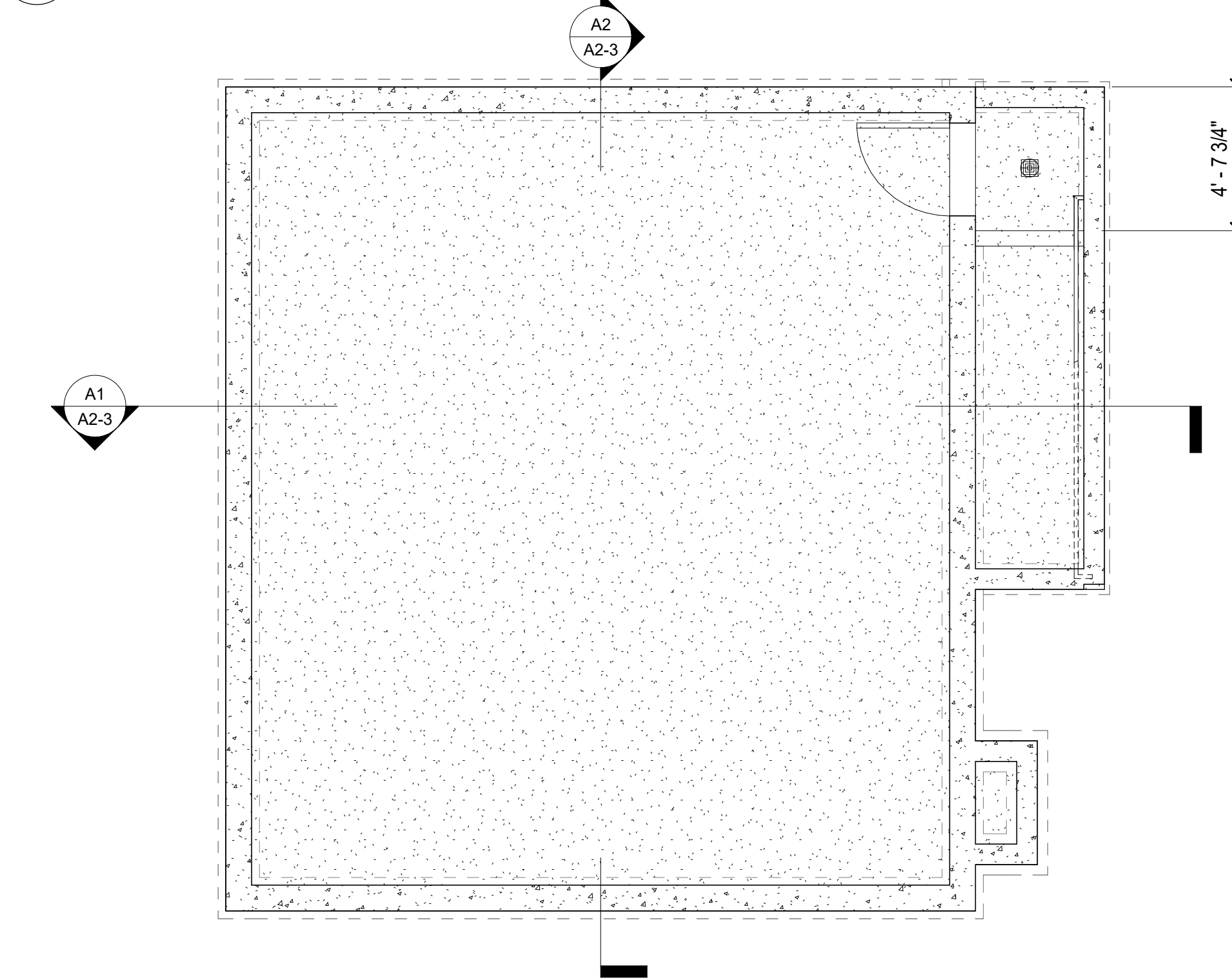


A1  
A1-1  
LEVEL 01 - ADU  
1/4" = 1'-0"

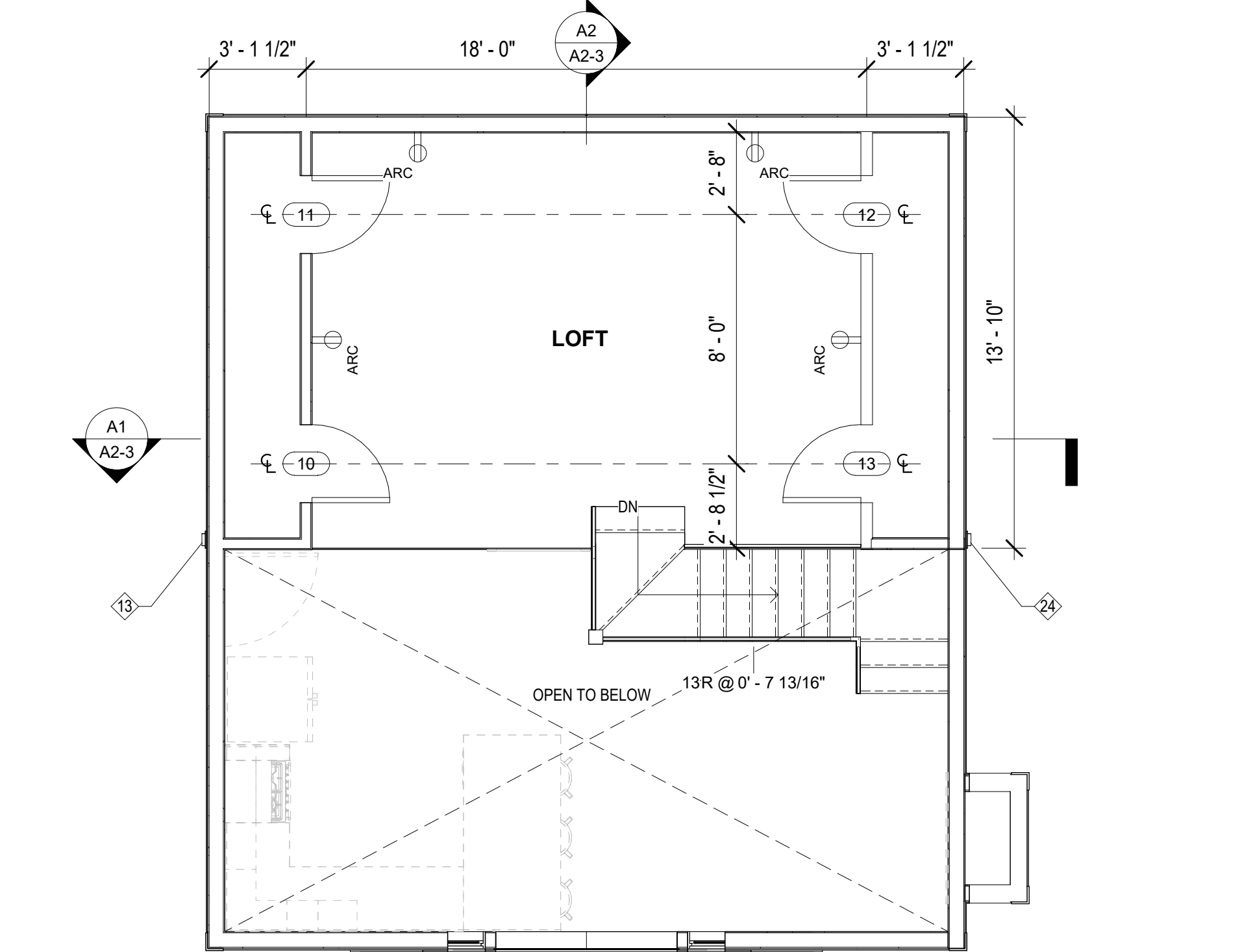


B3  
A1-1  
ADU FOOTING  
1/4" = 1'-0"

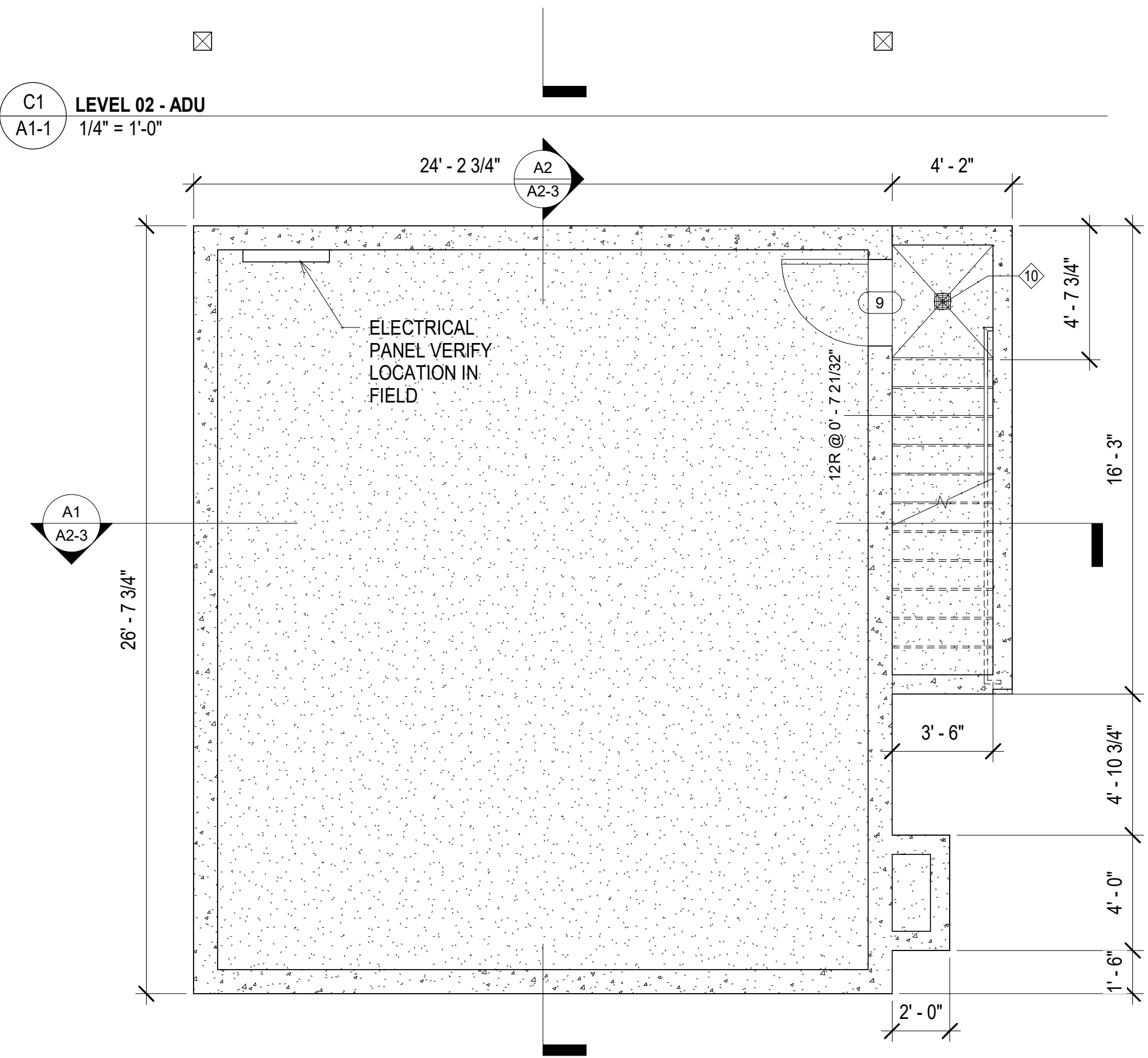
DOOR SCHEDULE					
Mark	Family	Width	Height	Manufacturer	Comments
1	Doors_ Exterior Entrance w/ Sidelight	4' - 0"	6' - 8"		
2	Door_ Exterior-Single-Half Glass	3' - 0"	6' - 8"		
3	Door_ Cased Opening	2' - 8"	6' - 8"		
4	Door_ Interior	2' - 4"	6' - 8"		
5	Door_ Interior	2' - 8"	6' - 8"		
6	Door_ Double Sliding	4' - 0"	6' - 8"		
7	Door_ Interior	2' - 8"	6' - 8"		
8	Door_ Double Sliding	5' - 0"	6' - 8"		
9	Single-Flush	3' - 0"	6' - 8"		
10	Single-Flush	2' - 6"	3' - 2"		VERIFY HEIGHT
11	Single-Flush	2' - 6"	3' - 2"		VERIFY HEIGHT
12	Single-Flush	2' - 6"	3' - 2"		VERIFY HEIGHT
13	Single-Flush	2' - 6"	3' - 2"		VERIFY HEIGHT
14	Door_Garage	16' - 0"	7' - 0"		
15	Door_ Exterior-Single-Half Glass	3' - 0"	6' - 8"		

#### ELECTRICAL LEGEND

- SWITCH
- 3-WAY SWITCH
- OUTLET
- GFCI OUTLET
- ARC OUTLET
- 220V OUTLET
- SMOKE & Co2 DETECTOR  
ALL WIRED ON SMAE CIRCUIT



C1  
A1-1  
LEVEL 02 - ADU  
1/4" = 1'-0"



A2  
A1-1  
LEVEL 00 - ADU  
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#### KEYED NOTES

