

Kathryn Michaels Photography

RIVERPOINT

RIVERTON, UTAH

SYMBOL LEGEND	
	SECTION MARKER (PARTIAL CUT)
	SECTION MARKER (FULL CUT)
	DETAIL MARKER
	DIMENSION
	DOOR SYMBOL
	WINDOW SYMBOL
	ELEVATION MARKER
	GRID MARKERS
	INTERIOR ELEVATION MARKER
	NOTE
	ARROW
	NORTH ARROW
	ROOM NAME
FLOOR PLAN SCALE: 1/4" = 1'-0"	TITLE
	DRAWING LABEL
	WALL TYPE
ABBREVIATION LEGEND	
ABC. AGGREGATE BASE COURSE	M.H. MAN HOLE
AFF. ABOVE FINISH FLOOR	MTL. METAL
ALUM. ALUMINUM	N.I.C. NOT IN CONTRACT
BD. BOARD	O.C. ON CENTER
C.J. CONSTRUCTION JOINT	OPP. OPPOSITE
CMU CONCRETE MASONRY UNIT	ORD. OVER FLOW DRAIN
CONT. CONTINGUOUS	PL. PLASTIC LAMINATE
CP. CENTER POINT	PLY. WD. PLYWOOD
DBL. DOUBLE	P.T. PRESSURE TREATED
DIA. DIAMETER	REB. REBAR
E.J. EXPANSION JOINT	R.C.P. REFLECTED CEILING PLAN
EQ. EQUAL	RD. ROOF DRAIN
F.D. FLOOR DRAIN	RT.U. ROOF TOP UNIT
EIFS. EXTERIOR INSULATION	S. SEWER
FE. FINISH SYSTEM	SD. STORM DRAIN
FE. FIRE EXTINGUISHER	SHT. SHEET
FFE. FINISH FLOOR ELEVATION	SIM. SIMILAR
F.O.C. FACE OF CONCRETE	TYP. TYPICAL
F.O.S. FACE OF STUD	UNO. UNLESS NOTED OTHERWISE
GA. GAGE	VERT. VERTICAL
GYP. BD. GYPSUM BOARD	WD. WOOD
H.C. RAMP HANDICAP RAMP	WR. WATER RESISTANT
HD. WD. HARD WOOD	
HM. HOLLOW METAL	
HORIZ. HORIZONTAL	
H.W. HOT WATER	
LAV. LAVATORY	

INDEX TO DRAWINGS:

