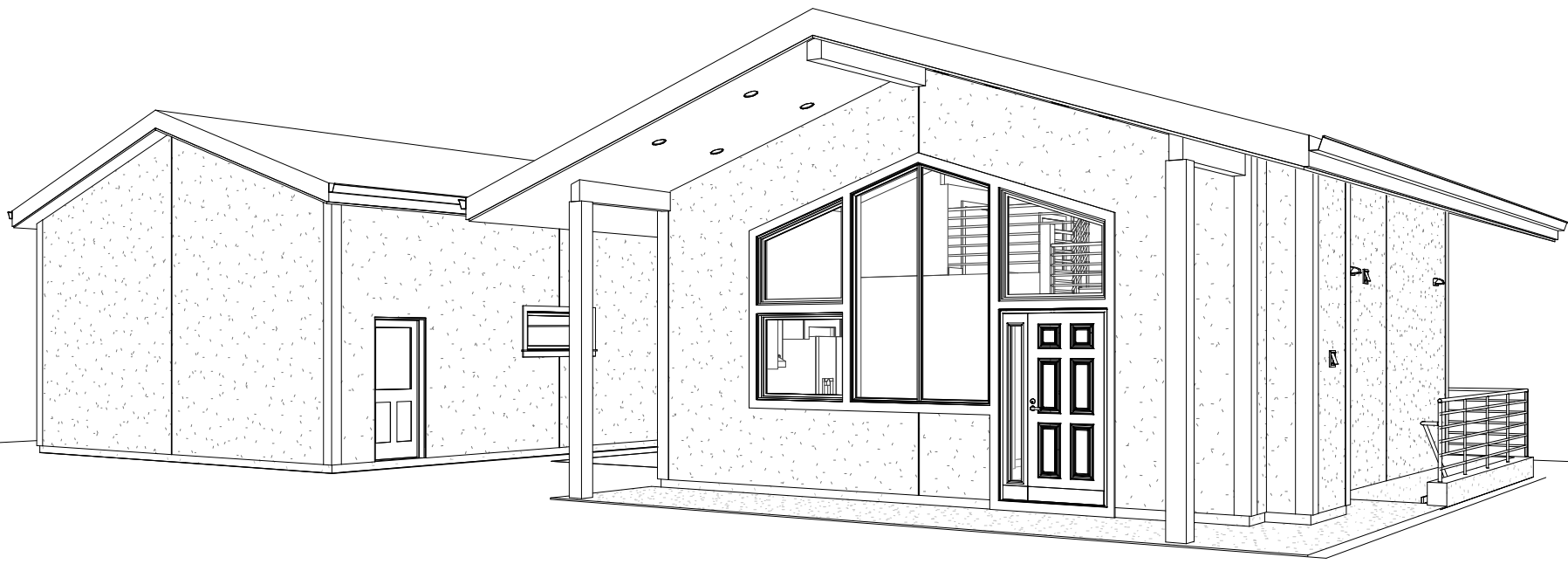


A1 SITE PLAN  
SD-1 1" = 10'-0"

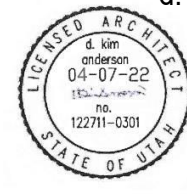


# ADU & GARAGE

2346 South Park Street Salt  
Lake City, UT

## ARCHITECT

d. kim anderson  
3335 south 900 east, #270  
millcreek, utah 84106  
phone (801) 355-4558



## STRUCTURAL ENGINEER

JUNE ENGINEERING, PLLC  
JUNE WANG  
1908 VIEW STREET  
SLAT LAKE CITY, UTAH 84105  
PHONE (801) 533-8090

## CODE REVIEW

| ZONING                                 | REQUIRED   | PROVIDED    |
|--|--|-------------|
| ZONING                                 | R1-7 7,000 SF MIN.                                       | 11,315 SF   |
| FRONT YARD                             | 30'  | EXISTING    |
| SIDE YARD                              | 4' MIN ON PROPERTY LINE                                  | 4' - 0"     |
| REAR YARD                              | 4'   | 4' - 0" + - |
| HEIGHT                                 | 17' MAX  | 17' - 0"    |
| AREAS                                  | ADU - 650 SF<br>GARAGE 720 SF<br>EXISTING HOUSE 2,666 SF | TOTAL 4.034 |
| LOT COVERAGE<br>SEE MAX AREA SITE PLAN | 60% MAXIMUM  | 35.65% - OK |