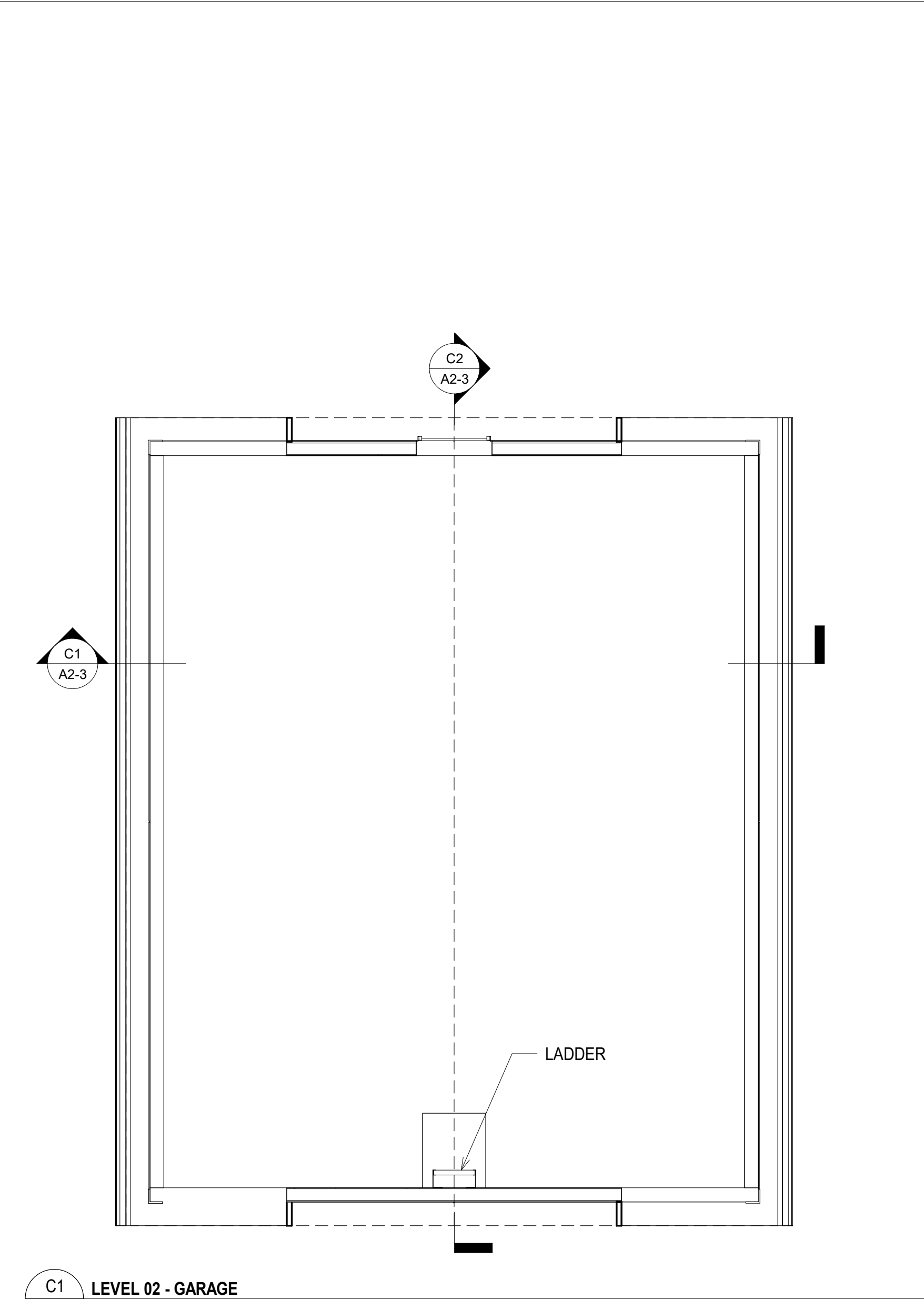
- EXTEND HOT AND COLD WATER TO WASHER - PROVIDE DRAIN AND LEAD PAN UNDER WASHER AND DRYER
- DRYER VENT TO EXTERIOR - PROVIDE BACK DRAFT PREVENTER AND BUG SCREEN AT EXTERIOR
- FLOOR DRAIN
- PROTECT BOTTOM OF STAIRS WITH 5/8" GYP BD
- STAIRS - MAX 8" RISE AND 10" TREAD - HANDRAIL AT 36" ABOVE THE NOSE OF STAIRS (TYP) GUARD RAIL AT WALKWAY AND STAIR - 36" HIGH - NO OPENINGS THAT WILL ALLOW A 4" SPHERE TO PASS THROUGH
- EXHAUST
- 1/2" RIGID INSULATION
- RAIN GUTTER AND DOWN SPOUTS - OPTIONAL
- VENTED SOFFIT
- 2 x 6 EXTERIOR STUD WALLS W/ R-19 BATT INSULATION - 1/2" GYP BD - TAPE, TEXTURE AND PAINT (TYPICAL EXTERIOR WALLS)
- 2 x 4 INTERIOR STUD WALLS - 1/2" GYP BD - TAPE, TEXTURE AND PAINT
- PRIOR TO INSTALLING PLUMBING FIXTURES VERIFY THAT THE SEWER WILL HAVE PROPER FALL TO SEWER IN STREET
- ASPHALT SHINGLES ON PRIMARY UNDERLAYMENT (VAPOR BARRIER) - ASPHALT OR APPROVED SYNTHETIC - RIDGE CAPS TO ALSO BE INSTALLED - SEE KEYED NOTE 23
- GARAGE DOOR OPENER
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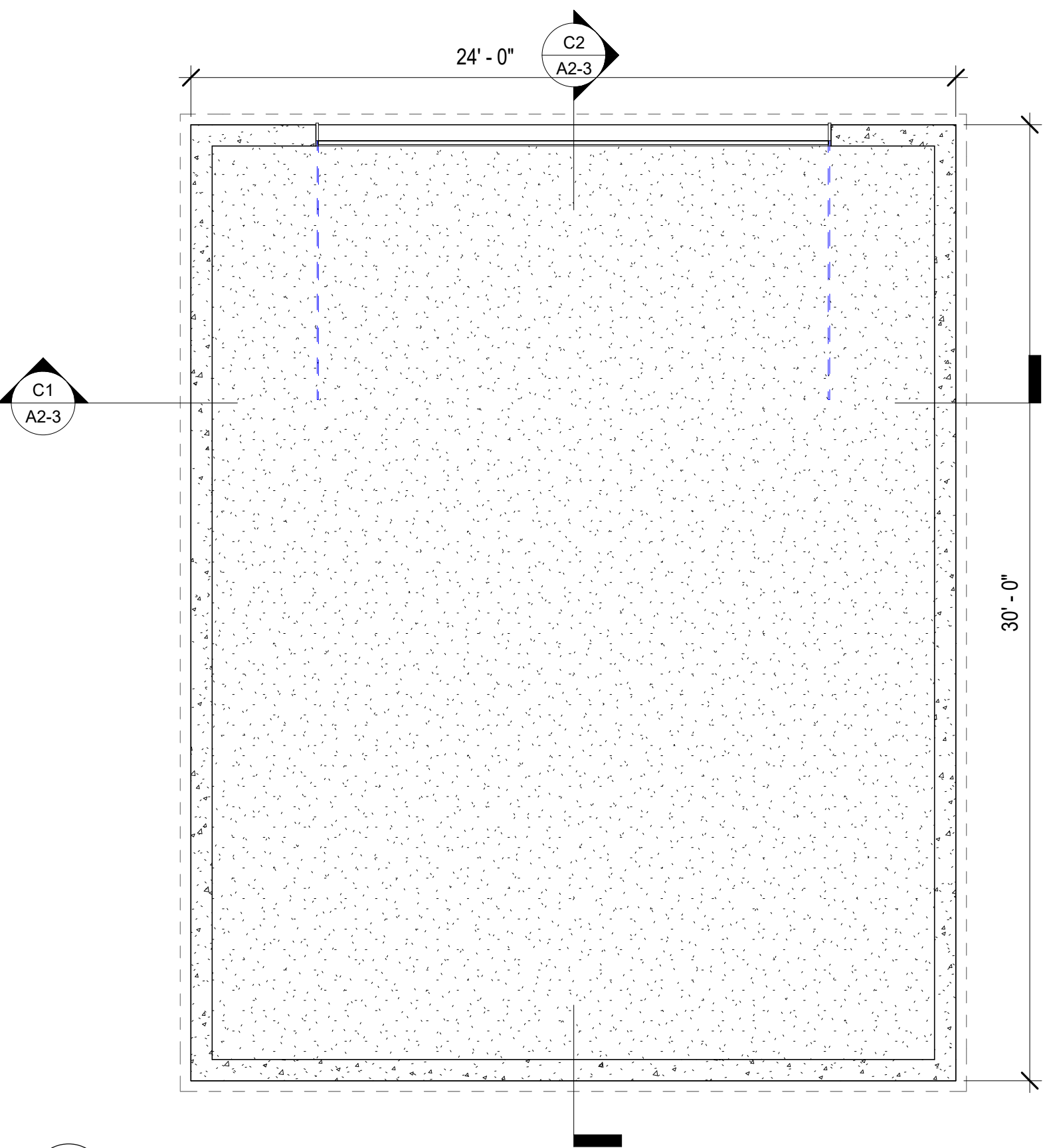
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- ALL COUNTERTOPS TO BE STANDARD DEPTH, ALL PLUMBING TO BE PROTECTED AGAINST FREEZING, PLUMBING IN EXTERIOR WALLS TO BE WRAPPED W/ BATT. INSUL. TYP.
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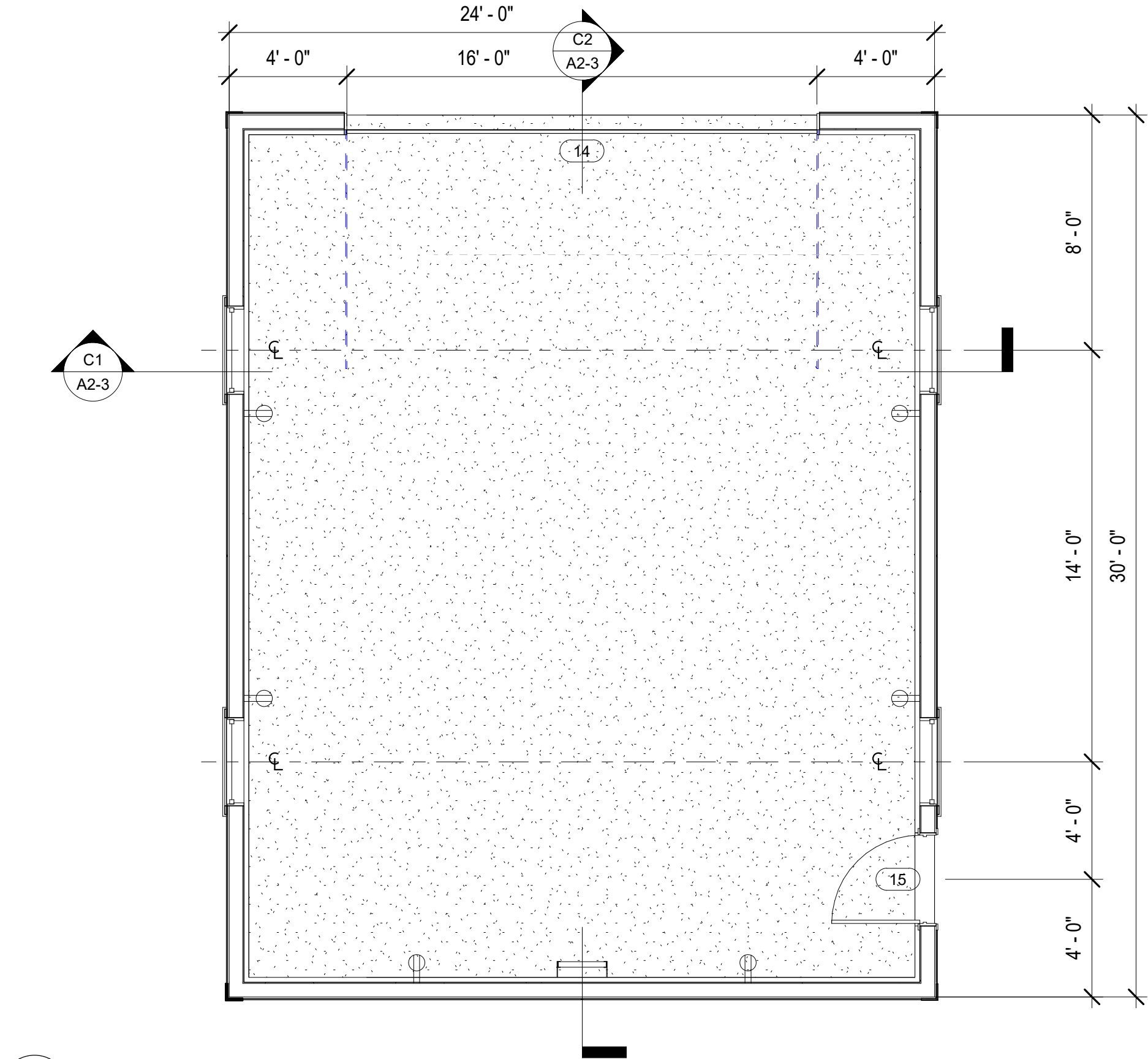
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C1  
A1-2  
LEVEL 02 - GARAGE  
1/4" = 1'-0"



A1  
A1-2  
GARAGE FOOTING  
1/4" = 1'-0"



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A1-2  
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ALL WIRED ON SMAE  
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KEYED NOTES		DATE 03-31-22			
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13	EXHAUST	Floorspace, LLC J Steve Floor 2346 SOUTH park Street, Salt Lake City, Utah			
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GENERAL NOTES				d. kim anderson, architect architecture - planning - interiors 3335 south 900 east street # 270 millcreek, utah 84108 (801) 355-4658 - kim@dka-arch.com	
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GENERAL NOTES		dka architect			
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3.	PROPERLY SHORE ANY STRUCTURAL ITEM TO REMAIN	FILE NAME PS			
4.	PROTECT PUBLIC FROM CONSTRUCTION ACTIVITIES	PROJECT No. 2021-005			
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Floorspace, LLC  
J Steve Floor  
2346 SOUTH park Street, Salt Lake City, Utah

FLOOR PLANS - GARAGE

d. kim anderson, architect  
architecture - planning - interiors  
3335 south 900 east street # 270  
millcreek, utah 84106  
(801) 365-4698 - kim@dkae-arch.com