ARCHITECTURAL
G-0.0 COVER SHEET
A-1.1 ARCHITECTURAL PLANS
A-3.1 DETAILS

MECHANICAL
DESIGN / BUILD

ELECTRICAL
DESIGN / BUILD

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RIVERTON, UT

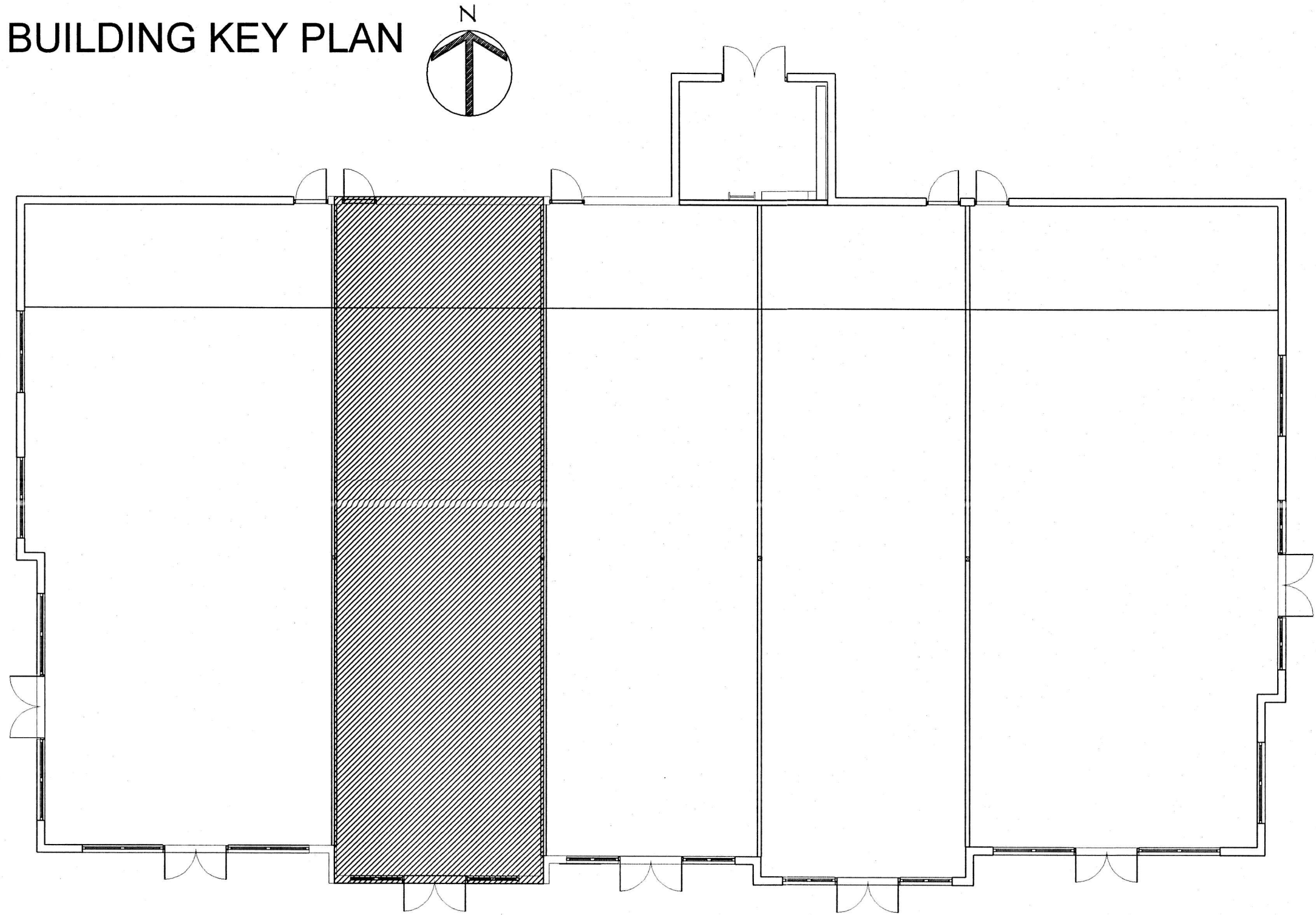
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SHEET TITLE

TITLE SHEET

G-0.0



CODE ANALYSIS

APPLICABLE CODES

International Building Code - 2003

International Mechanical Code - 2003

International Plumbing Code - 2003

National Electrical Code - 2005

International Fire Code - 2003

OCCUPANCY CLASSIFICATION: M

AREA: 1364 SQ. FT.

