTER
	DUPLEX RECEPTACLE BELOW DRAWER/ISOLATED GFI
	TELEPHONE/DATA OUTLET
	DISCONNECT SWITCH, 30A UNLESS NOTED, VISIBLE IF FUSE DESCRIPTION IS SHOWN, VOLTAGE RATING AND NUMBER OF POLES AS REQUIRED
	THERMOSTAT
	AUDIO SPEAKER
	FIRE ALARM STROBE
	FIRE ALARM HORN STROBE
	DUCT MOUNTED SMOKE DETECTOR
	SMOKE DETECTOR
	FIRE ALARM PULL STATION
	OCCUPANCY SENSOR

KEYED NOTES

- EXIT LIGHTS: UNLESS NOTED OTHERWISE MOUNT ON WALL AT 12'-0" WHEN CEILING IS NOT PRESENT OR CEILING IS GREATER THAN 12'-0" IN HEIGHT; WHEN CEILING IS 12'-0" OR LESS IN HEIGHT, MOUNT ON CEILING CENTERED ABOVE DOOR OPENING. CONNECT TO UN-SWITCHED LEG OF CIRCUIT.
- EMERGENCY/NIGHT LIGHTS ARE SHOWN HATCHED. CONNECT TO UN-SWITCHED LEG OF LIGHTING CIRCUITS SERVING ADJACENT AREAS AS SHOWN ON DRAWINGS. DO NOT SWITCH (TYP.)
- AUDIO SPEAKER SYSTEMS: REFER TO AUDIO/VISUAL SCHEDULE ON SHEET 221 FOR SPEAKER SPECIFICATION.
- STORE SIGN: SEE ARCH. DRAWINGS FOR ELEVATION. PROVIDE DISCONNECTING MEANS AS REQUIRED. CONTROLLED BY TIME CLOCK.
- LIGHT FIXTURE AT CASH WRAP CENTER PORTION BY MILLWORK FIXTURE CONTRACTOR SWITCH WITH 'N' FIXTURES.
- NEW SWITCH BANK: PROVIDE A LIGHTING SWITCH FOR EACH LIGHTING CIRCUIT AS REQUIRED. ENGRAVE NAMEPLATE AS FOLLOWS: SALES LTG. 1 SALES LTG. 2 DISPLAY LTG. STOCKROOM LTG. SEE SWITCH BANK DETAIL.
- EXISTING SALES AREA LIGHT FIXTURES TO REMAIN REFURBISH TO LIKE-NEW CONDITION. REPLACE LAMP WITH LED LAMP OF SIMILAR TYPE AND COLOR. CONNECT TO CIRCUITRY AND CONTROLS AS SHOWN.
- A TOTAL OF THREE 'P' FIXTURES ARE MOUNTED IN EACH SHELVING UNIT. REFER TO ARCHITECTURAL ELEVATIONS AND DETAILS FOR MOUNTING.
- PROVIDE 140W CURRENT LIMITER DEVICE FOR TRACK LIGHTING. INSTALL AT THE BEGINNING OF THE TRACK LIGHTING CIRCUITRY. INSTALL PER MANUFACTURER RECOMMENDATIONS.
- PROVIDE 360W CURRENT LIMITER DEVICE FOR TRACK LIGHTING. INSTALL AT THE BEGINNING OF THE TRACK LIGHTING CIRCUITRY. INSTALL PER MANUFACTURER RECOMMENDATIONS.
- PROVIDE 600W CURRENT LIMITER DEVICE FOR TRACK LIGHTING. INSTALL AT THE BEGINNING OF THE TRACK LIGHTING CIRCUITRY. INSTALL PER MANUFACTURER RECOMMENDATIONS.
- EXISTING PENDANT LIGHT FIXTURE TO BE RELOCATED IN LOCATION AS SHOWN. REFURBISH TO LIKE-NEW CONDITION. RELAMP FIXTURE WITH LED LAMP OF SIMILAR TYPE AND COLOR. CONNECT TO CIRCUITRY AND CONTROLS AS SHOWN.
- EXISTING PENDANT EMERGENCY LIGHT FIXTURE TO BE RELOCATED IN LOCATION AS SHOWN. REFURBISH TO LIKE-NEW CONDITION. CONNECT TO CIRCUITRY AS SHOWN.

TIMECLOCK SCHEDULE				
NO.	LABEL AS SHOWN	MANUFACTURER CATALOG NO.	MOTOR VOLTS COT. NO.	CONTACT
1	ALL LIGHTING	INTERMATIC ET50000	120V 2P	30A 120V 6PDT
NOTES:				
1. GENESCO SHALL SUPPLY E1600 OVERRIDE SWITCH. CONTRACTOR TO SET AT 2 HOUR OVERRIDE.				