dka  
architect

DRAWN  
BSC  
CHECKED  
dka

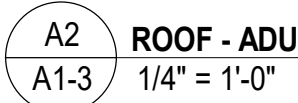
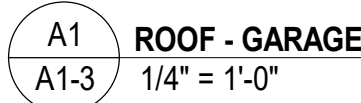
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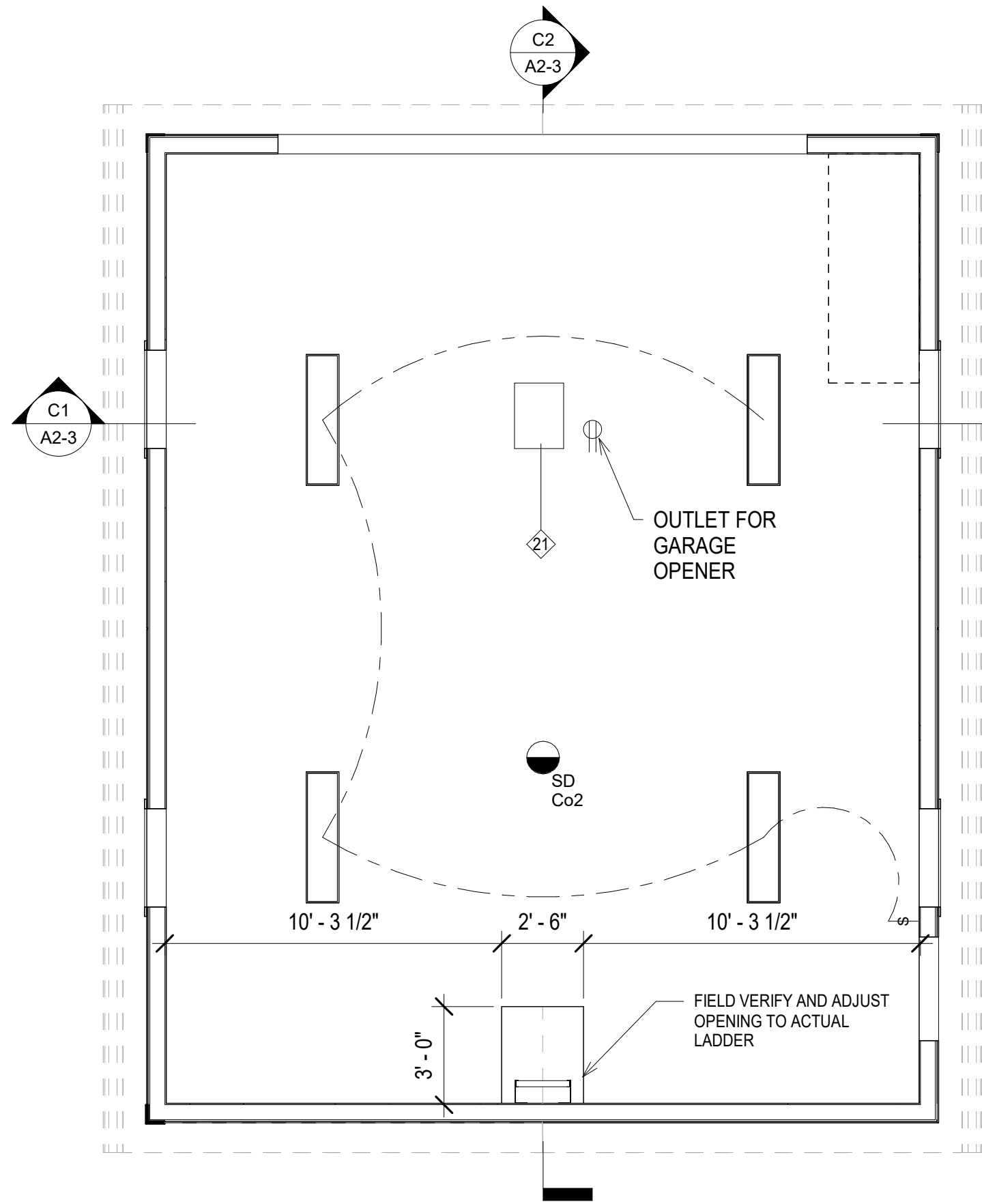
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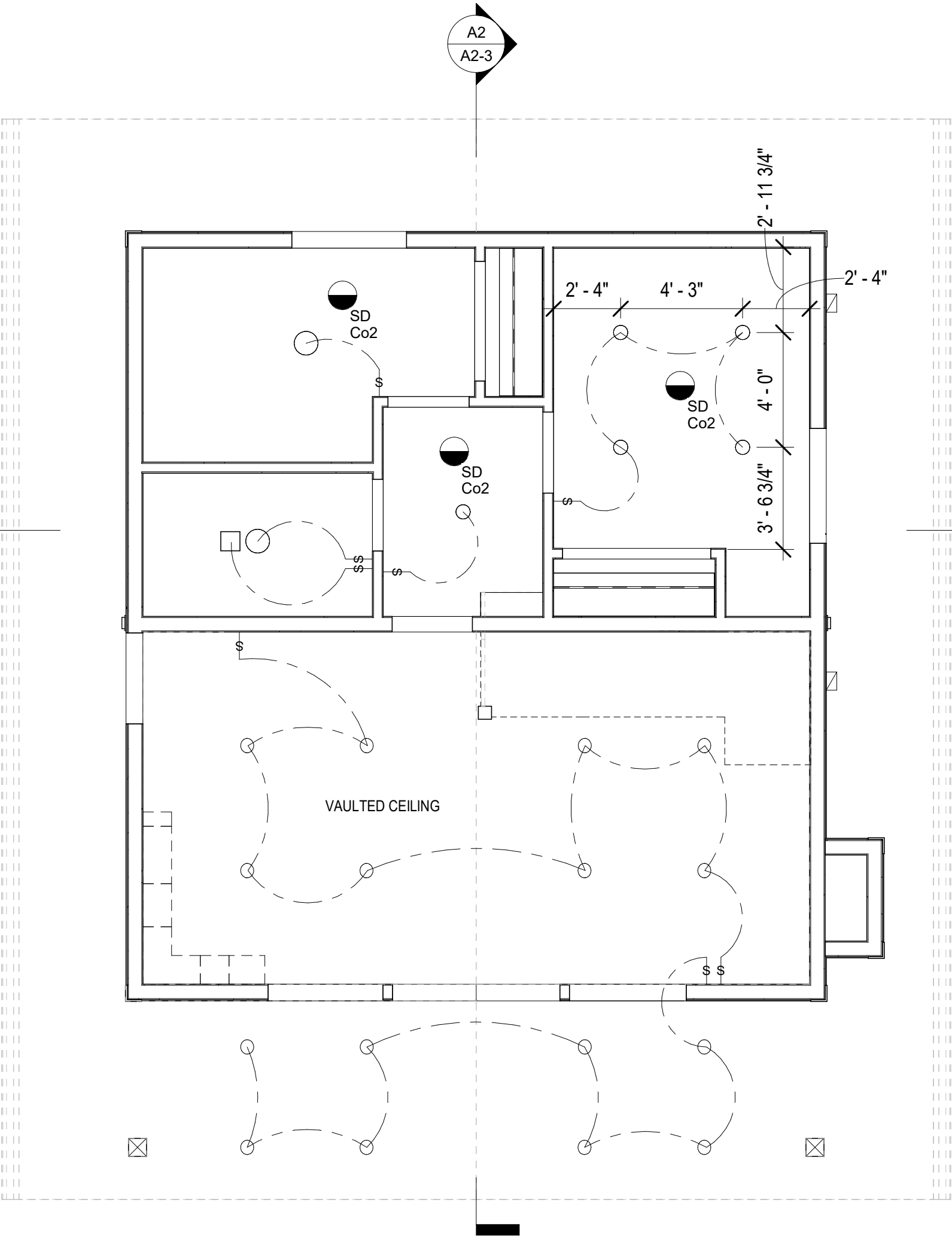




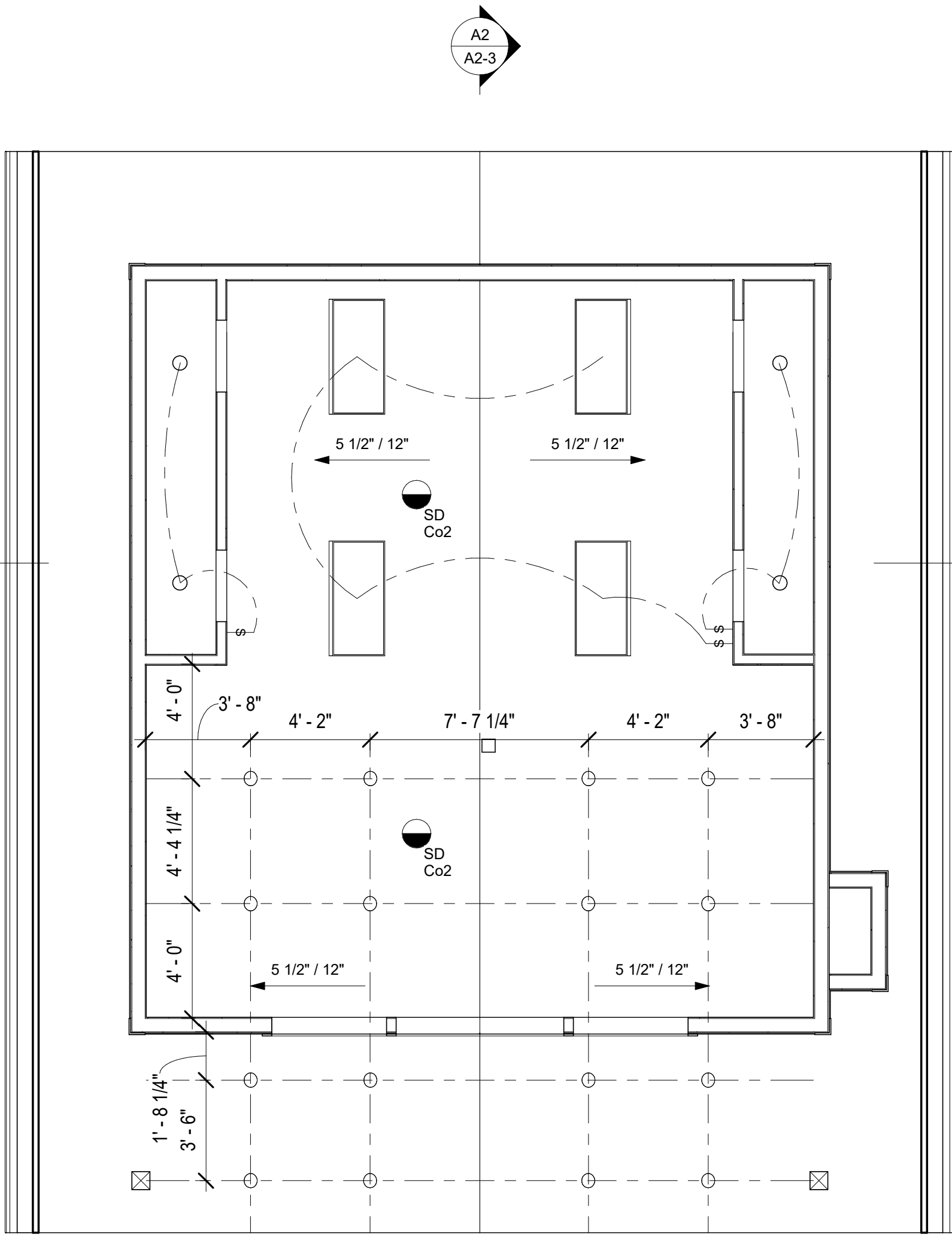
KEYED NOTES		DATE 03-31-22		
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<div>Floorspace, LLC J Steve Floor 2346 SOUTH park Street, Salt Lake City, Utah</div>		ROOF PLANS		
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A1-4  
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A1  
A1-4  
LEVEL 01 - ADU  
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A2  
A1-4  
LEVEL 02 - ADU  
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- R-49 CEILING INSULATION - TYPICAL - RIGID INSULATION
- ROOF VENT 1 /300 OF ROOF WITH VENTS - TOTAL VENTING IN ROOF TO BE 1/300 OF ROOF AREA WITH 50 PERCENT AT RIDGE AND 50 PERCENT AT EAVES - ADU SF / 650 = 1.08 OR 2 SF OF VENTS
- DRYER VENT W/ BACK DRAFT AND BUG SCREEN - MAX LENGTH IN ACCORDANCE WITH IRC 2015 M1502.4.5
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## GENERAL NOTES