DESCRIPTION: RETAIL

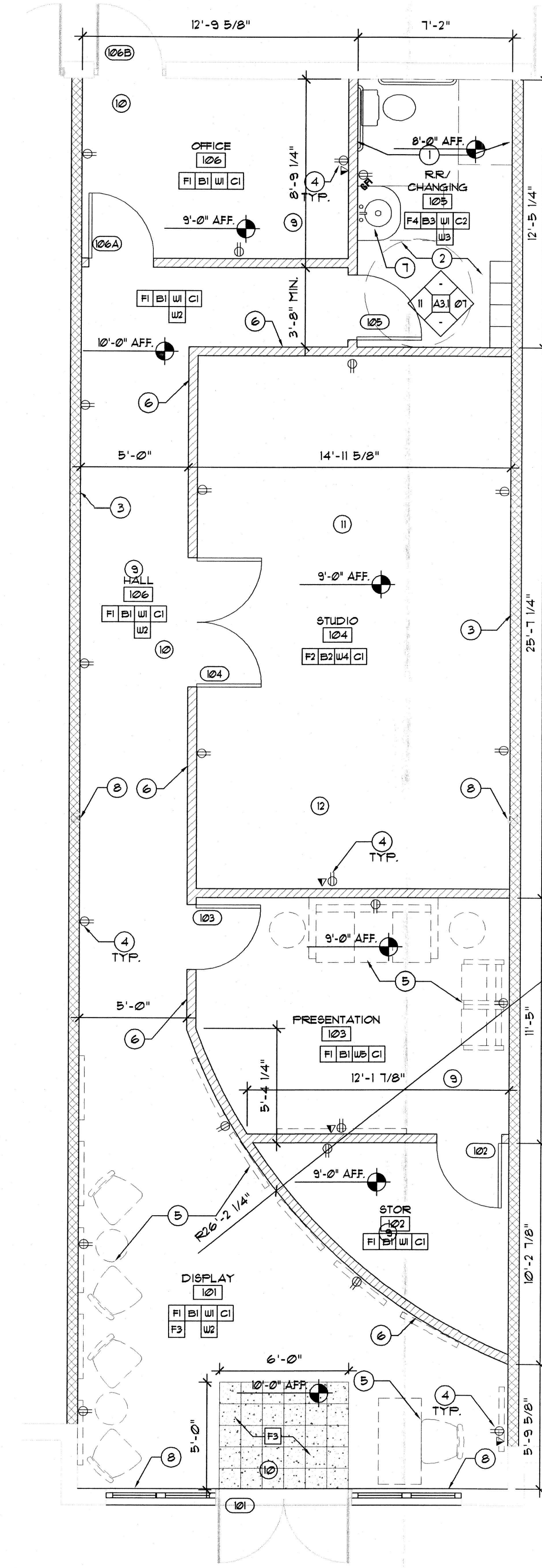
CONSTRUCTION TYPE: IIIB

SPRINKLERED (Y/N): NO

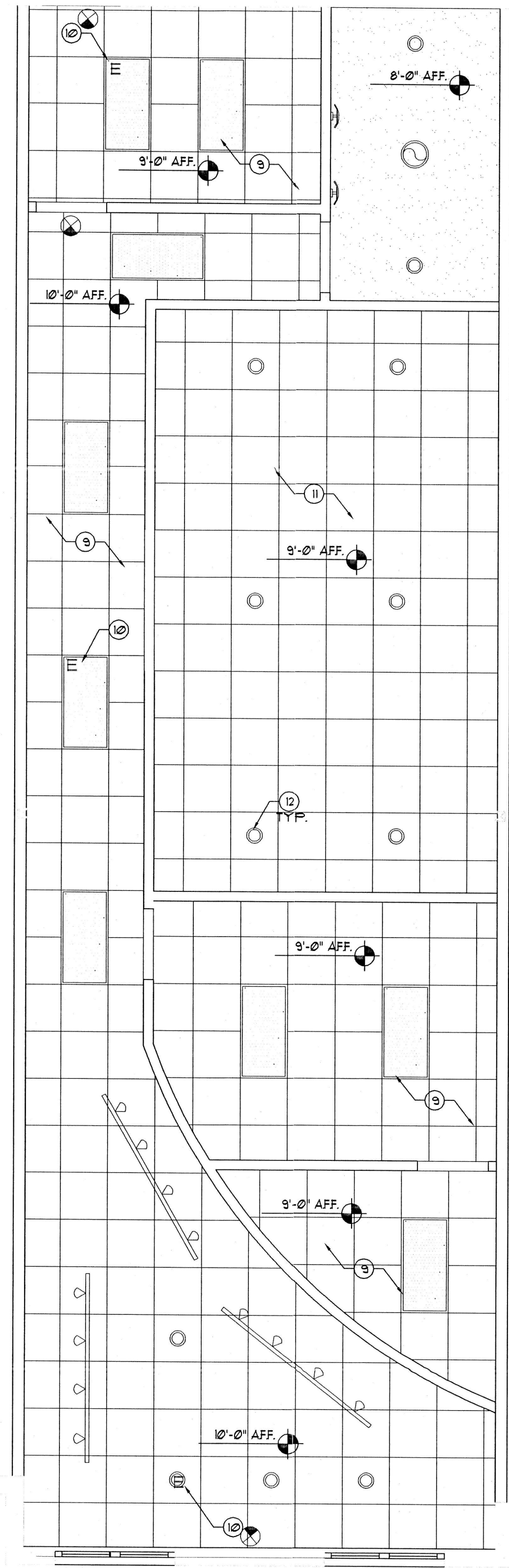
EXITS:

1 EXIT REQUIRED

2 EXITS PROVIDED

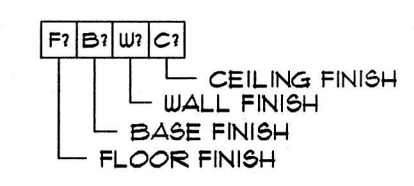


FLOOR PLAN
A-1.1 SCALE: 1/4" = 1'-0"



REFLECTED CEILING PLAN
A-1.1 SCALE: 1/4" = 1'-0"

FINISHES



- FLOOR**
- F1 BROADLOOM CARPET - DURKAN BEAUCCUP DE BOUCLE #868 COCOA
 - F2 LAMINATE FLOORING - TBD
 - F3 12"x12" PORCELAIN TILE - DAL TILE - ASPEN LODGE #AL63 "COTTO MIST"
 - F4 3"x3" OCTAGON/DOT MOSAIC PORCELAIN TILE - DAL TILE - ASPEN LODGE #AL63 "COTTO MIST"
- BASE**
- B1 4" RUBBER BASE - ROPPE #P184 "ALMOND"
 - B2 4" RUBBER BASE - ROPPE #P161 "SNOW"
 - B3 6" PORCELAIN TILE COVE BASE TO MATCH W3
 - B4 4" RUBBER BASE - ROPPE #P106 "CHOCOLATE"
- WALL**
- W1 GENERAL WALL PAINT - SHERWIN WILLIAMS SW6142 "MACADAMIA"
 - W2 ACCENT WALL PAINT - SHERWIN WILLIAMS SW6140 "MODERATE WHITE"
 - W3 12"x12" PORCELAIN TILE WAINSCOT TO 4'-3" AFF. - DAL TILE - ASPEN LODGE #AL63 "COTTO MIST" SEE DETAILS 10 & 11 ON SHEET A-3.1.
 - W4 STUDIO WALL PAINT - SHERWIN WILLIAMS SW1006 "EXTRA WHITE"
 - W5 PRESENTATION ROOM PAINT - SHERWIN WILLIAMS SW6061 "TANBARK" W/ SEMI-GLOSS FINISH
- CEILING**
- C1 NEW SUSPENDED 2'x2' ACOUSTICAL PANELS, BUILDING STANDARD
 - C2 PAINTED GYP. BD. - SHERWIN WILLIAMS - SW1006 "EXTRA WHITE" W/ FLAT FINISH

GENERAL NOTES:

- A BRIEFLY, AND WITHOUT FORCE AND EFFECT UPON THE CONTRACT DOCUMENTS, THE SCOPE OF WORK CAN BE SUMMARIZED AS FOLLOWS:
WORK INCLUDES CONSTRUCTION OF NEW WALLS AND DOORS AS INDICATED ON THE DRAWINGS. NEW SUSPENDED CEILING & LIGHT FIXTURES ADDITIONS TO THE MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS.
- B CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR SUCCESSFUL COMPLETION OF THE PROJECT.
- C CONTRACTOR SHALL BE UTAH STATE LICENSED FOR GENERAL BUILDING CLASSIFICATION AND SHALL SECURE ALL PERMITS, OBTAIN INSPECTIONS AND PAY ALL FEES AS MAY BE REQUIRED.
- D CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING BID TO DETERMINE TOTAL SCOPE OF WORK REQUIRED FOR SATISFACTORY COMPLETION OF THE PROJECT.
- E THE PREMISES SHALL BE KEPT IN A NEAT AND ORDERLY CONDITION FOR THE DURATION OF THE PROJECT.
- F CONTRACTOR SHALL CONDUCT ALL WORK WITHOUT INTERFERING WITH THE BUILDING'S OPERATIONS OR INHIBITING ITS TENANTS FROM PERFORMING THEIR WORK. COORDINATE ALL ACTIVITIES WITH THE BUILDING MANAGER TO INSURE APPROPRIATE STAGING AND OPERATIONS AREA AND TO INSURE THE SAFETY OF THE PUBLIC AND EMPLOYEES AT ALL TIMES.
- G ALL MATERIALS USED IN CONSTRUCTION SHALL BE NEW UNLESS OTHERWISE NOTED. MATERIALS MUST BE DELIVERED TO THE SITE IN ORIGINAL PACKAGING WITH LABELS INTACT.
- H ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (LATEST EDITION), INTERNATIONAL MECHANICAL CODE, NATIONAL ELECTRICAL CODE AS WELL AS ANY OTHER GOVERNING REGULATIONS.
- I CONTRACTOR SHALL, AT ALL TIMES ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG HIS EMPLOYEES AND SHALL ENSURE THAT ALL WORK IS PERFORMED BY JOURNEYMAN MECHANICS SPECIFICALLY TRAINED AND CERTIFIED IN THE WORK THEY ARE DOING.
- J CONTRACTOR SHALL MAINTAIN AT THE SITE ONE COPY OF ALL DRAWINGS, SPECS, ADDENDA, APPROVED SHOP DRAWINGS, CHANGE ORDERS AND OTHER MODIFICATIONS IN GOOD CONDITION AND MARKED TO RECORD ALL CHANGES MADE DURING CONSTRUCTION. THESE DOCUMENTS, ALONG WITH ANY OPERATING AND MAINTENANCE MANUALS SHALL BE DELIVERED TO THE BUILDING OWNER AT FINAL INSPECTION.
- K CONTRACTOR AT COMPLETION OF WORK SHALL LEAVE THE BUILDING CLEAN AND HABITABLE WITH NO ADDITIONAL MAINTENANCE REQUIRED UPON OCCUPANCY UNLESS OTHERWISE INDICATED BY BUILDING OWNER.
- L IN GENERAL, DIMENSIONS ARE SHOWN TO FACE OF WALL UNLESS NOTED OTHERWISE.
- M ANY ITEMS NOT SPECIFICALLY MENTIONED WILL BE BUILDING STANDARD. VERIFY ANY QUESTIONS WITH ARCHITECT BEFORE SUBMITTING BIDS.
- N MECHANICAL AND ELECTRICAL WORK WILL BE PROVIDED ON A DESIGN-BUILD BASIS. SUCH WORK IS NOT PART OF THESE CONSTRUCTION DOCUMENTS. ANY EQUIPMENT, FIXTURES, OUTLETS, ETC. INDICATED ON THE DRAWINGS ARE PROVIDED ONLY FOR USE BY MECHANICAL AND ELECTRICAL CONTRACTOR AS A REFERENCE IN PREPARING THEIR OWN CONSTRUCTION DOCUMENTS. NO RESPONSIBILITY IS ASSUMED BY THE PROJECT ARCHITECT AS TO COMPLETENESS AND COMPLIANCE WITH LOCAL CODES FOR SUCH INFORMATION INDICATED.
- O IN GENERAL, ELECTRICAL OUTLETS WILL BE INSTALLED AT 16" AFF UNLESS NOTED OTHERWISE. PLACEMENT OF ALL ELECTRICAL AND COMMUNICATIONS OUTLETS SHALL BE VERIFIED IN THE FIELD WITH TENANT BEFORE INSTALLATION.
- P PROVIDE SEPARATE SWITCHING OF LIGHTS FOR EACH ROOM OR AREA. VERIFY LOCATIONS AND ANY THREE WAY SWITCHING W/ TENANT, TYPICAL.