FOLLOW ALL LOCAL AND CITY CODES - GOVERNING COD IS IRC-2015

## DRAWING INDEX

| Sheet No. | Sheet Name                                     |
|-----------|--|
| SD-1      | COVER SHEET - SITE PLAN                        |
| A1-1      | FLOOR PLANS - ADU                              |
| A1-2      | FLOOR PLANS - GARAGE                           |
| A1-3      | ROOF PLANS                                     |
| A1-4      | REFLECTED CEILING PLANS                        |
| A2-1      | BUILDING ELEVATIONS - ADU                      |
| A2-2      | BUILDING ELEVATIONS - GARAGE                   |
| A2-3      | BUILDING SECTIONS                              |
| A3-1      | WALL SECTIONS & INTERIOR ELEVATIONS            |
| S1-1      | STRUC. PLANS, SCHEDULES, AND NOTES             |
| S1-2      | STRUC. PLANS, SCHEDULES, NOTES & GABLE FRAMING |
| S5-1      | STRUCTURAL DETAILS                             |

## PLUMBING FIXTURES

- 1 FULL BATH ROOM WITH SHOWER/TUB, TOILET AND SINK
- 1 DOUBLE KITCHEN SINK
- 1 WASHER HOOK-UP
- 1 OUTSIDE WATER FAUCETS
- NO SINK ADJACENT TO WASHER / DRYER

## GENERAL NOTES

- OWNER TO HAVE FIRST RIGHT OF REFUSAL TO ALL DEMOLITION ITEMS
- PROPERLY PROTECT EXISTING RESIDENCE - COVER TO PROTECT FROM DUST, WATER, ETC
- PROPERLY SHORE ANY STRUCTURAL ITEM TO REMAIN
- PROTECT PUBLIC FROM CONSTRUCTION ACTIVITIES
- ALL EXPOSED SURFACES TO BE PAINTED - TYP.
- VERIFY DEPTH OF SEWER IN STREET AND THAT THE NEW SEWER LINE IN THE BASEMENT WILL HAVE PROPER SLOPE TO SEWER MAIN LINE
- FURNITURE IS NIC (NOT IN CONTRACT)
- VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES - BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER AND / OR ARCHITECT

## KEYED NOTES

- ① NEW DRIVEWAY
- ② EXISTING WALKWAY
- ③ SEWER IN STREET - VERIFY 87" DEPTH OF EXISTING SEWER
- ④ SIDE YARD
- ⑤ 4" CONCRETE LANDING ON GRAVEL 4" BASE
- ⑥ RAIN GUTTER AND DOWN SPOUTS - OPTIONAL
- ⑦ ASPHALT SHINGLES ON PRIMARY UNDERLAYMENT - (ASPHALT OR APPROVED SYNTHETIC) - RIDGE CAPS TO ALSO BE INSTALLED (UNHEATED GARAGE)
- ⑧ EXISTING GAS METER - PROPERLY SIZE AND EXTEND GAS LINE TO FURNACE IN THE NEW ADDITION - SIZED BY HVAC SUB CONTRACTOR
- ⑨ NEW AND EXISTING WATER LINE

DATE  
05-20-22

REVISION  
NO.

Floorspace, LLC  
J Steve Floor  
2346 SOUTH park Street, Salt Lake City, Utah

COVER SHEET - SITE PLAN

d. kim anderson, architect  
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dka  
architect

DRAWN  
BSC  
CHECKED  
dka



PROJECT NO.  
2021-005

SHEET NO.  
SD-1