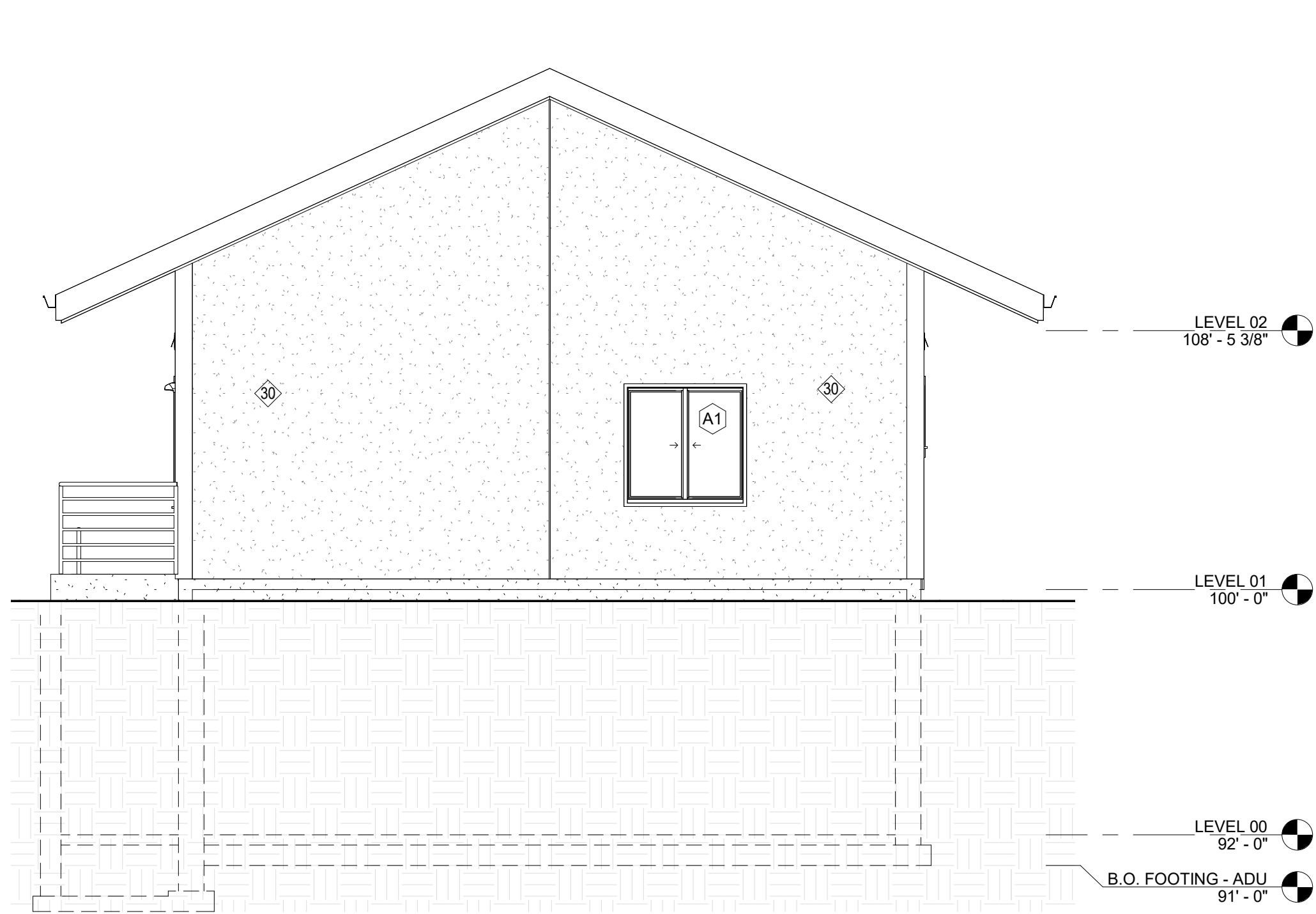
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- PROVIDE PROPER WALL ANCHORAGE WITH 3 x 3 x 0.029 SQUARE WASHERS. IF WASHER WITH ELONGATED HOLE IS USED PLACE AN APPROVED CUT FOUNDATION WASHER ON TOP OF THE SQUARE WASHER; SEE STRUCTURAL, WHICH GOVERNS COORDINATE PLUMBING AND MECHANICAL WITH STRUCTURAL MEMBERS
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- EMERGENCY FLOOR DRAINS SHALL BE INSTALLED AT WATER HEATERS, LAUNDRIES, ETC. AND INCLUDE A DEEP SEAL TRAP
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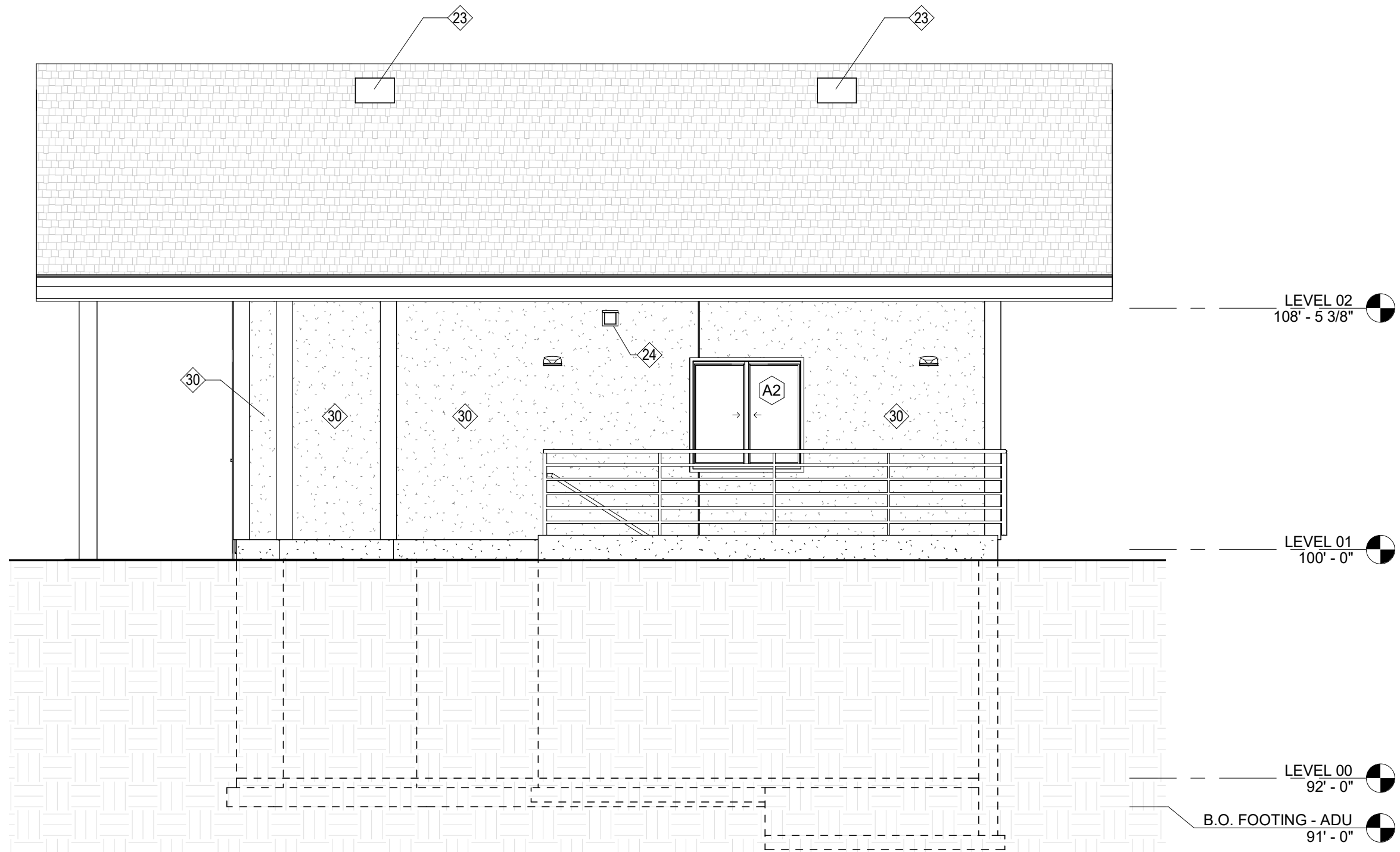
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WINDOW SCHEDULE						
Mark	Width	Height	Manufacturer	Model	U Value Minimum	Comments
A1	4' - 0"	4' - 0"			0.32	
A2	4' - 0"	4' - 0"			0.32	OBSCURE WINDOW
A3	4' - 0"	4' - 0"			0.32	TRAPEZOID WINDOW
A4	4' - 0"	3' - 4"			0.32	
A5	5' - 10"	7' - 10"			0.32	HEIGHT TO BOTTOM OF SLOPE
A6	4' - 0"	4' - 0"			0.32	TRAPEZOID WINDOW
A7	3' - 0"	2' - 0"			0.32	OPTIONAL OBSCURE PANE
A8	3' - 0"	3' - 0"			0.32	
B1	3' - 0"	4' - 0"				
B2	3' - 0"	4' - 0"				
B3	3' - 0"	4' - 0"				
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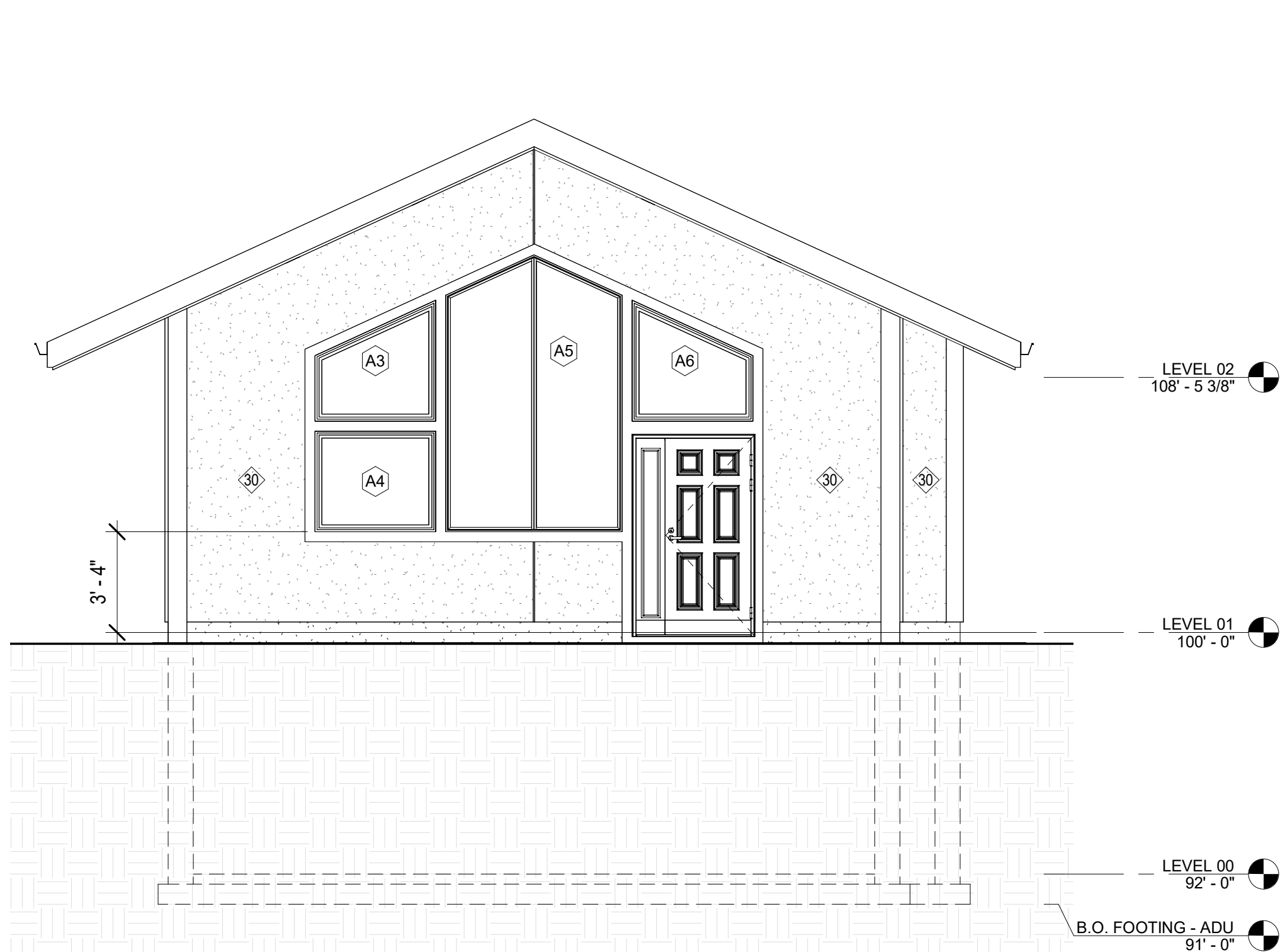
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		DATE			
		REVISION			
		NO.			
				Floorspace, LLC J Steve Floor 2346 SOUTH park Street, Salt Lake City, Utah	
				BUILDING ELEVATIONS - ADU	
				d. kim anderson, architect architecture - planning - interiors 3335 south 900 east street # 270 millcreek, utah 84106 (801) 355-4638 - kim@dka-arch.com	
				dka architect	
		DRAWN		BSC	
		CHECKED		DKA	
		FILE No.		2021-005	
		FILE NAME		PS	
		PROJECT No.		2021-005	
		SHEET No.		A2-1	



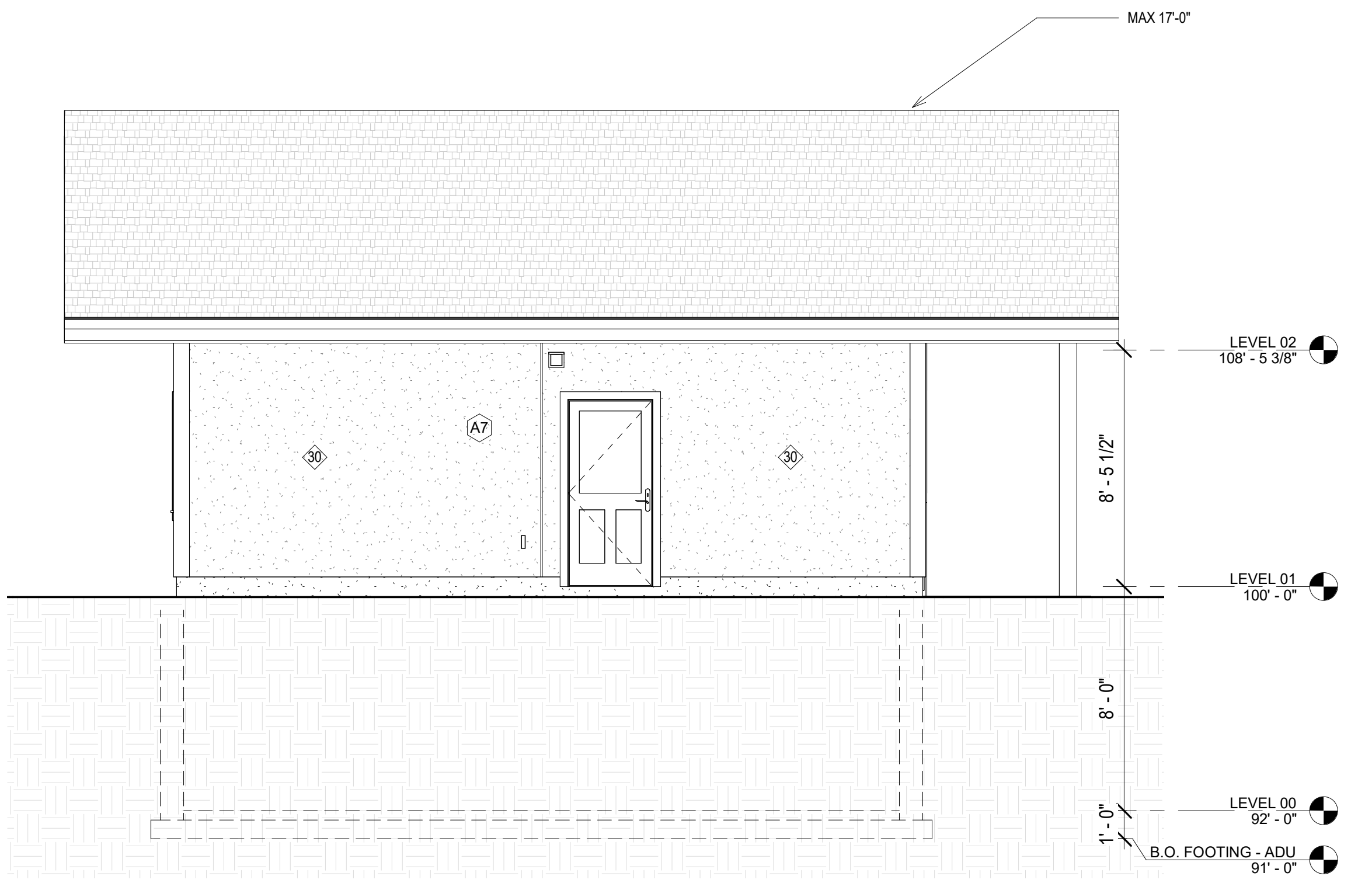
C1	WEST ELEVATION - ADU
A2-1	1/4" = 1'-0"



C2	NORTH ELEVATION - ADU
A2-1	1/4" = 1'-0"



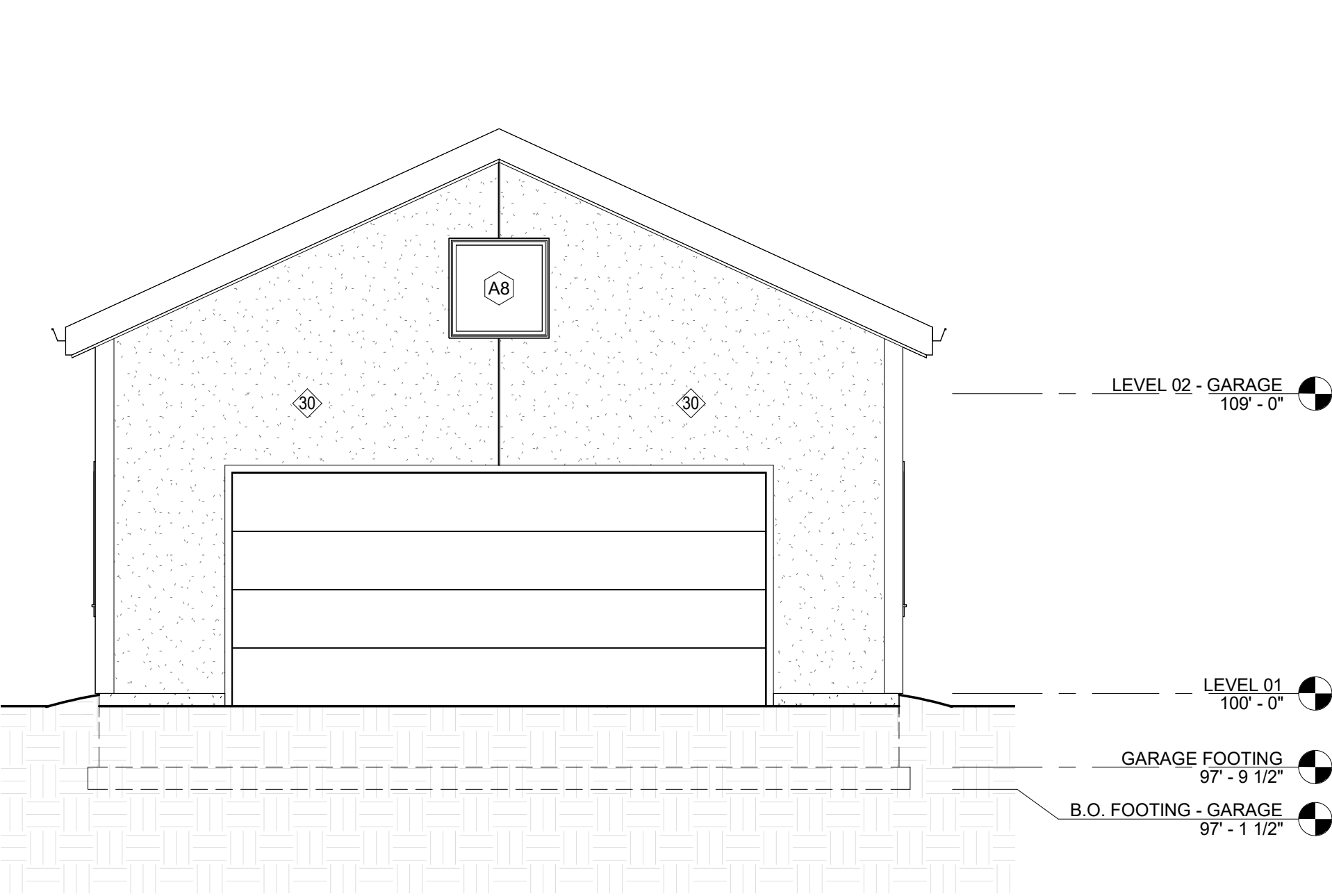
A1	EAST ELEVATION - ADU
A2-1	1/4" = 1'-0"