WALL LEGEND

	FULL HEIGHT WALL TO DECK ABOVE, SEE DETAIL 06/A-3.1.
	NEW METAL STUD WALL W/ 5/8" GYP. BD. BOTH SIDES. SEE DETAIL 08/A-3.1.
	EXISTING EXTERIOR WALL

ELECTRICAL LEGEND:

	- DUPLEX RECEPTACLE
	- GFI DUPLEX RECEPTACLE
	- PHONE/DATA BOX

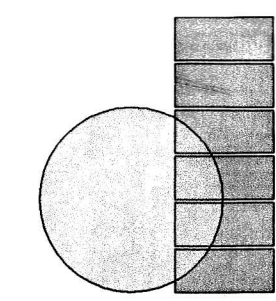
NOTE: PLACEMENT OF ALL ELECTRICAL AND COMMUNICATIONS OUTLETS SHALL BE VERIFIED IN THE FIELD WITH TENANT BEFORE INSTALLATION.

REFERENCE NOTES

- 1 PROVIDE SOLID BLOCKING IN ALL WALLS TO SUPPORT MILLWORK OR SHELVING. COORDINATE W/ TENANT FOR THESE LOCATIONS. BLOCKING SHALL CONSIST OF FIRE RETARDANT TREATED 2X LUMBER.
- 2 REFER TO SHEET A-3.1 FOR RESTROOM DETAILS.
- 3 PROVIDE GYP. BD. ON TENANT SIDE OF NEW DEMISING WALL ONLY TO ALLOW FOR FUTURE INSTALLATION OF ELECTRICAL AND COMMUNICATION OUTLETS UNDER NEXT TENANT FINISH BID PACKAGE.
- 4 IN GENERAL, ELECTRICAL OUTLETS WILL BE INSTALLED AT 16" AFF UNLESS NOTED OTHERWISE. PLACEMENT OF ALL ELECTRICAL AND COMMUNICATIONS OUTLETS SHALL BE VERIFIED IN THE FIELD WITH TENANT BEFORE INSTALLATION.
- 5 THESE DASHED LINES INDICATE FIXTURES, FURNITURE, EQUIPMENT AND MILLWORK TO BE SUPPLIED AND INSTALLED BY TENANT.
- 6 THIS WALL TO BE PAINTED W/2 PAINT.
- 7 15" DIAM. STAINLESS STEEL UNDERMOUNT SINK - DECOLAV #201-F OR APPROVED EQUAL W/ QUARTZ COUNTERTOP, CAESARSTONE #3480 "COFFER CANYON" SEE SHEET 04/A-3.1.
- 8 COMPLETE GYP. BD. AND ANY FRAMING REQUIRED AT EXTERIOR WALLS, AROUND COLUMNS AND WINDOWS.
- 9 NEW 2'x2' BUILDING STANDARD SUSPENDED ACOUSTICAL CEILING W/ BUILDING STANDARD 2'x4' PRISMATIC LIGHT FIXTURES. REFER TO DETAIL 01/A-2.1 FOR SEISMIC BRACING OF CEILING AND LIGHTS.
- 10 FIXTURES DENOTED BY THE LETTER E SHALL HAVE BATTERY BALLAST FOR EMERGENCY LIGHTING.
- 11 THIS ROOM REQUIRES INSTALLATION OF CEILING-MOUNTED BACKDROP SCREEN & SPECIAL PHOTOGRAPHY LIGHTING EQUIPMENT. COORDINATE LOCATION AND STRUCTURAL REQUIREMENTS W/ TENANT. INSTALL ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- 12 ALL CAN LIGHT FIXTURES IN THIS ROOM TO BE INSTALLED WITH DIMMER SWITCHES.