1 LIGHTING PLAN
1/4" = 1'-0"

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Drawings and Specifications as instruments of service are and shall remain the property of the Architect. They are not to be used on extensions of the project or for any other project without the written consent of the Architect. The Architect will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

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Project:

JOURNAYS

SPACE # H-135
STATION PARK

FARMINGTON,
UTAH

Sheet Contents:
LIGHTING PLAN

Drawing Data:

Drawn By: GHS
Checked By: JRF
Revisions:

Date: 02/09/2021

E1.1

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PANELBOARD: P (EXISTING)															EQUIPMENT GROUND BUS					
BUS AMPS: 225A MAIN SIZE/TYPE: 200A MCB VOLTS/PHASE: 208Y/120V, 3PH, 4W SERVES: SALES/STOCKROOM LOCATION: STOCKROOM																				
MOUNTING SURFACE																				
CKT NO.	DESCRIPTION	VA/PHASE			WIRE NO.	BKR AMP	P	BKR AMP	WIRE NO.	VA/PHASE			DESCRIPTION	CKT NO.						
		A	B	C						A	B	C								
1	existing rtu-1	4,803			50	3	1	20	12	180			RECEPTACLES - RESTROOM GFCI	2						
3			4,803														880			500
5				4,803																
7		LIGHTING - PERIMETER	136													12	20	1	20	12
9	LIGHT BOX		900		12	20	1	20	12		180		MISC EQUIP - DOOR BELL	10						
11	LIGHTING - TRACK			800	12	20	1	20	12			39	RECEPTACLES - TV	12						
13	LIGHTING - TRACK	360			12	20	1	20	12	39			RECEPTACLES - TV	14						
15	LIGHTING - TRACK		800		12	20	1	20	12		180		MISC EQUIP - TIME CLOCK	16						
17	LIGHTING - UNDERSHELF			904	12	20	1	20	12			360	RECEPTACLES - SALES AREA	18						
19	LIGHTING - STOCKROOM	858			12	20	1	20	12	1,000			RECEPTACLES - COMPUTER	20						
21	RECEPTACLES - SHOW WINDOW		360		12	20	1	20	12		500		RECEPTACLES - STEREO	22						
23	RECEPTACLES - STOCKROOM			360	12	20	1	20	12			1,500	MISC EQUIP - WATER HEATER	24						
25	LIGHT BOX	500			12	20	1	20	12	200			RECEPTACLES - TELEPHONE	26						
27	SIGN/DISPLAY - STORE FRONT		1,200		12	20	1	20	12		200		RECEPTACLES - CASH REGISTER	28						
29	LIGHTING - SHOW WINDOW			240	12	20	1	20					spare	30						
31	spare					20	1	20					spare	32						
33	spare					20	1	20					spare	34						
35	spare					20	1	20					spare	36						
37	spare					20	1	20					spare	38						
39	spare					20	1	20					spare	40						
41	spare					20	1	20					spare	42						
SECTION: 2																				
43	spare					20	1	20					spare	44						
45	spare					20	1	20					spare	46						
47	spare					20	1	20					spare	48						
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61	spare					20	1	20					spare	62						
63	spare					20	1	20					spare	64						
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67	spare					20	1	20					spare	68						
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71	spare					20	1	20					spare	72						
73	spare					20	1	20					spare	74						
75	spare					20	1	20					spare	76						
77	spare					20	1	20					spare	78						
79	spare					20	1	20					spare	80						
81	spare					20	1	20					spare	82						
83	spare					20	1	20					spare	84						
SUBTOTAL		6,457	7,463	6,507					1,618	1,940	2,399	SUBTOTAL								
TOTAL PHASE A - VA		8,076	LOAD		CONN. VA	DF	LOAD		CONN. VA	DF										
AMPS		67	COOLING				REFRIGERATION			1.00										
TOTAL PHASE B - VA		9,403	HEATING		14,409	1.00	SIGN/DISPLAY		2,200	1.25										
AMPS		78	LIGHTING		4,478	1.25	KITCHEN			1.00										
TOTAL PHASE C - VA		8,906	RECEPTACLES		2,718	1.0/5	EXISTING			1.00										
AMPS		74	MOTORS			1.00	LARGE MOTOR			1.25	TOTAL DEMAND									
TOTAL PNLBD - VA		26,385	SUPP HEAT			1.00	SHOW WINDOW		720	1.25	28,235 VA									
AMPS		73	MISC EQUIP		1,860	1.00	LTG TRACK			1.00	78 A									