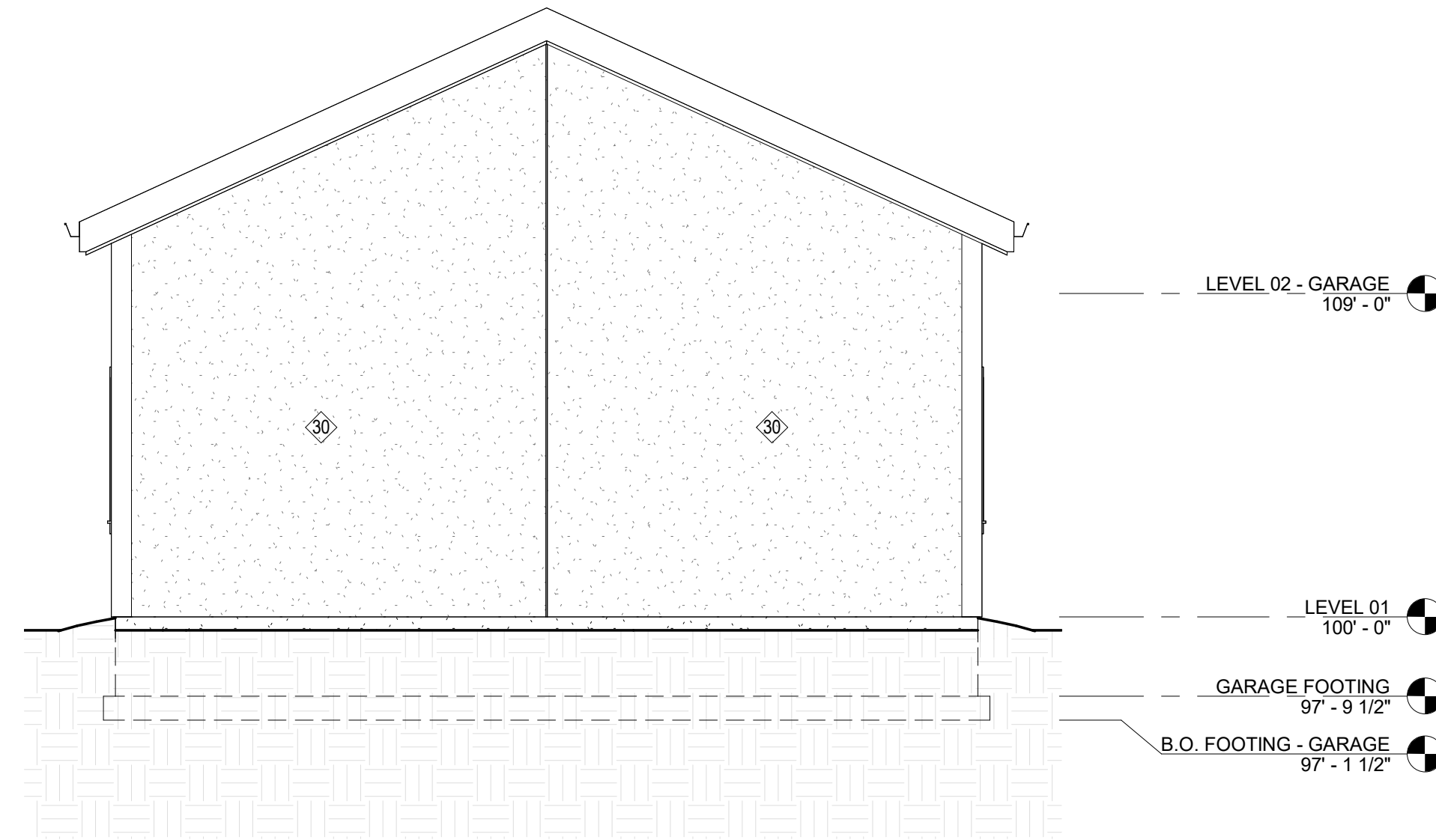
A2	<b>SOUTH ELEVATION - ADU</b>
A2-1	1/4" = 1'-0"



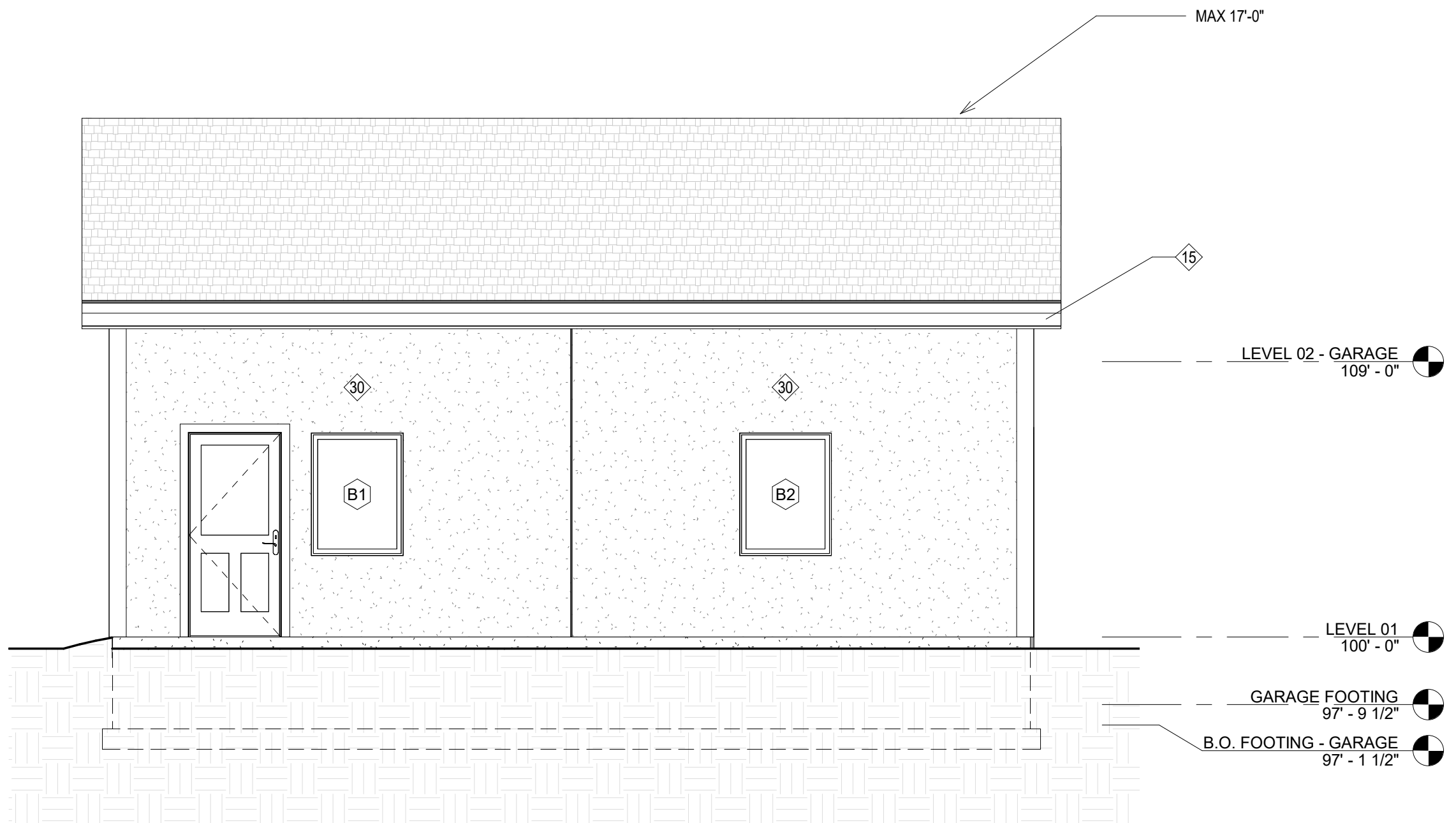
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A4	4' - 0"	3' - 4"			0.32	
A5	5' - 10"	7' - 10"			0.32	HEIGHT TO BOTTOM OF SLOPE
A6	4' - 0"	4' - 0"			0.32	TRAPEZOID WINDOW
A7	3' - 0"	2' - 0"			0.32	OPTIONAL OBSCURE PANE
A8	3' - 0"	3' - 0"			0.32	
B1	3' - 0"	4' - 0"				
B2	3' - 0"	4' - 0"				
B3	3' - 0"	4' - 0"				
B4	3' - 0"	4' - 0"				



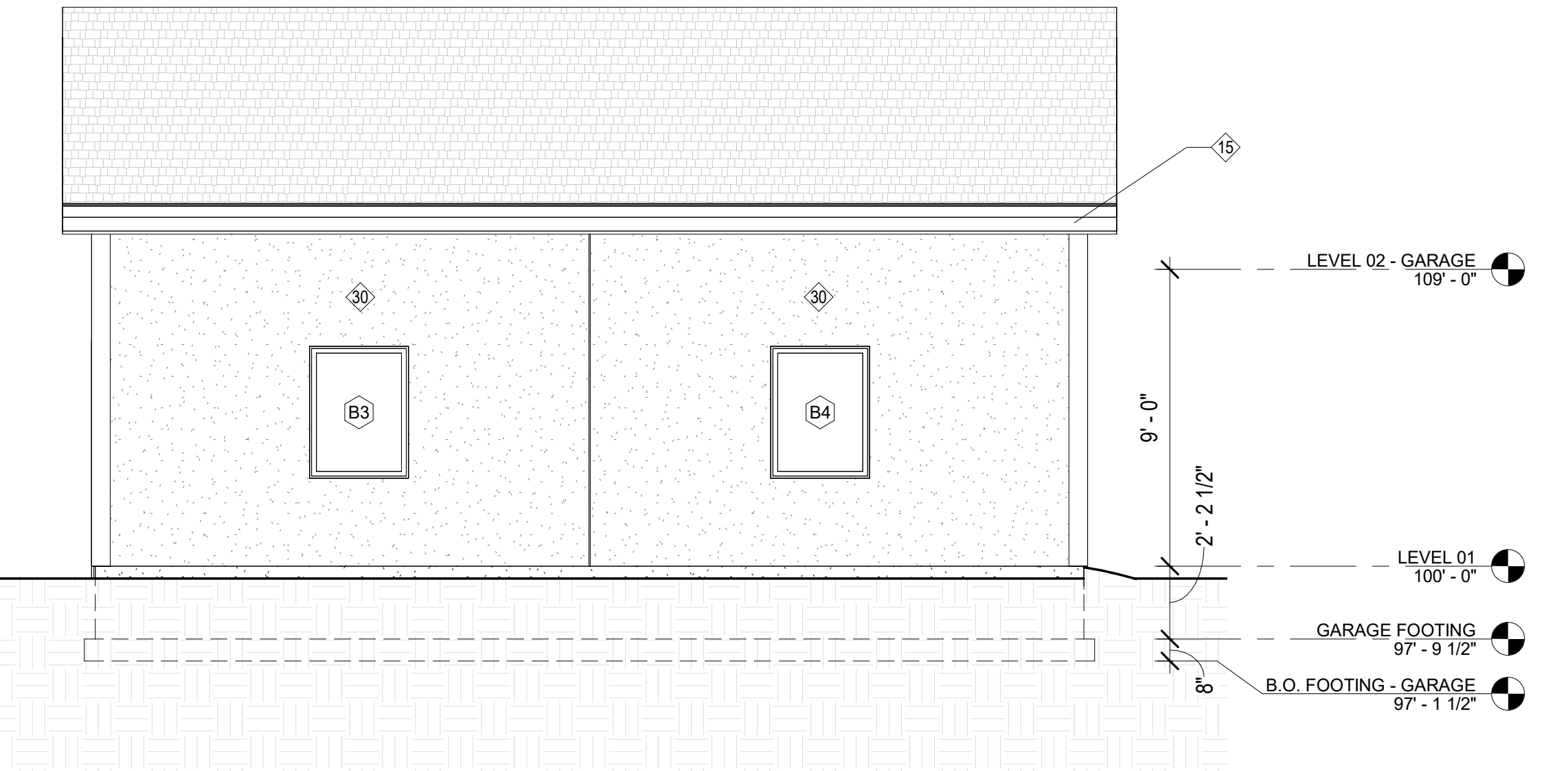
C1 WEST ELEVATION - GARAGE  
A2-2 1/4" = 1'-0"



A1 EAST ELEVATION - GARAGE  
A2-2 1/4" = 1'-0"

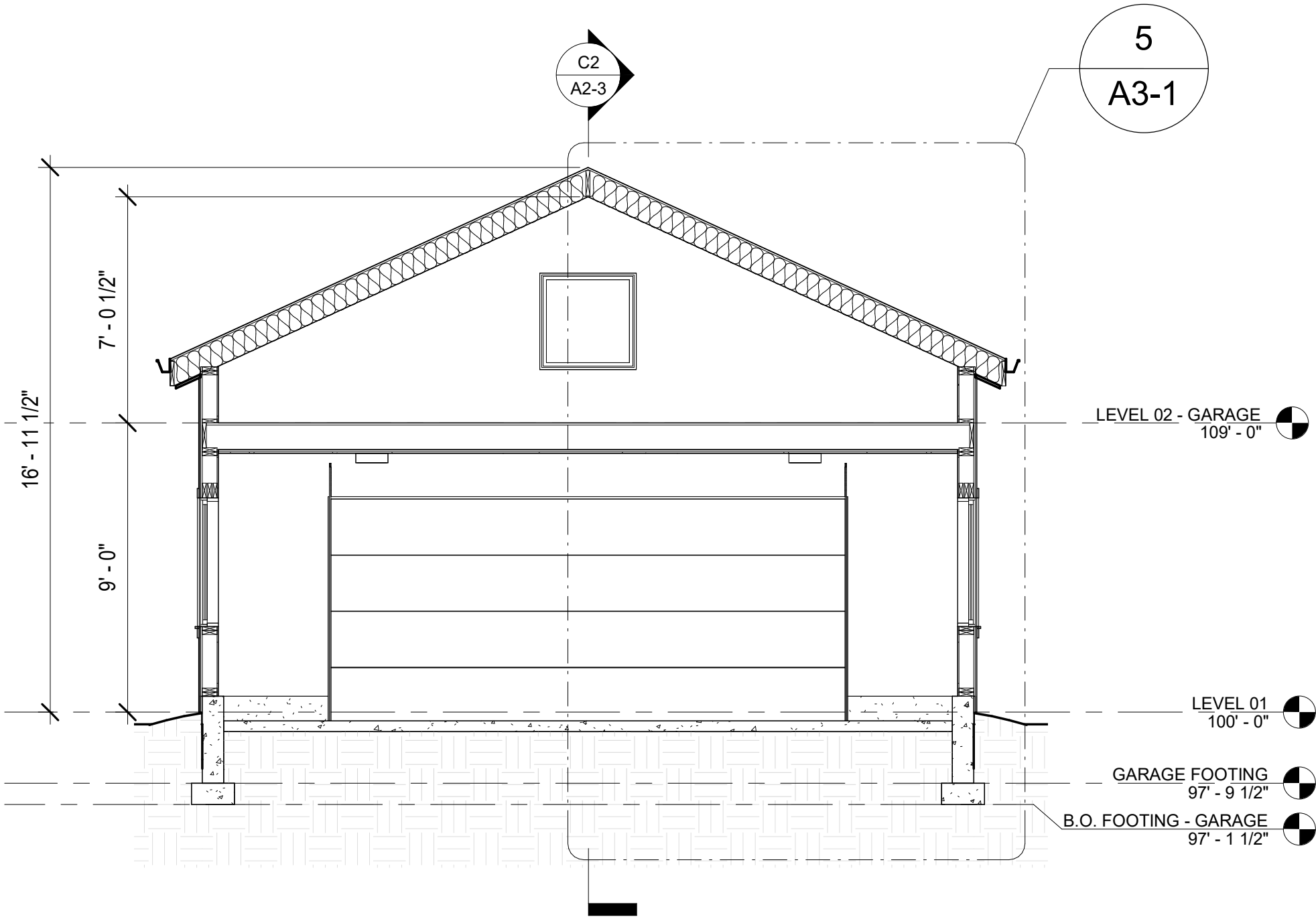


C2 NORTH ELEVATION - GARAGE  
A2-2 1/4" = 1'-0"