CEILING PLAN LEGEND

	2'x4' BUILDING STANDARD RECESSED PRISMATIC FLUORESCENT LIGHT FIXTURE W/ ELECTRONIC BALLASTS
	RESTROOM SCONCE. VERIFY MODEL W/ TENANT.
	RECESSED CAN LIGHT
	EXHAUST FAN CAPABLE OF 5 AIR CHANGES PER HOUR
	ILLUMINATED EXIT SIGN, BLDG. STANDARD
	TRACK LIGHTING FIXTURE. VERIFY MODEL AND PLACEMENT W/ TENANT.
	2'x2' BUILDING STANDARD LAY-IN GRID CEILING PANELS @ 10'-0" AFF. SEE DETAIL 01/A-3.1 FOR SEISMIC BRACING.
	GYP. BOARD CEILING @ 8'-0" AFF. PAINTED W/ FLAT FINISH.



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ARCHITECTURAL PLANS

DOOR NUMBER	DOOR SIZE	DOOR TYPE	JAMB DETAIL	HEAD DETAIL	HARDWARE GROUP	FRAME TYPE	THRESHOLD	DOOR & FRAME PAINT
101	EXISTING TO REMAIN	-	-	-	-	-	-	-
102	3'-0" x 1'-0" x 1 3/4"	A	03/A-3J	03/A-3J	H-2	1	-	DOOR & FRAME = W5
103	3'-0" x 1'-0" x 1 3/4"	B	03/A-3J	03/A-3J	H-2	1	-	HALL: DOOR = W2, FRAME = W1, PRESENTATION: DOOR & FRAME = W5
104	3'-0" x 1'-0" x 1 3/4" (2 ea.)	B	03/A-3J	03/A-3J	H-2	1	03/A-3J	HALL: DOOR = W2, FRAME = W1, STUDIO: DOOR & FRAME = W4
105	3'-0" x 1'-0" x 1 3/4"	A	03/A-3J	03/A-3J	H-1	1	03/A-3J	DOOR = W2, FRAME = W1
106A	3'-0" x 1'-0" x 1 3/4"	A	03/A-3J	03/A-3J	H-3	1	-	DOOR = W2, FRAME = W1
106B	EXISTING TO REMAIN	-	-	-	-	-	-	-



GROUP H-1	GROUP H-2	GROUP H-3
1/2 PAIR BUTTS	1/2 PAIR BUTTS	1/2 PAIR BUTTS
1 EA PRIVACY SET	1 EA PASSAGE SET	1 EA LOCK SET
1 EA DOOR STOP	1 EA DOOR STOP	1 EA DOOR STOP

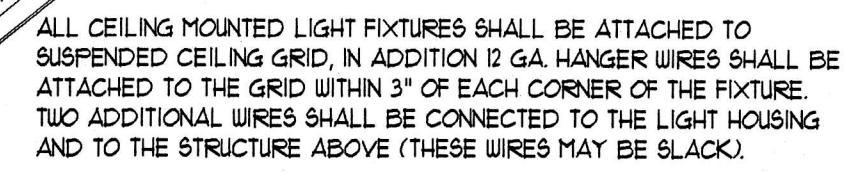
DOOR & FRAME PAINT

A perspective diagram of a wall reinforcement grid. It shows a grid of horizontal and vertical steel bars. Labels include:

- CROSS RUNNERS**: pointing to the horizontal bars.
- VERTICAL WIRES - 12 GA.**: pointing to the vertical bars.
- WALL ANGLE**: pointing to the corner reinforcement.
- 1" @ 20" TYPICAL**: indicating the spacing of the cross runners.
- 12" @ 20" TYPICAL**: indicating the spacing of the main runners.
- 12" @ 20" (UPPER)**: indicating the spacing of the main runners in the upper section.
- 22 A-37**: a circular callout pointing to a vertical bar.