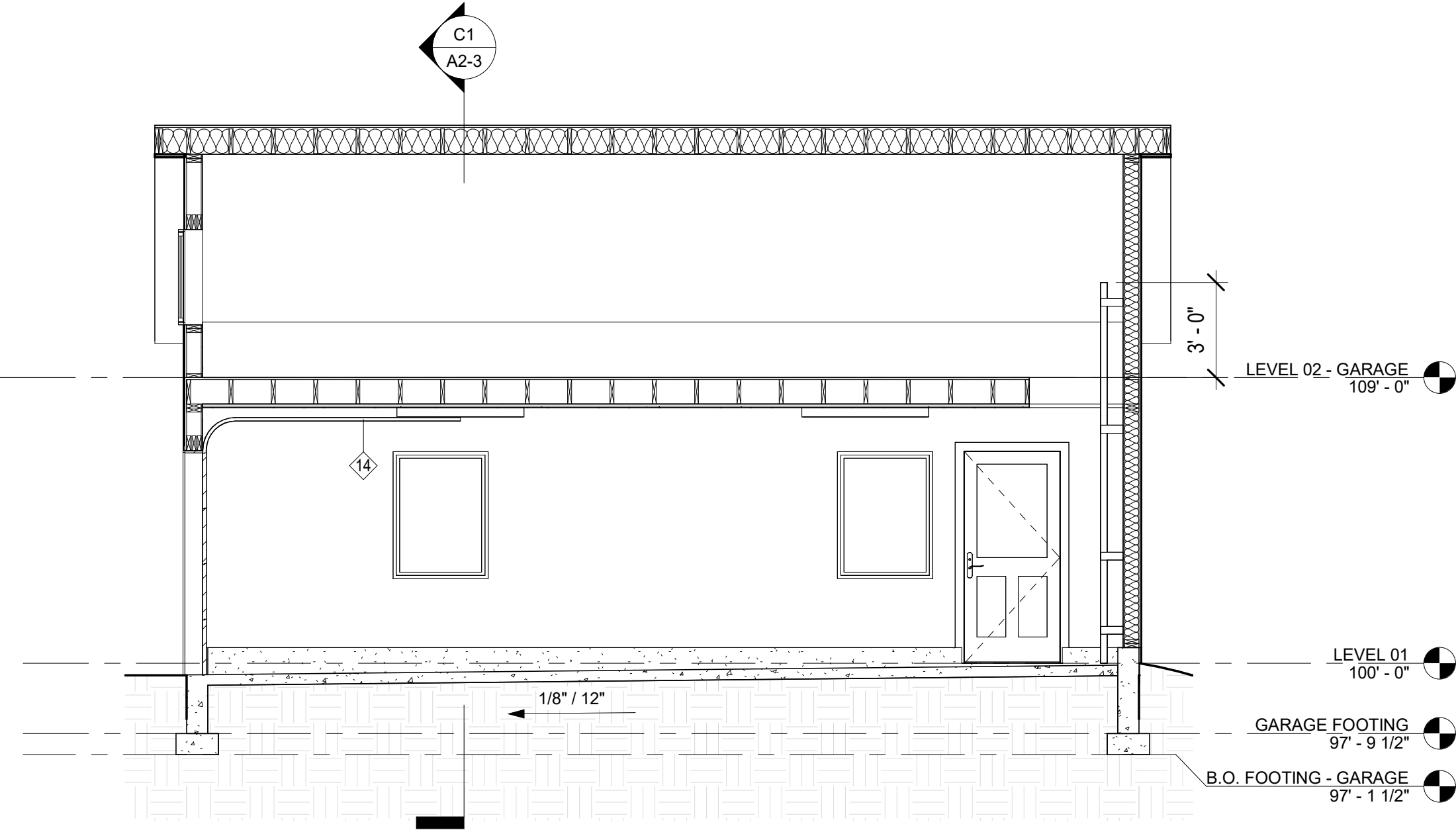


A2 SOUTH ELEVATION - GARAGE  
A2-2 1/4" = 1'-0"

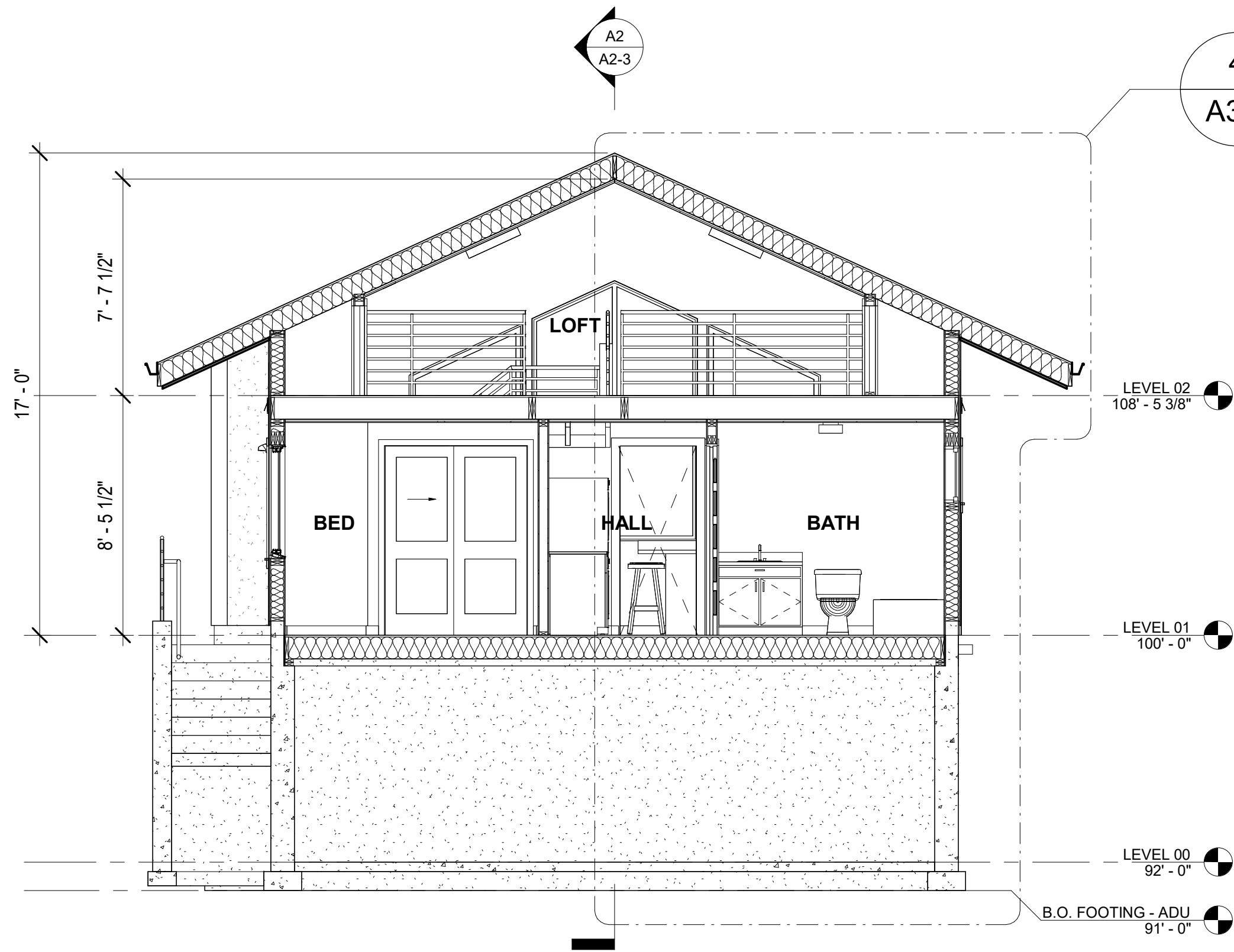
KEYED NOTES		DATE
<div>⋄8 EXTEND HOT AND COLD WATER TO WASHER - PROVIDE DRAIN AND LEAD PAN UNDER WASHER AND DRYER</div> <div>⋄9 DRYER VENT TO EXTERIOR - PROVIDE BACK DRAFT PREVENTER AND BUG SCREEN AT EXTERIOR</div> <div>⋄10 FLOOR DRAIN</div> <div>⋄11 PROTECT BOTTOM OF STAIRS WITH 5/8" GYP BD</div> <div>⋄12 STAIRS - MAX 8" RISE AND 10" TREAD - HANDRAIL AT 36" ABOVE THE NOSE OF STAIRS (TYP) GUARD RAIL AT WALKWAY AND STAIR - 36" HIGH - NO OPENINGS THAT WILL ALLOW A 4" SPHERE TO PASS THROUGH</div> <div>⋄13 EXHAUST</div> <div>⋄14 1/2" RIGID INSULATION</div> <div>⋄15 RAIN GUTTER AND DOWN SPOUTS - OPTIONAL</div> <div>⋄16 VENTED SOFFIT</div> <div>⋄17 2 x 6 EXTERIOR STUD WALLS W/ R-19 BATT INSULATION - 1/2" GYP BD - TAPE, TEXTURE AND PAINT (TYPICAL EXTERIOR WALLS)</div> <div>⋄18 2 x 4 INTERIOR STUD WALLS - 1/2" GYP BD - TAPE, TEXTURE AND PAINT</div> <div>⋄19 PRIOR TO INSTALLING PLUMBING FIXTURES VERIFY THAT THE SEWER WILL HAVE PROPER FALL TO SEWER IN STREET</div> <div>⋄20 ASPHALT SHINGLES ON PRIMARY UNDERLAYMENT (VAPOR BARRIER) - ASPHALT OR APPROVED SYNTHETIC - RIDGE CAPS TO ALSO BE INSTALLED - SEE KEYED NOTE 23</div> <div>⋄21 GARAGE DOOR OPENER</div> <div>⋄22 R-49 CEILING INSULATION - TYPICAL - RIGID INSULATION</div> <div>⋄23 ROOF VENT 1 /300 OF ROOF WITH VENTS - TOTAL VENTING IN ROOF TO BE 1/300 OF ROOF AREA WITH 50 PERCENT AT RIDGE AND 50 PERCENT AT EAVES - ADU SF / 650 = 1.08 OR 2 SF OF VENTS</div> <div>⋄24 DRYER VENT W/ BACK DRAFT AND BUG SCREEN - MAX LENGTH IN ACCORDANCE WITH IRC 2015 M1502.4.5</div> <div>⋄25 1 1/2" GUARDRAIL REQUIRED - 36" HIGH IF THE AREA IS 30" ABOVE ADJACENT FINISH GRADE-NO OPENING TO ALLOW A 4" SPHERE TO PASS</div> <div>⋄26 DRAIN &amp; DRY WELL</div> <div>⋄27 FLOOR INSULATION - R 30 AT UNFINISHED BASEMENT</div> <div>⋄28 STRUCTURAL COLUMN - SEE STRUCTURAL</div> <div>⋄29 2 x 6 STUD WALLS</div> <div>⋄30 STUCCO FINISH - 3 COAT APPLICATION ON WIRE OVER 5/8" GLASSMAT - FOLLOW MANUFACTURERS RECOMMENDATIONS FOR EXPANSION/CONTROL JOINTS</div>		03-31-22
		DATE
		REVISION
		NO.
		Floorspace, LLC J Steve Floor 2346 SOUTH park Street, Salt Lake City, Utah
		BUILDING ELEVATIONS - GARAGE
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		dka architect
DRAWN BSC		FILE No.
CHECKED DKA		2021-005
		FILE NAME
		PS
		PROJECT No.
		2021-005
		SHEET No.
		A2-2
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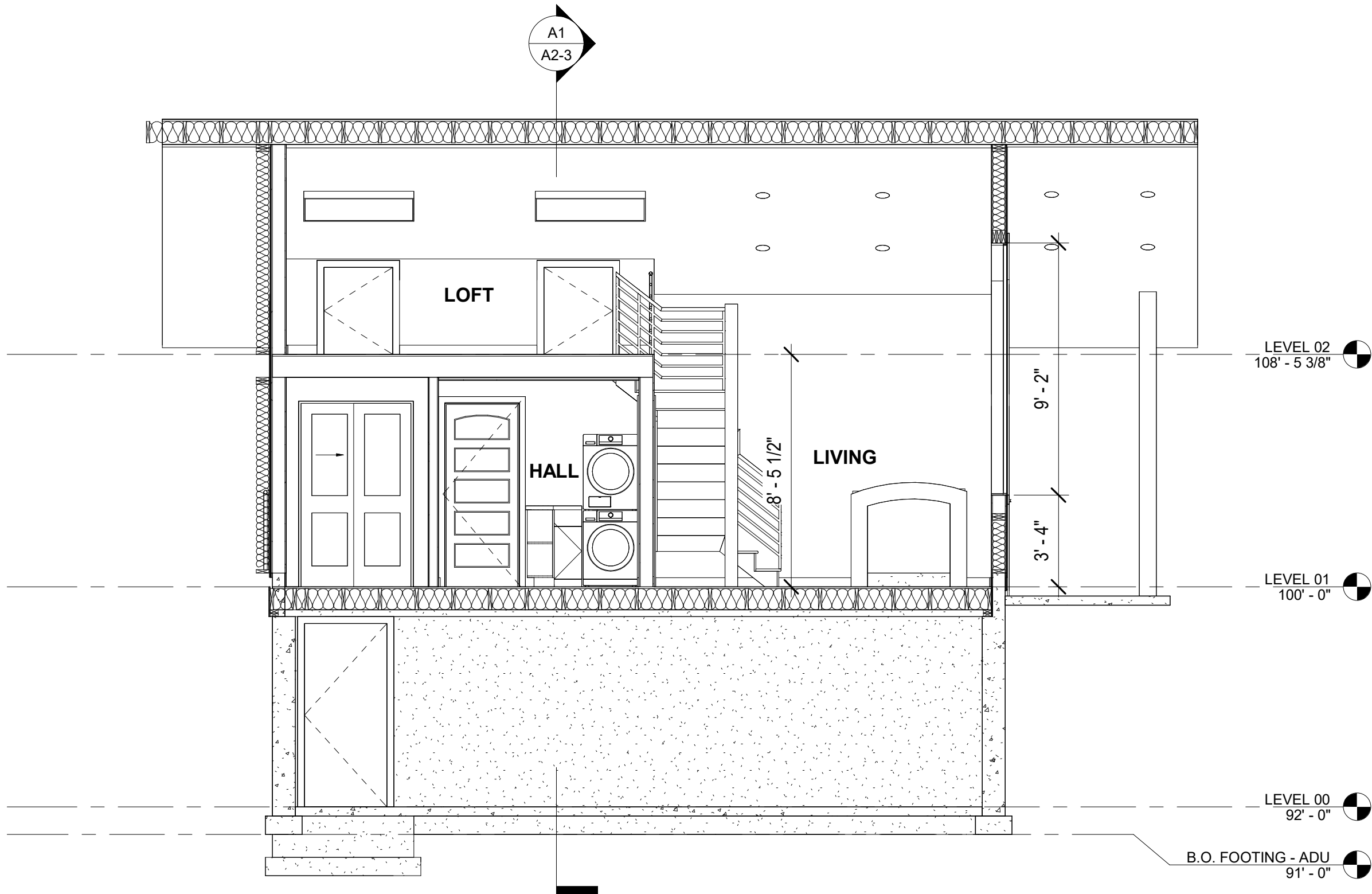
C1  
A2-3 SECTION - GARAGE - (E/W)  
1/4" = 1'-0"



C2  
A2-3 SECTION - GARAGE - (N/S)  
1/4" = 1'-0"



A1  
A2-3 SECTION - ADU - (E/W)  
1/4" = 1'-0"



A2  
A2-3 SECTION - ADU - (N/S)  
1/4" = 1'-0"

## KEYED NOTES

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DATE  
03-31-22

DATE  
REVISION  
NO.

Floorspace, LLC  
J Steve Floor  
2346 SOUTH park Street, Salt Lake City, Utah

## BUILDING SECTIONS

d. kim anderson, architect  
architecture - planning - interiors  
3335 south 900 east street # 270  
millcreek, utah 84106  
(801) 365-4638 - kim@dkae-arch.com

dka  
architect

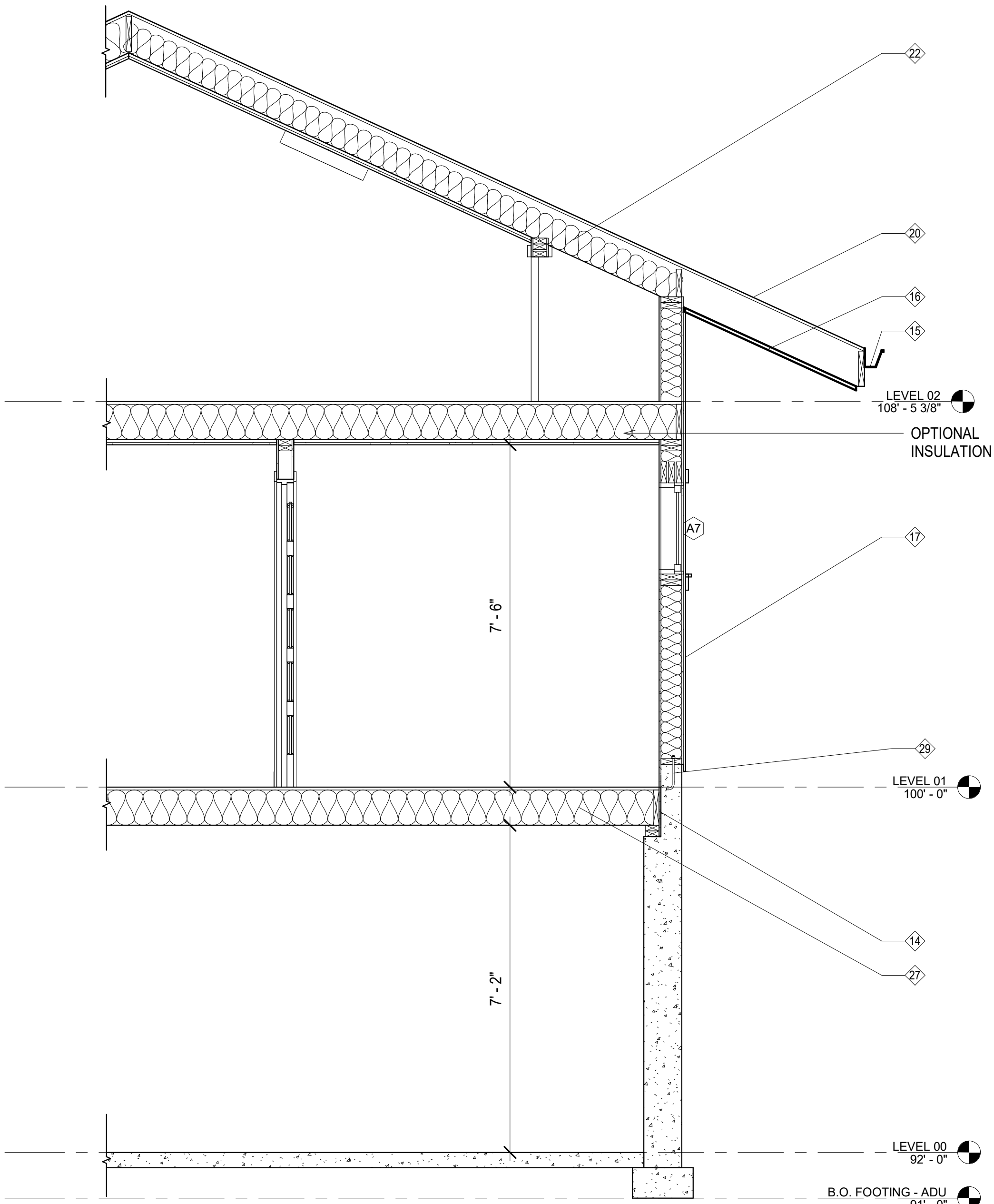
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2021-005

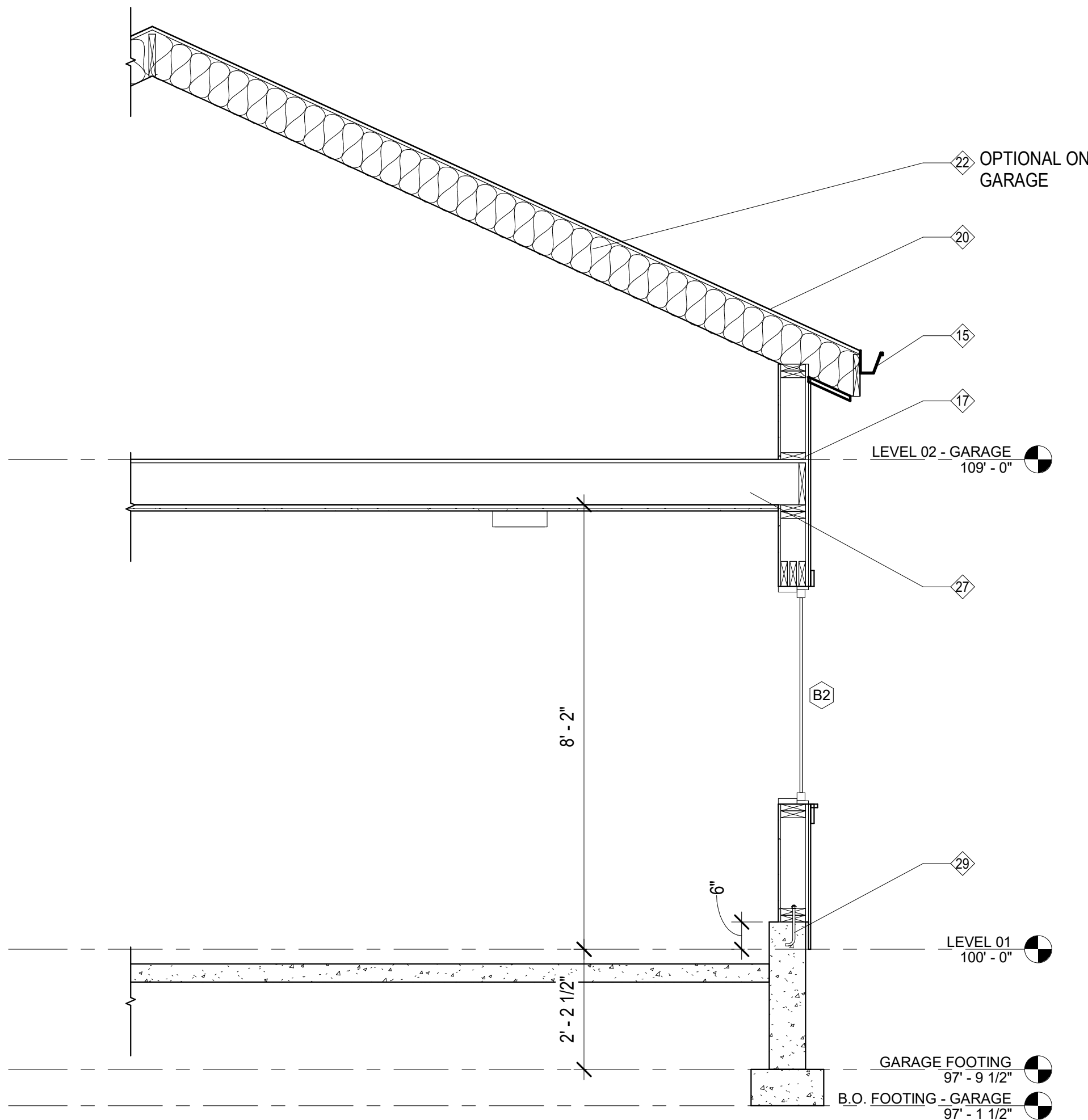
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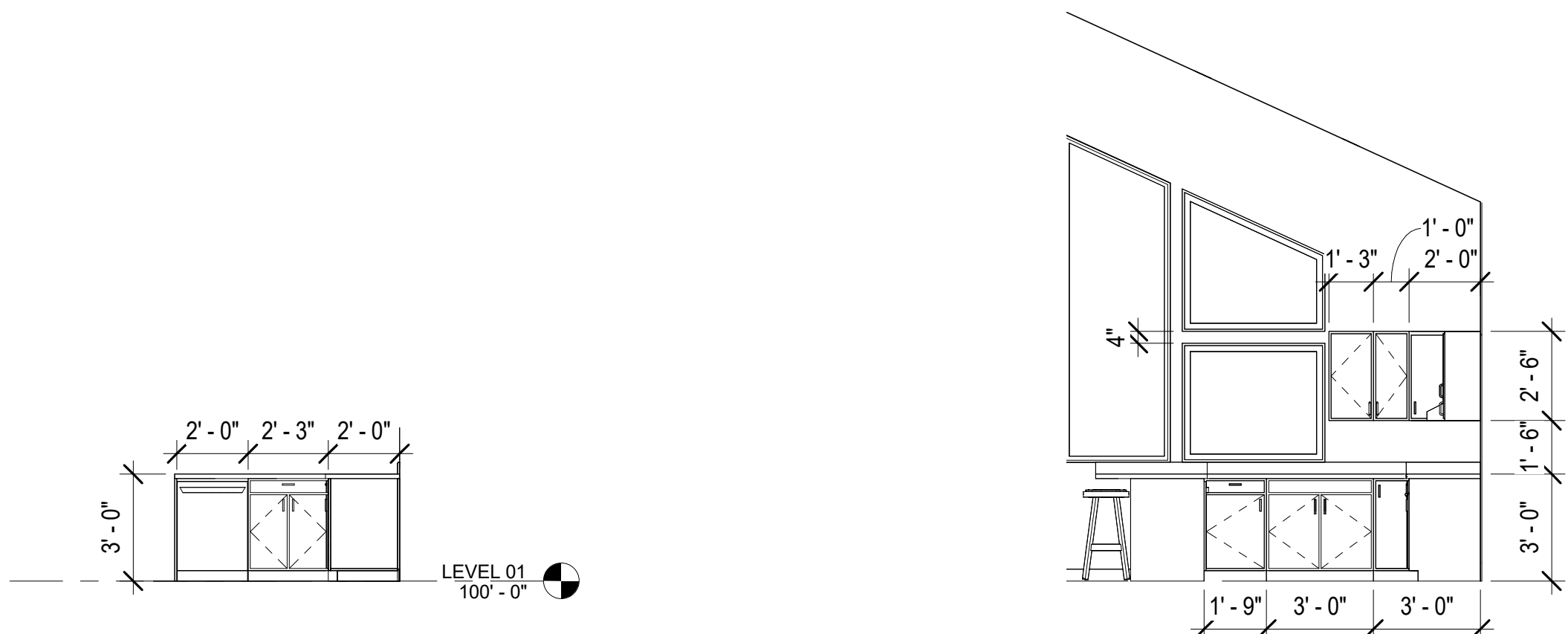
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A2-3



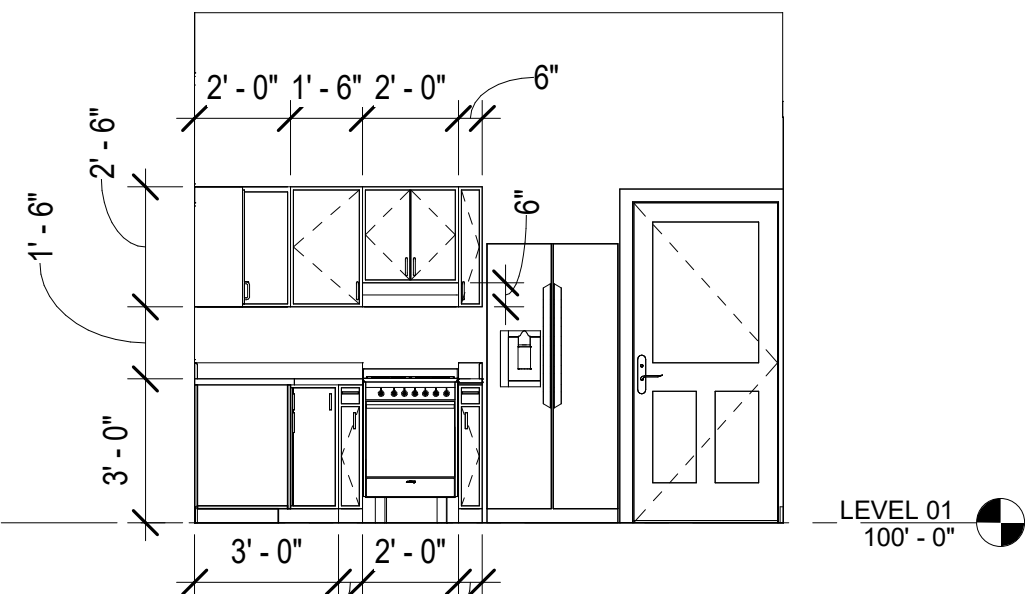
4 WALL SECTION - ADU - (E/W)  
1/2" = 1'-0"



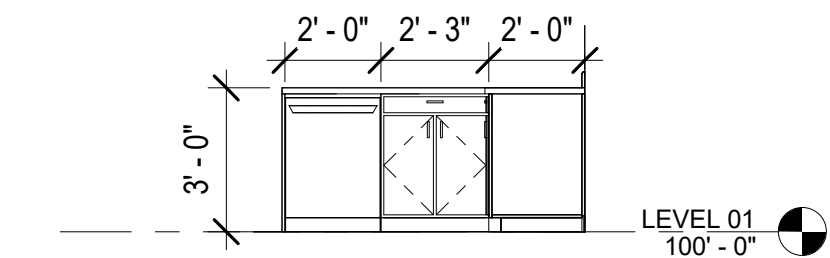
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1/2" = 1'-0"