NOTES:

- 1. 3/8" DIAMETER KWK BOLT II (BY HILT) 2-1/2" EMBEDDED FOR WIRES (SHALLOW ANCHOR).
- 2. INSTALL SUSPENDED GRID SYSTEM IN ACCORDANCE TO CISCA 3-4.
- 3. USE A HEAVY DUTY T-BAR GRID SYSTEM.
- 4. VERIFY W/ BLDG. OWNER WHETHER POWDER ACTUATED FASTENERS ARE ALLOWED.
- PERIMETER SUPPORTING CLOSURE ANGLE TO BE 2" AND ATTACHED AT ONE END WITH THE OTHER END FREE TO SLIDE. MAINTAIN 3/4" CLEARANCE FROM WALL WHERE REQUIRED.



Technical drawing of a door jamb assembly. The drawing shows a cross-section of the door frame and jamb. Key dimensions and components are labeled:

- HOLLOW METAL FRAME PAINTED SEE SPECS**: Points to the outer frame.
- FRAME ANCHORS**: Points to the anchors securing the frame.
- SCHEDULED DOOR SEE SPECS**: Points to the door leaf.
- (2) 2 x METAL STUDS AT EACH JAMB**: Points to the vertical studs supporting the jamb.
- SEALANT CONT. BOTH SIDES**: Points to the sealant applied to the door.
- 5/8" GYP BD BOTH SIDES PAINTED**: Points to the gypsum board on the jamb.

Dimensions shown include:

- 1 7/8"**: Dimension across the top of the frame.
- 1/2"**: Dimension across the top of the jamb.
- 5 5/16"**: Dimension across the bottom of the jamb.
- 5"**: Dimension across the left side of the jamb.



A-3.1 SCALE: 1/2" = 1'-0"



A-3.1 SCALE: 3/4" = 1'-0"



(A-3.1) SCALE: 3/4" = 1'-0"



A-3.1 SCALE: 1/4" = 1'-0"



A-3.1 SCALE: 1" = 1'-0"



SCALE: 1" = 1'-0"



6641 E 1/4" = 1" Ø"

- (A) 4" DRAIN. SLOPE FLOOR TO DRAIN, SEE PLUMBING DRAWINGS.
- (B) PROVIDE 1" C FOLD PAPER TOWEL DISPENSER. BRADLEY MODEL 750-B OR APPROVED EQUAL.
- (C) PROVIDE HORIZONTAL SOAP DISPENSER. BRADLEY MODEL 65-42 OR APPROVED EQUAL.
- (D) PROVIDE MIRROR 24"x36" W/SHelf. BRADLEY MODEL 725 OR APPROVED EQUAL.
- (E) INSTALL 36" LONG STAINLESS STEEL GRAB BAR @ REAR OF TOILET. BRADLEY PART NO. 8110-00036.
- (F) INSTALL 42" LONG STAINLESS STEEL GRAB BAR @ SIDE OF TOILET. BRADLEY PART NO. 8110-00042.
- (G) PROVIDE DUAL ROLL TISSUE DISPENSER. BRADLEY MODEL 5224 OR APPROVED EQUAL.
- (H) WALL SCONCE, VERIFY MODEL W/ TENANT
- (I) INSTALL 12"x12" WALL TILE W/ABSCESS ON LIFT WALLS FROM FINISHED FLOOR TO 4'-4" AFF. (_____).



RESTROOM EL

[illegible]

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