1 1-A  
1/4" = 1'-0"



2 1-B  
1/4" = 1'-0"



3 1-C  
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- GARAGE DOOR OPENER
- R-49 CEILING INSULATION - TYPICAL - RIGID INSULATION
- ROOF VENT 1 /300 OF ROOF WITH VENTS - TOTAL VENTING IN ROOF TO BE 1/300 OF ROOF AREA WITH 50 PERCENT AT RIDGE AND 50 PERCENT AT EAVES - ADU SF / 650 = 1.08 OR 2 SF OF VENTS
- DRYER VENT W/ BACK DRAFT AND BUG SCREEN - MAX LENGTH IN ACCORDANCE WITH IRC 2015 M1502.4.5
- 1 1/2" GUARDRAIL REQUIRED - 36" HIGH IF THE AREA IS 30" ABOVE ADJACENT FINISH GRADE-NO OPENING TO ALLOW A 4" SPHERE TO PASS
- DRAIN & DRY WELL
- FLOOR INSULATION - R 30 AT UNFINISHED BASEMENT
- STRUCTURAL COLUMN - SEE STRUCTURAL
- 2 x 6 STUD WALLS
- STUCCO FINISH - 3 COAT APPLICATION ON WIRE OVER 5/8" GLASSMAT - FOLLOW MANUFACTURERS RECOMMENDATIONS FOR EXPANSION/CONTROL JOINTS

## GENERAL NOTES

- BALUSTERS SHALL BE PLACED SO THAT A (4") DIA. SPHERE CANNOT PASS THROUGH (CODE SECTION 316.2)
- ENCLOSURES AND DOORS MIN. 22" WIDE
- ALL TUB / SHOWERS TO HAVE ANTI-SCALD VALVES
- ALL COUNTERTOPS TO BE STANDARD DEPTH, ALL PLUMBING TO BE PROTECTED AGAINST FREEZING, PLUMBING IN EXTERIOR WALLS TO BE WRAPPED W/ BATT. INSUL. TYP.
- RAIN GUTTERS ARE OPTIONAL
- TOP OF FOUNDATION WALL A MIN. OF 6" ABOVE FINISHED GRADE R404.1.6
- PROVIDE PROPER WALL ANCHORAGE WITH 3 x 3 x 0.029 SQUARE WASHERS. IF WASHER WITH ELONGATED HOLE IS USED PLACE AN APPROVED CUT FOUNDATION WASHER ON TOP OF THE SQUARE WASHER; SEE STRUCTURAL, WHICH GOVERNS
- COORDINATE PLUMBING AND MECHANICAL WITH STRUCTURAL MEMBERS
- SPRAY FOAM BEHIND ALL OUTLETS ON EXTERIOR WALLS
- THERMAL INSULATION TO BE : ATTIC: R-38 OR BETTER, EXTERIOR WALLS: R-19 OR BETTER, BASEMENT EXTERIOR: R-11 OR BETTER
- ANY WOOD IN CONTACT WITH CONCRETE SHALL BE DECAY RESISTANT
- A WATER CLOSET, LAVATORY OR BIDET SHALL NOT BE SET CLOSER THAN 15 INCHES FROM ITS CENTER TO ANY SIDE WALL, PARTITION OR VANITY OR CLOSER THAN 30 INCHES CENTER-TO-CENTER BETWEEN ADJACENT FIXTURES. THERE SHALL BE AT LEAST A 21-INCH CLEARANCE IN FRONT OF THE WATER CLOSET, LAVATORY TO ANY WALL, FIXTURE OR DOOR.
- EMERGENCY FLOOR DRAINS SHALL BE INSTALLED AT WATER HEATERS, LAUNDRIES, ETC. AND INCLUDE A DEEP SEAL TRAP
- GLAZING WITHIN 5 FT OF STAIRS TO BE SAFETY GLAZING (TEMPERED OR SIMILAR) PER IRC R308.4.6
- CONNECTIONS TO UTILITIES (CULINARY WATER, NATURAL GAS, SANITARY SEWER, ETC.) TO BE EXTERIOR OF BUILDING.

## GENERAL NOTES

- OWNER TO HAVE FIRST RIGHT OF REFUSAL TO ALL DEMOLITION ITEMS
- PROPERLY PROTECT EXISTING RESIDENCE - COVER TO PROTECT FROM DUST, WATER, ETC
- PROPERLY SHORE ANY STRUCTURAL ITEM TO REMAIN
- PROTECT PUBLIC FROM CONSTRUCTION ACTIVITIES
- ALL EXPOSED SURFACES TO BE PAINTED - TYP.
- VERIFY DEPTH OF SEWER IN STREET AND THAT THE NEW SEWER LINE IN THE BASEMENT WILL HAVE PROPER SLOPE TO SEWER MAIN LINE
- FURNITURE IS NIC (NOT IN CONTRACT)
- VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES - BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER AND / OR ARCHITECT

DATE  
03-31-22

DATE  
REVISION  
NO.

Floorspace, LLC  
J Steve Floor  
2346 SOUTH park Street, Salt Lake City, Utah

WALL SECTIONS & INTERIOR  
ELEVATIONS

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architecture - planning - interiors  
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millcreek, utah 84106  
(801) 365-4638 - kim@dkae-arch.com

dka  
architect

DRAWN  
BSC  
CHECKED  
DKA

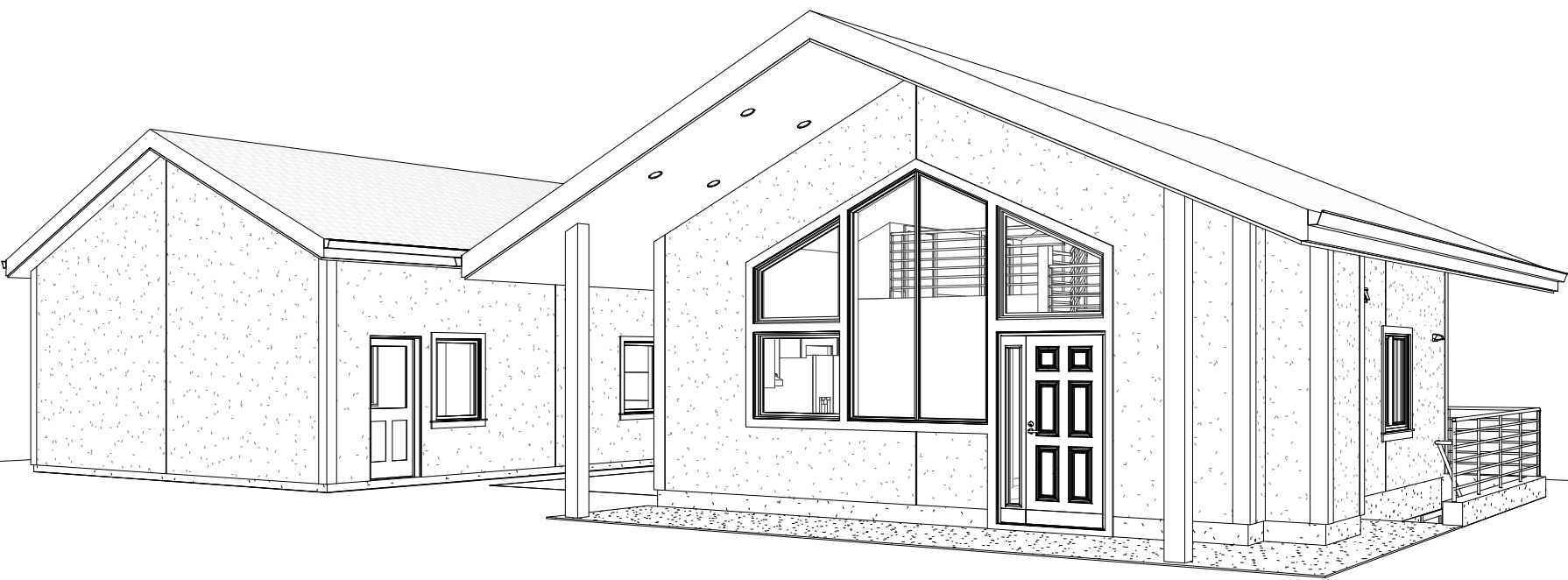
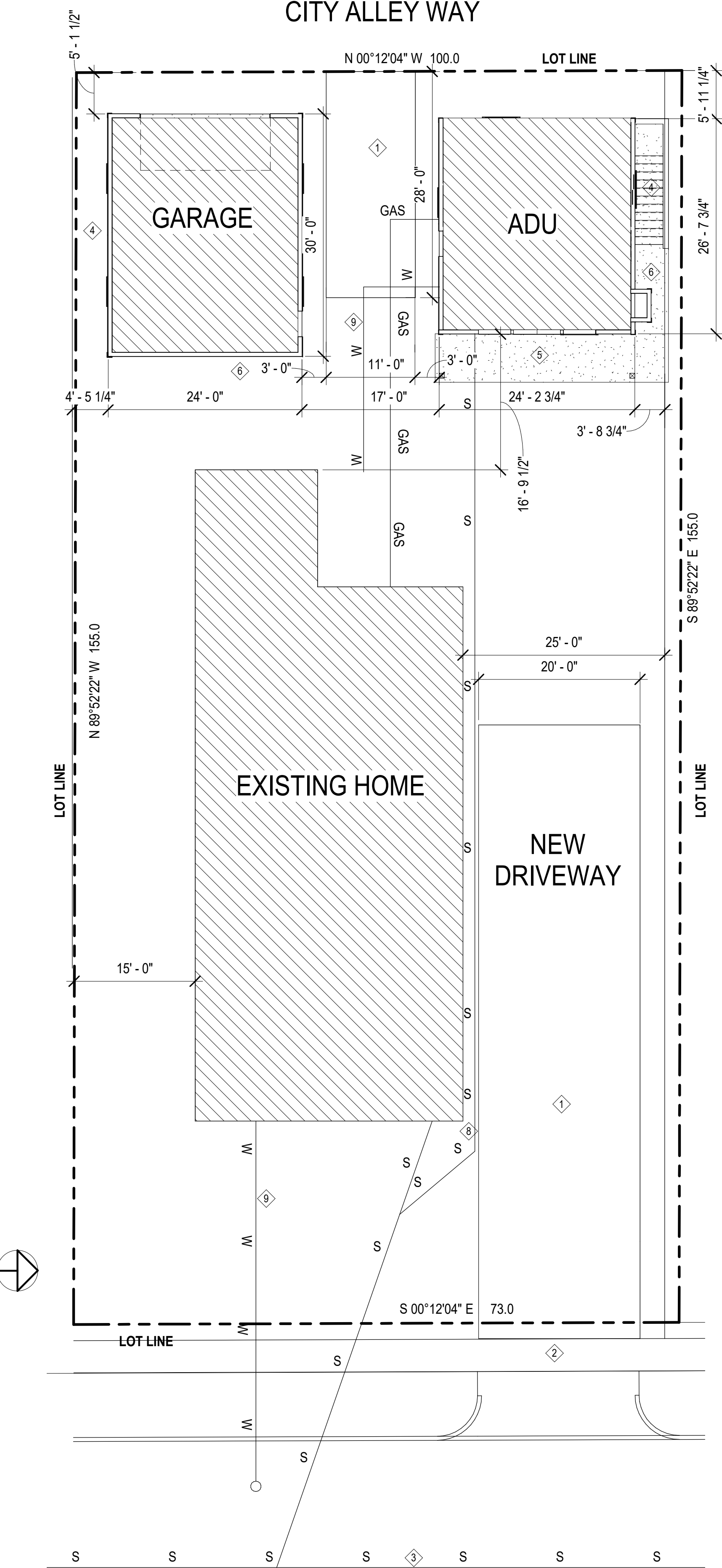
FILE No.  
2021-005

FILE NAME  
PS

PROJECT No.  
2021-005

SHEET No.  
A3-1





# ADU & GARAGE

2346 South Park Street Salt  
Lake City, UT

## ARCHITECT

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3335 south 900 east, #270  
millcreek, utah 84106  
phone (801) 355-4558

## STRUCTURAL ENGINEER

JUNE ENGINEERING, PLLC  
JUNE WANG  
1908 VIEW STREET  
SLAT LAKE CITY, UTAH 84105  
PHONE (801) 533-8090

## CODE REVIEW

ZONING	REQUIRED	PROVIDED
ZONING	R1-7 7,000 SF MIN.	11,315 SF
FRONT YARD	30'	EXISTING
SIDE YARD	4' MIN ON PROPERTY LINE	4' - 0"
REAR YARD	4'	4' - 0" + -
HEIGHT	17' MAX	17' - 0"
AREAS	ADU - 650 SF GARAGE 720 SF EXISTING HOUSE 2,666 SF	TOTAL 4.034
LOT COVERAGE SEE MAX AREA SITE PLAN	60% MAXIMUM	35.65% - OK

FOLLOW ALL LOCAL AND CITY CODES - GOVERNING COD IS IRC-2015

## DRAWING INDEX

Sheet No.	Sheet Name
ARCHITECTURAL	
SD-1	COVER SHEET - SITE PLAN
A1-1	FLOOR PLANS - ADU
A1-2	FLOOR PLANS - GARAGE
A1-3	ROOF PLANS
A1-4	REFLECTED CEILING PLANS
A2-1	BUILDING ELEVATIONS - ADU
A2-2	BUILDING ELEVATIONS - GARAGE
A2-3	BUILDING SECTIONS
A3-1	WALL SECTIONS & INTERIOR ELEVATIONS
STRUCTURAL	
S1	STRUC 1
S2	STRUC 2
S3	STRUC 3

## PLUMBING FIXTURES

- 1 FULL BATH ROOM WITH SHOWER/TUB, TOILET AND SINK
- 1 DOUBLE KITCHEN SINK
- 1 WASHER HOOK-UP
- 1 OUTSIDE WATER FAUCETS
- NO SINK ADJACENT TO WASHER / DRYER

## GENERAL NOTES

- OWNER TO HAVE FIRST RIGHT OF REFUSAL TO ALL DEMOLITION ITEMS
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## KEYED NOTES

- ① NEW DRIVEWAY
- ② EXISTING WALKWAY
- ③ SEWER IN STREET - VERIFY 87" DEPTH OF EXISTING SEWER
- ④ SIDE YARD
- ⑤ 4" CONCRETE LANDING ON GRAVEL 4" BASE
- ⑥ RAIN GUTTER AND DOWN SPOUTS - OPTIONAL
- ⑦ ASPHALT SHINGLES ON PRIMARY UNDERLAYMENT - (ASPHALT OR APPROVED SYNTHETIC) - RIDGE CAPS TO ALSO BE INSTALLED (UNHEATED GARAGE)
- ⑧ EXISTING GAS METER - PROPERLY SIZE AND EXTEND GAS LINE TO FURNACE IN THE NEW ADDITION - SIZED BY HVAC SUB CONTRACTOR
- ⑨ NEW AND EXISTING WATER LINE

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COVER SHEET - SITE PLAN

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SHEET No.  
SD-1

A1 SITE PLAN  
SD-1 1" = 10'-0"